



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

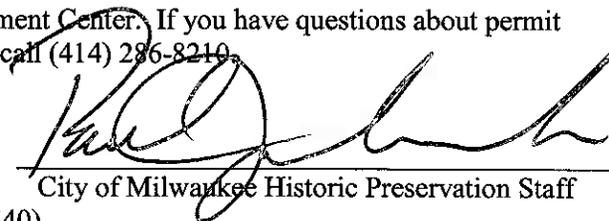
Property 925 W. WINNEBAGO ST., Towne Realty, owner
Description of work Demolish Building #22 only built in 1948 and located on the north side of Juneau Avenue between N. 10th and N. 11th Streets. Please refer to attached map and photo.
Date issued 5/1/2007 PTS ID 7000 COA, demolition of building #22

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

No surrounding historic buildings will be altered or damaged during the demolition. The building site will be restored to a level lot. Department of Neighborhood Services must notify Wisconsin State Historical Society of demolition.

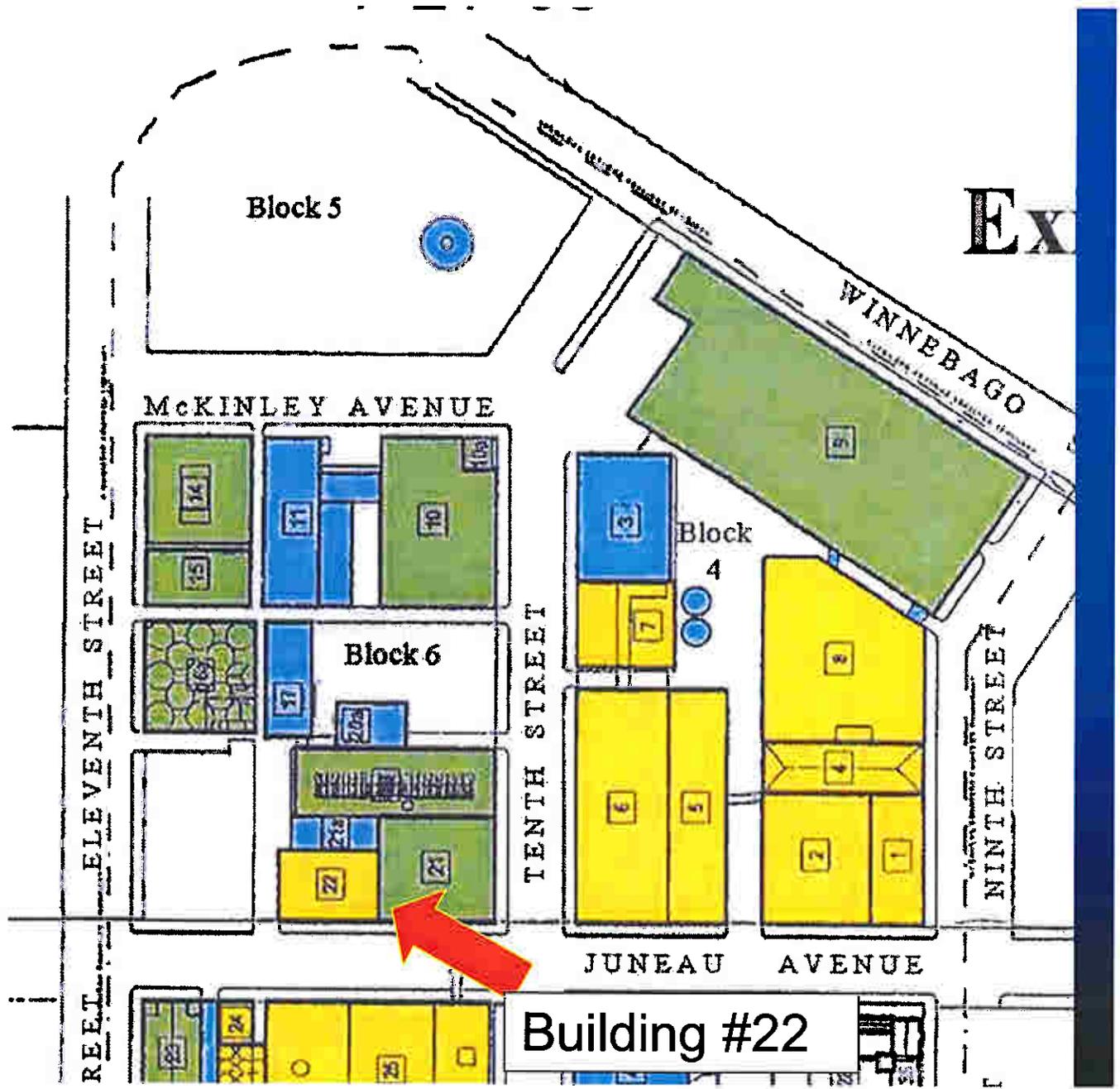
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

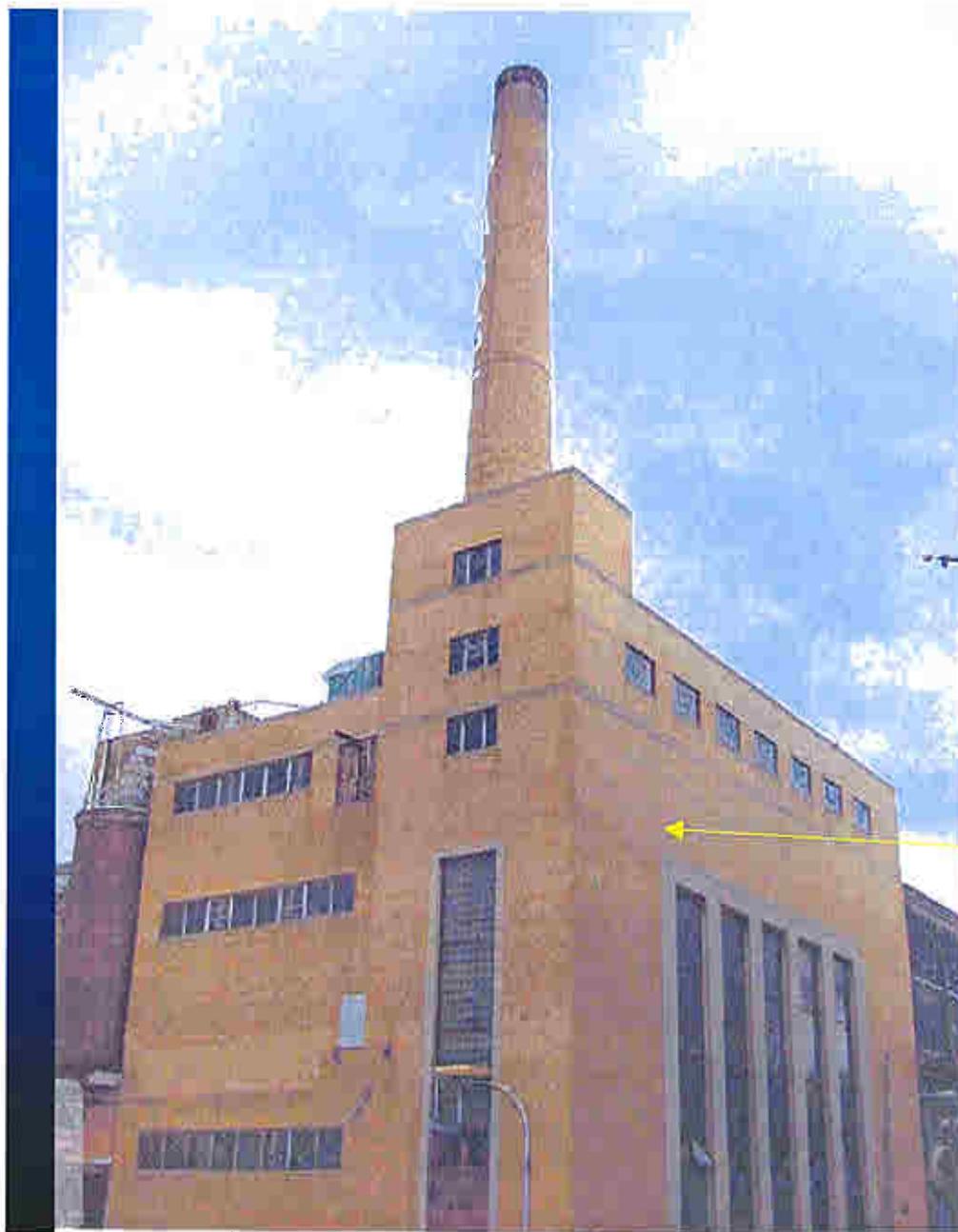
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.



City of Milwaukee Historic Preservation Staff

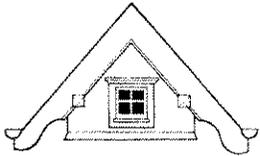
Copies to: Development Center, Ald. Robert Bauman, Inspector Clarence Goyette (286-2540)





Bldg #22

AMENDED



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Property

925 W. WINNEBAGO ST.

Description of work

This is to amend COA-PTS#7000 to include demolition of building 21A. Remove/raze the following building additions: Infill building between building 23 and 24; metal shed addition to building 23; metal shed addition to building 16A; Building 20a constructed in 1980; fuel oil tanks at 10th and McKinley constructed in 1975; fermentation tanks east of building #7; bridge and connector building between building 8 and 9; conveyor bridge connecting building 29 to 42; garage addition on east elevation of building 29.

Raze the following buildings: #41 constructed in 1969 at the southeast corner of 10th and Juneau; building #3 constructed in 1967; building 17 built in 1896.

Date issued

10/19/2006

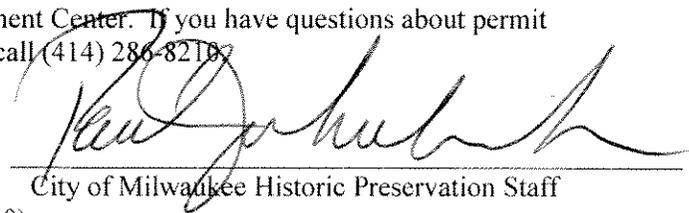
PTS ID 7000 COA - Demolition and Abatement Plan

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work must be done according to attached drawings and photos. Historic buildings must not be damaged during removal process.

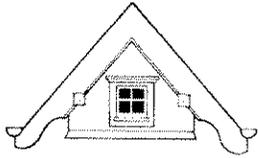
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City of Milwaukee Historic Preservation Staff

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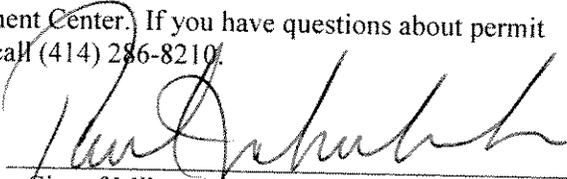
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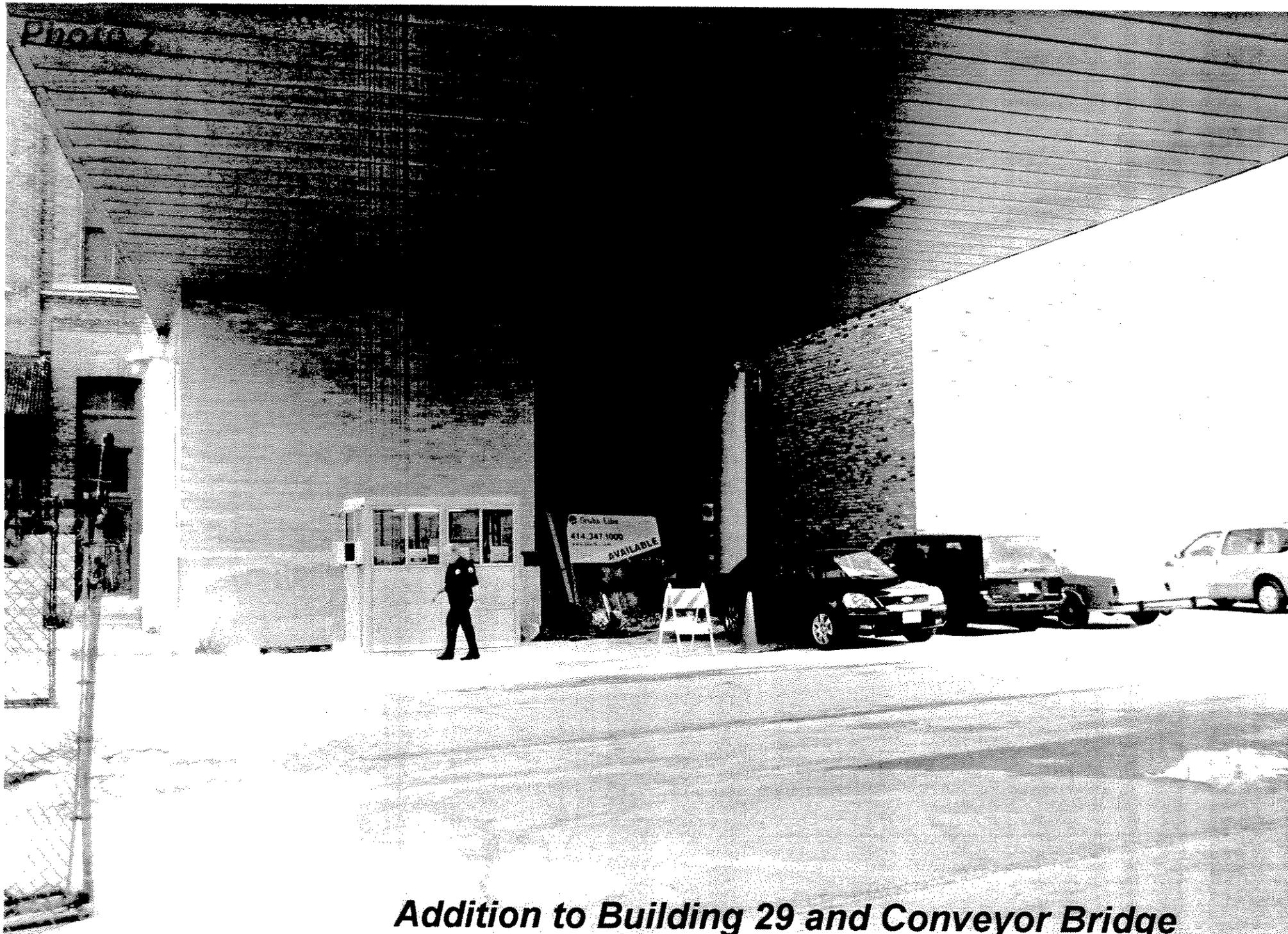
City of Milwaukee Historic Preservation Staff

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Photo 1

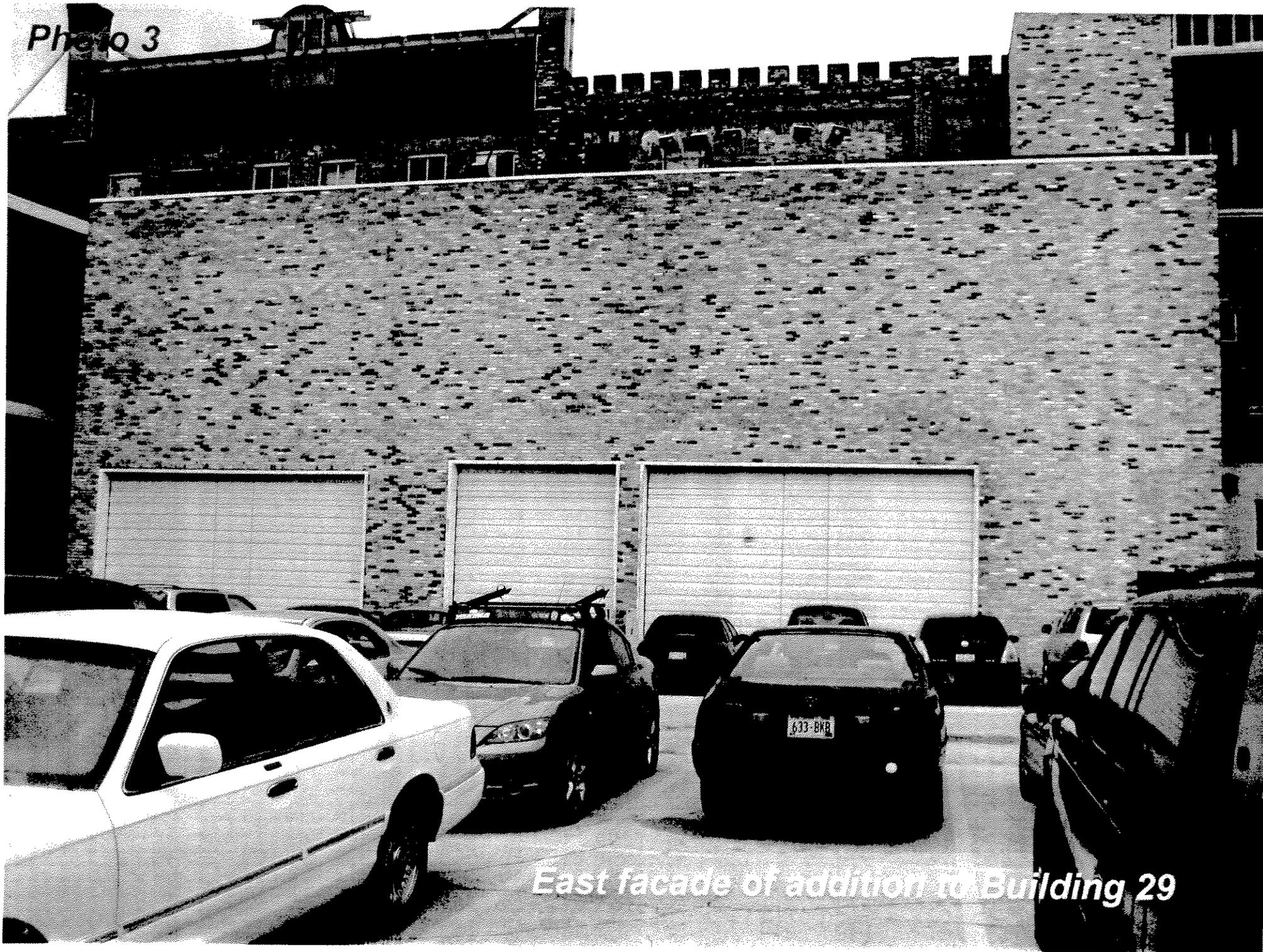


NW Corner of Building 41



Addition to Building 29 and Conveyor Bridge

Photo 3



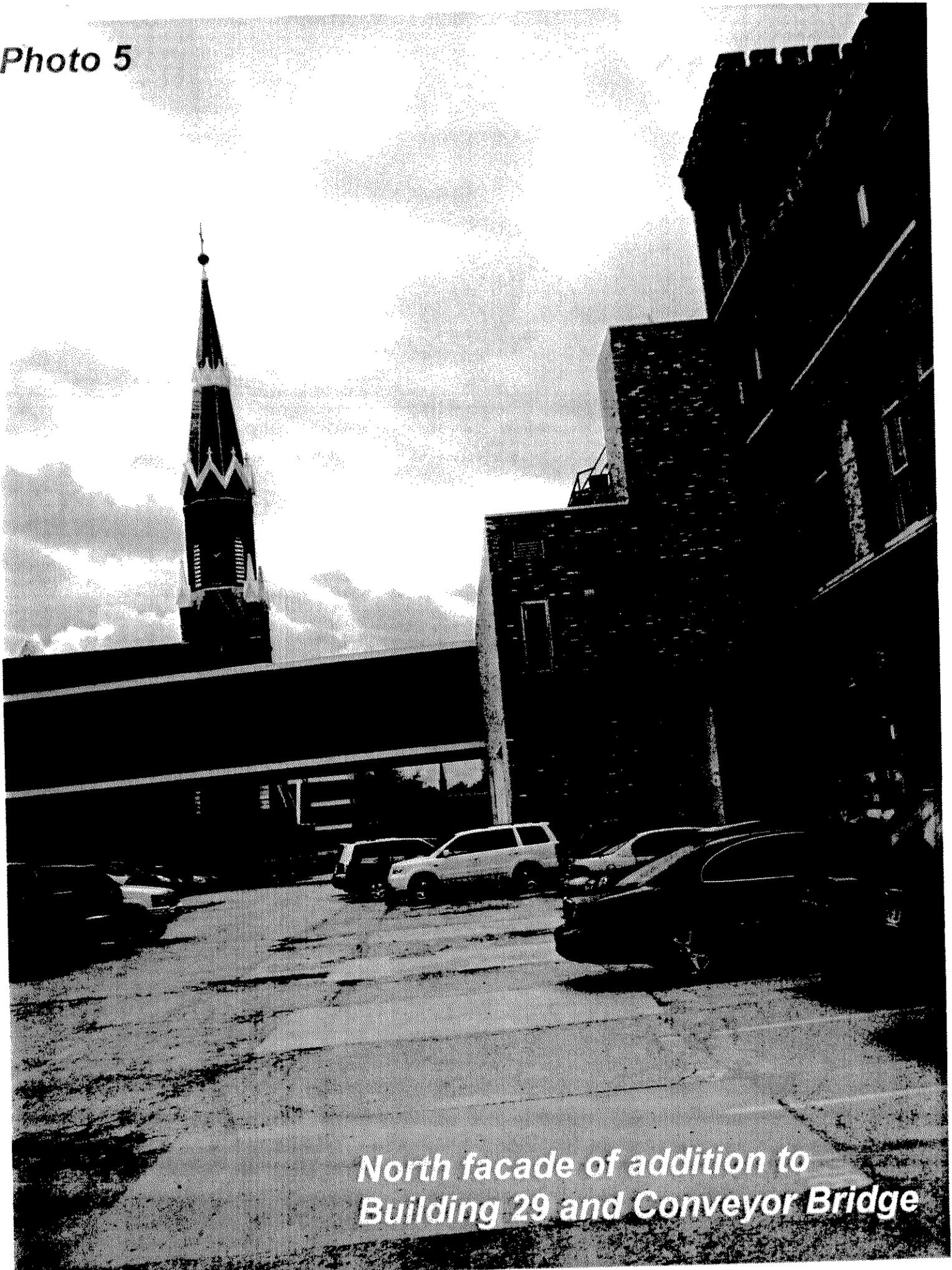
East facade of addition to Building 29

Photo 4



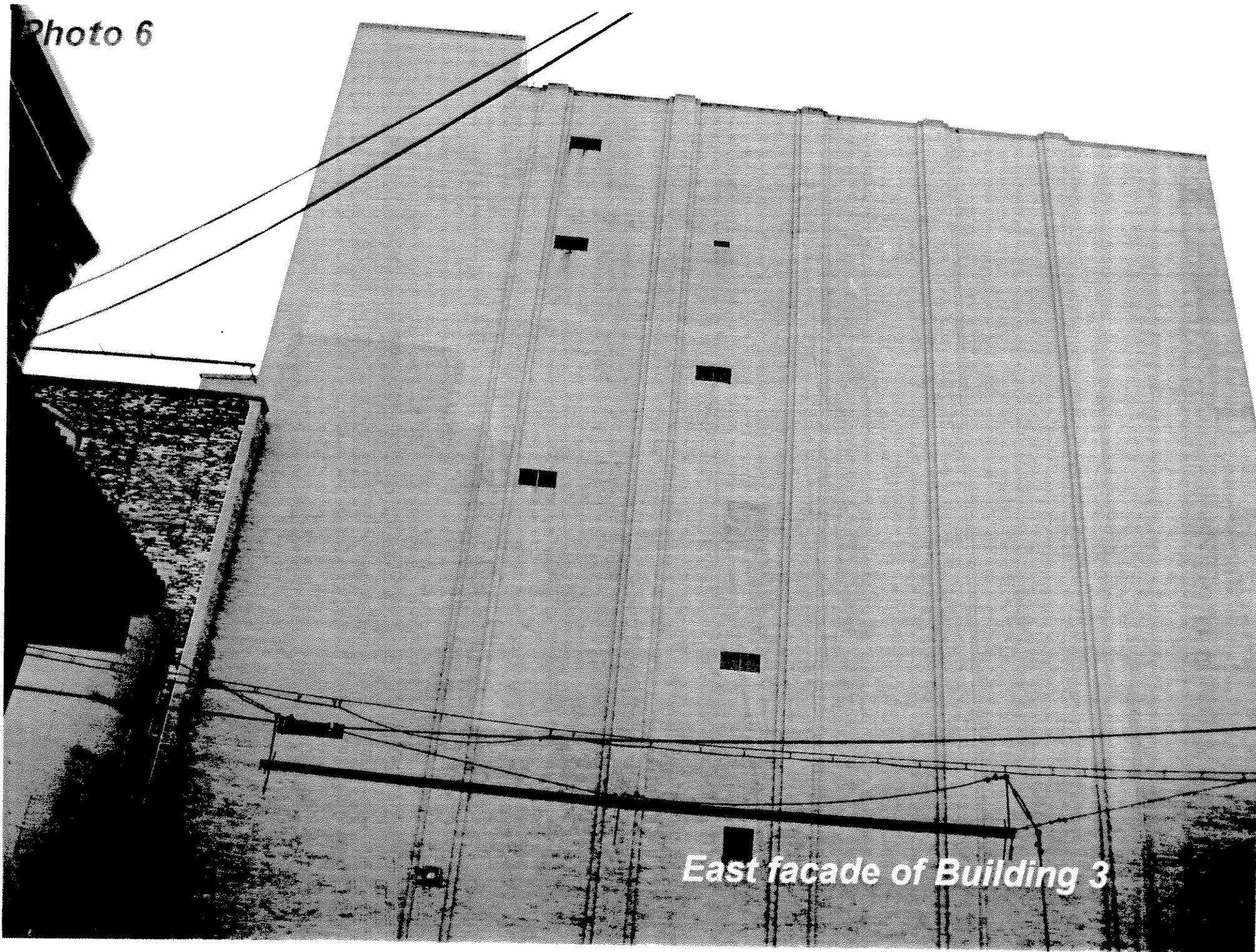
North and east facade of addition to Building 29

Photo 5



*North facade of addition to
Building 29 and Conveyor Bridge*

Photo 6



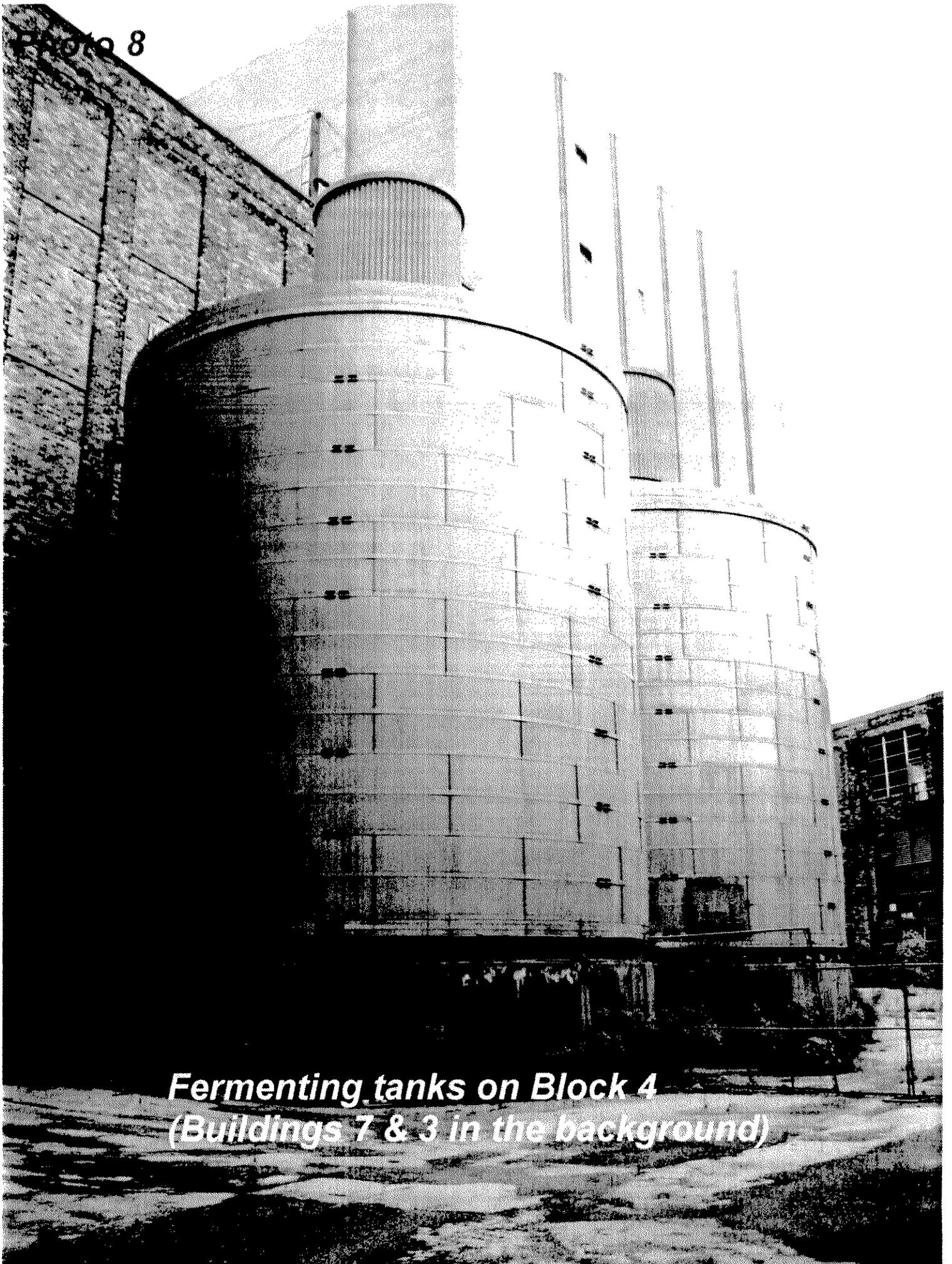
East facade of Building 3

Photo 7



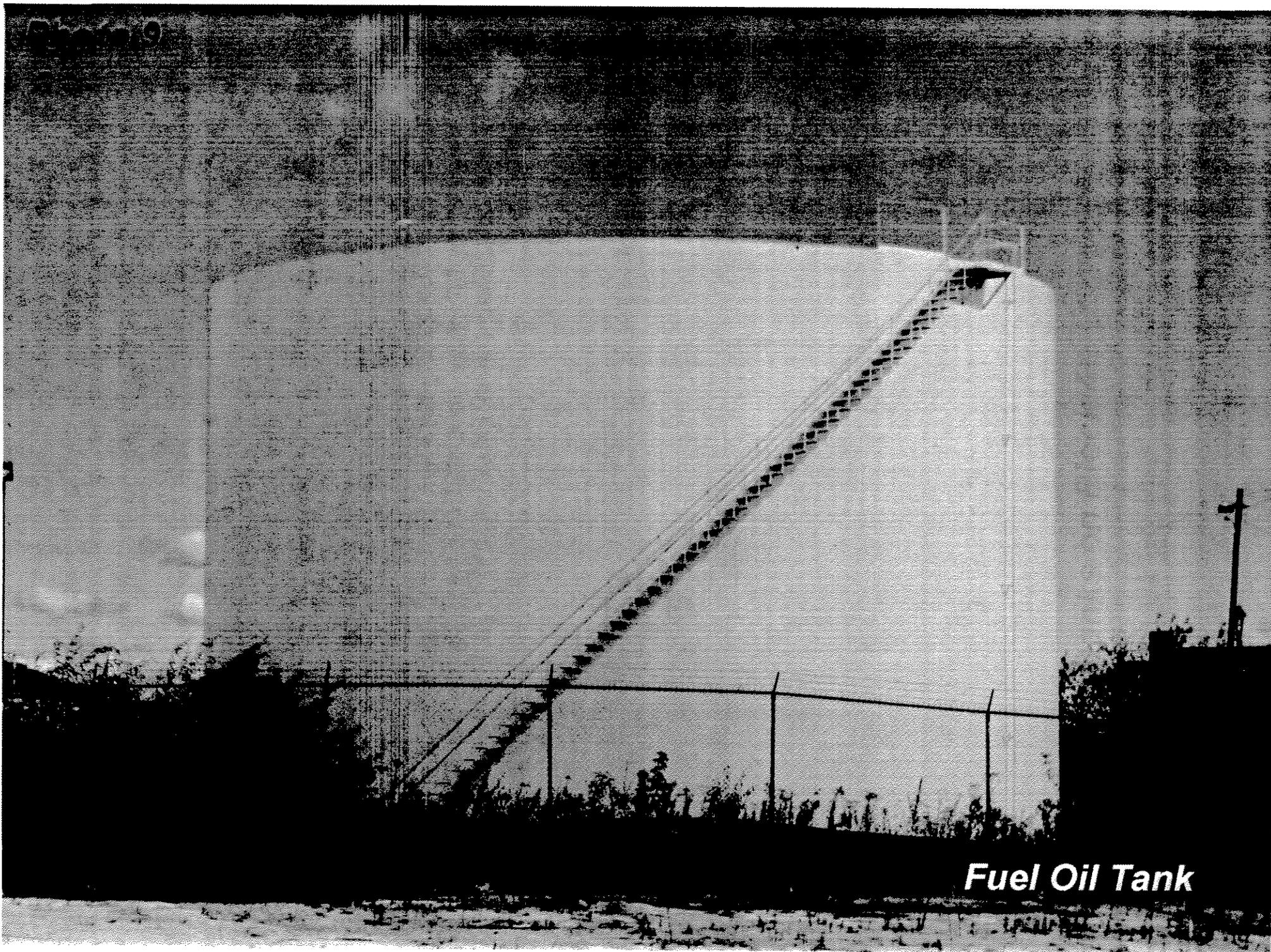
Bridge structure between

Photo 8



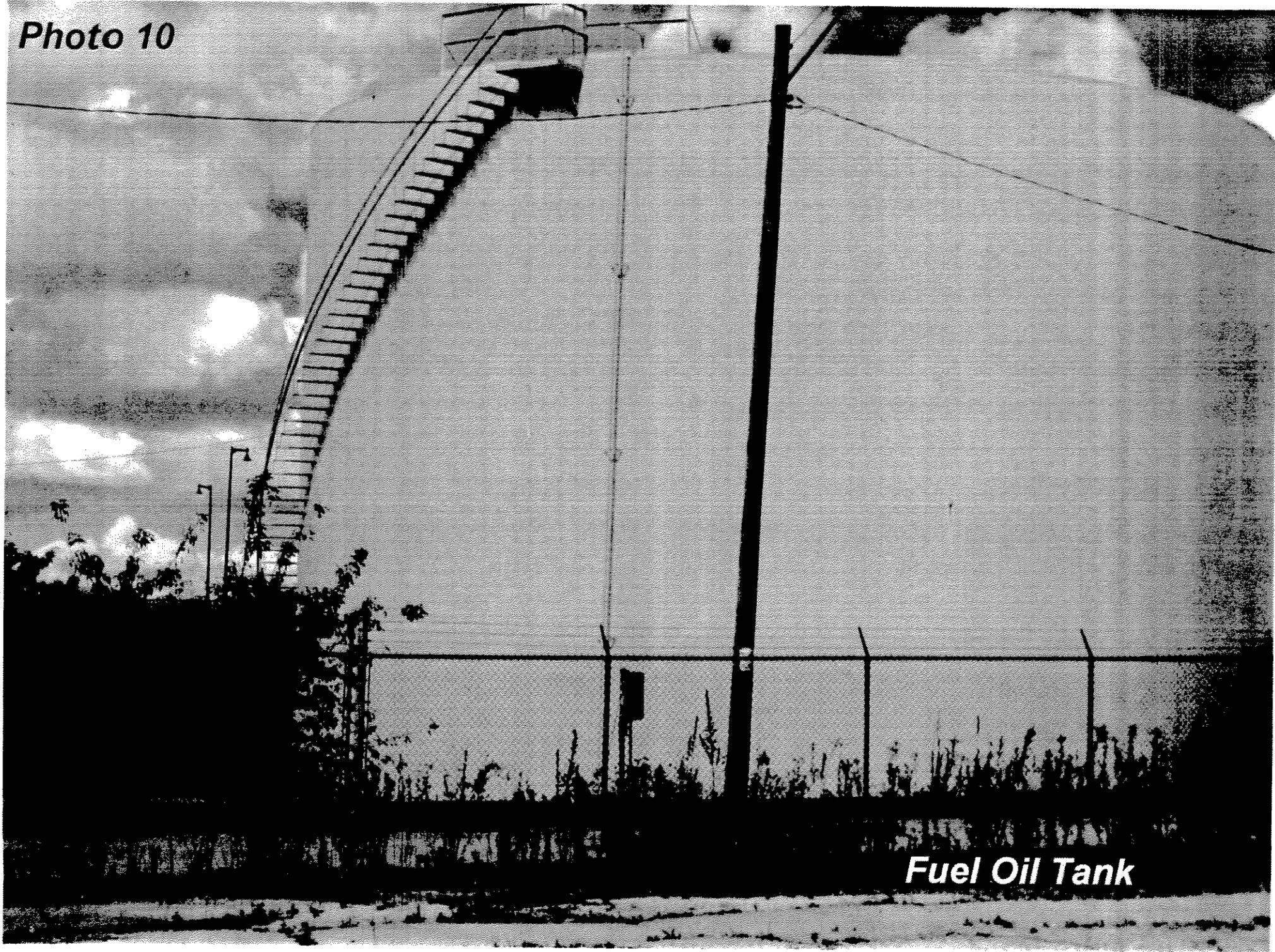
***Fermenting tanks on Block 4
(Buildings 7 & 3 in the background)***

Photo 9



Fuel Oil Tank

Photo 10



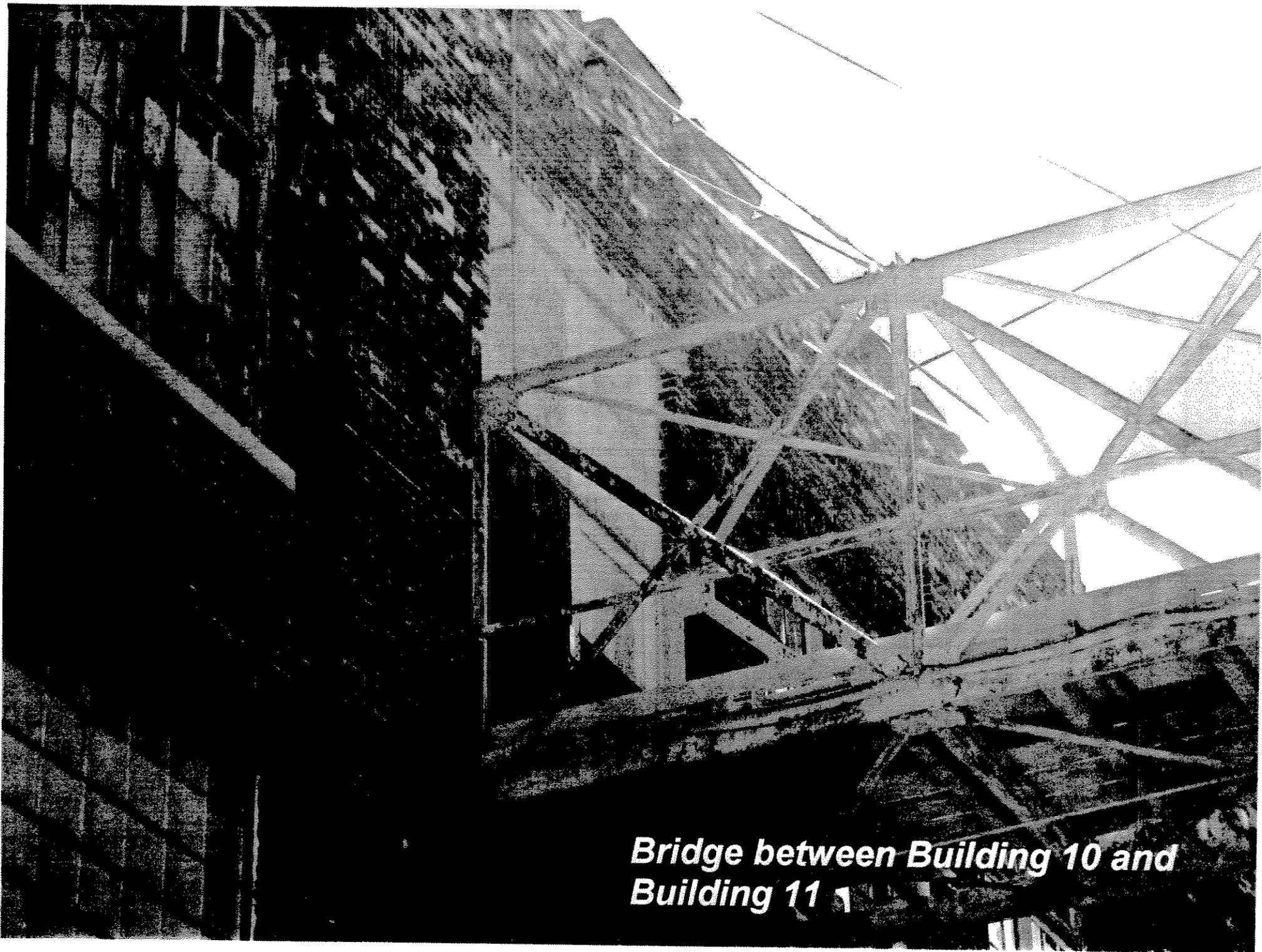
Fuel Oil Tank

Pabst City Existing Building 11 Evaluation

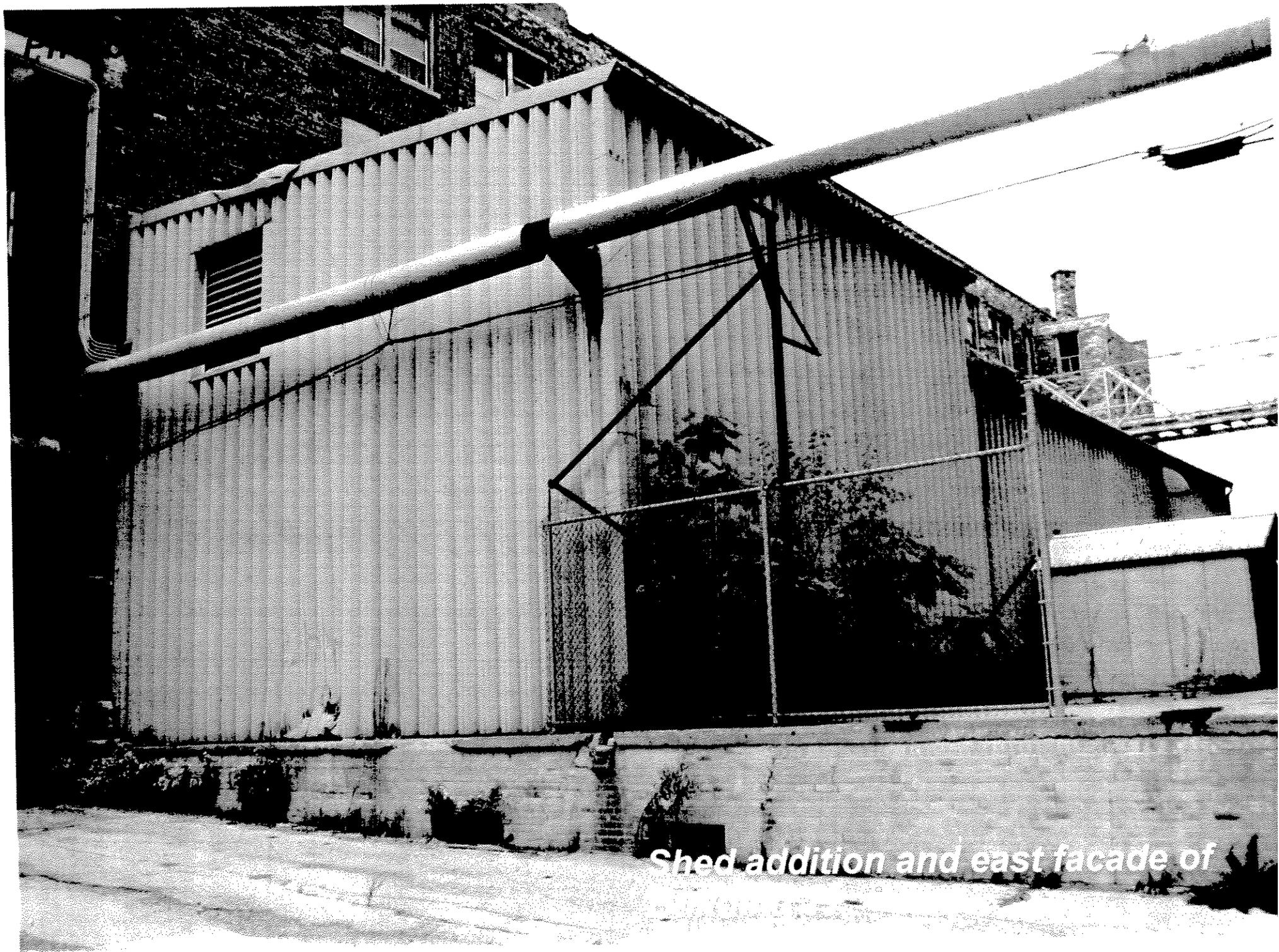
PIERCE ENGINEERS, INC.

May 27, 2003

Description	Bay Spacing	Typical Framing Systems	Lateral System	Estimated LL	Concrete Topping Slabs	Exterior	Structural Deficiencies	Program Discussion
<p>5-story generally timber framed building with timber posts and beams supporting timber joists and decking with exterior load bearing brick bearing walls.</p> <p>Modifications were completed sometime after 1980 to accommodate a new dryer that resulted in removal of most of the timber floor framing systems on the 1st floor, replaced with open steel decking supported on steel channels and beams attached to existing wood columns.</p> <p>The timber floor systems in this building, including decking, joists, timber beams and timber posts, in general, have been severely water damaged to the point where portions of the upper floors are unsafe to walk on. Open areas on upper floors exist where wood floor systems have completely rotted away. Completely open portions of the roof structure also exist where members have failed and fallen in.</p>	<p>Two NS timber beam lines with spans of 11'-4" support three timber joist spans of roughly 15'-0" EW. Joists bear on exterior brick masonry walls that are approximately 1'-10" thick at the base. 1st floor systems were removed and replaced in or shortly after 1980 with open steel grating resting on steel channels to accommodate new dryer equipment.</p>	<p>Timber beams, posts, joists and decking on upper floors and roof, with open steel grating (retrofit) on the 1st floor. Efforts to field measure actual member sizes were limited due to the overall level of deterioration within the building and the general perception that interior floor systems would be removed and replaced when development proceeds.</p>	<p>Exterior brick masonry bearing walls provide lateral support systems.</p>	<p>1st: ≥ (1) 2nd: ≥ (1) 3rd: ≥ (1) 4th: ≥ (1) 5th: ≥ (1) Roof: = (1)</p> <p>(1) Floor/roof capacities were not determined since all floor and roof systems are scheduled to be removed and replaced. Existing floor systems are unsafe to occupy.</p> <p>New floor systems will be selected to support planned occupancy and system self weights.</p>	<p>New floors can be sized/designed for specific loads for occupancy and concrete topping slabs.</p>	<p>Exterior brick masonry, in general, appears to be in satisfactory condition. Tuckpointing of parapet walls, grade level brick along sidewalks and paved areas, etc., should be expected.</p> <p><u>NOTE:</u> Temporary bracing of existing exterior walls will be necessary prior to and during demolition of interior floor and roof systems. Bracing should remain in place while reconstruction work continues for new floor and roof framing.</p>	<p>As previously discussed, all timber framing elements are in a state of collapse. Several columns have already failed and floor areas have dropped. Bearing failure of several beams has also occurred where beams have smashed or squashed where they bear on column corbels/lambstounges.</p> <p>Most of the wood systems are currently moisture damaged and saturated, with general decking failure and top of joist deterioration. Open areas in the roof structure and 5th floor currently exist where advanced deterioration and rotting has occurred. Existing wood systems are generally beyond repair with the possible exception of some wood joists.</p> <p>Care needs to be exercised when interior floor systems are removed. It is expected that exterior brick masonry walls, openings and parapets will remain in place, with new floor systems constructed within and integral with remaining exterior walls. Temporary bracing schemes need to be developed prior to commencement of demolition work efforts.</p>	<p>Program concepts are expected to be achievable once new floor systems are reconstructed.</p>



Bridge between Building 10 and Building 11

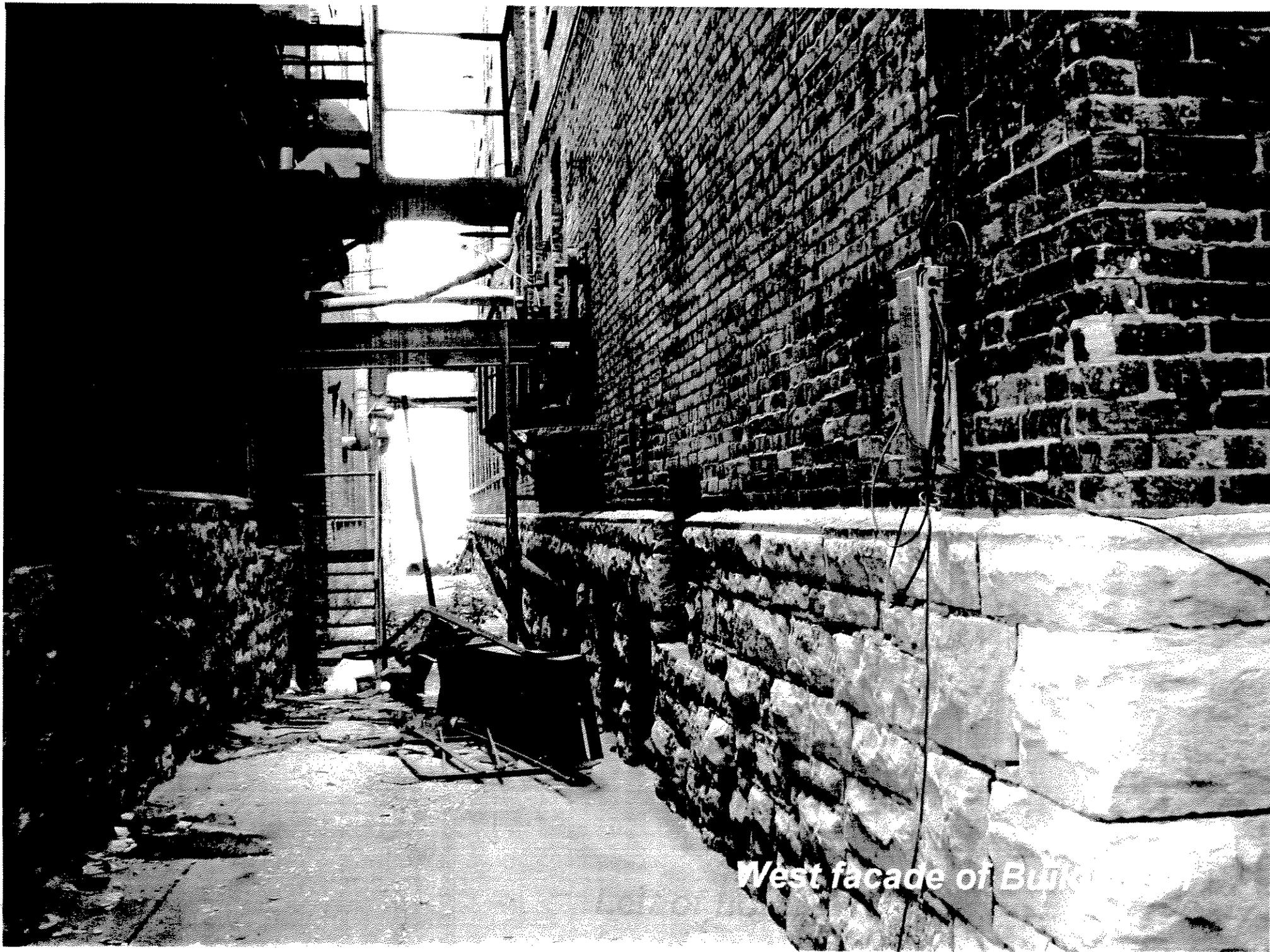


Shed addition and east facade of

Photo 15



Left of hopper is Building 17 east facade, right of hopper is Building 11 east facade with shed addition



West facade of Burk



Upper floor of Building 41

Photo 16



*East facade of Building 17
(Silos in background)*

Photo 17



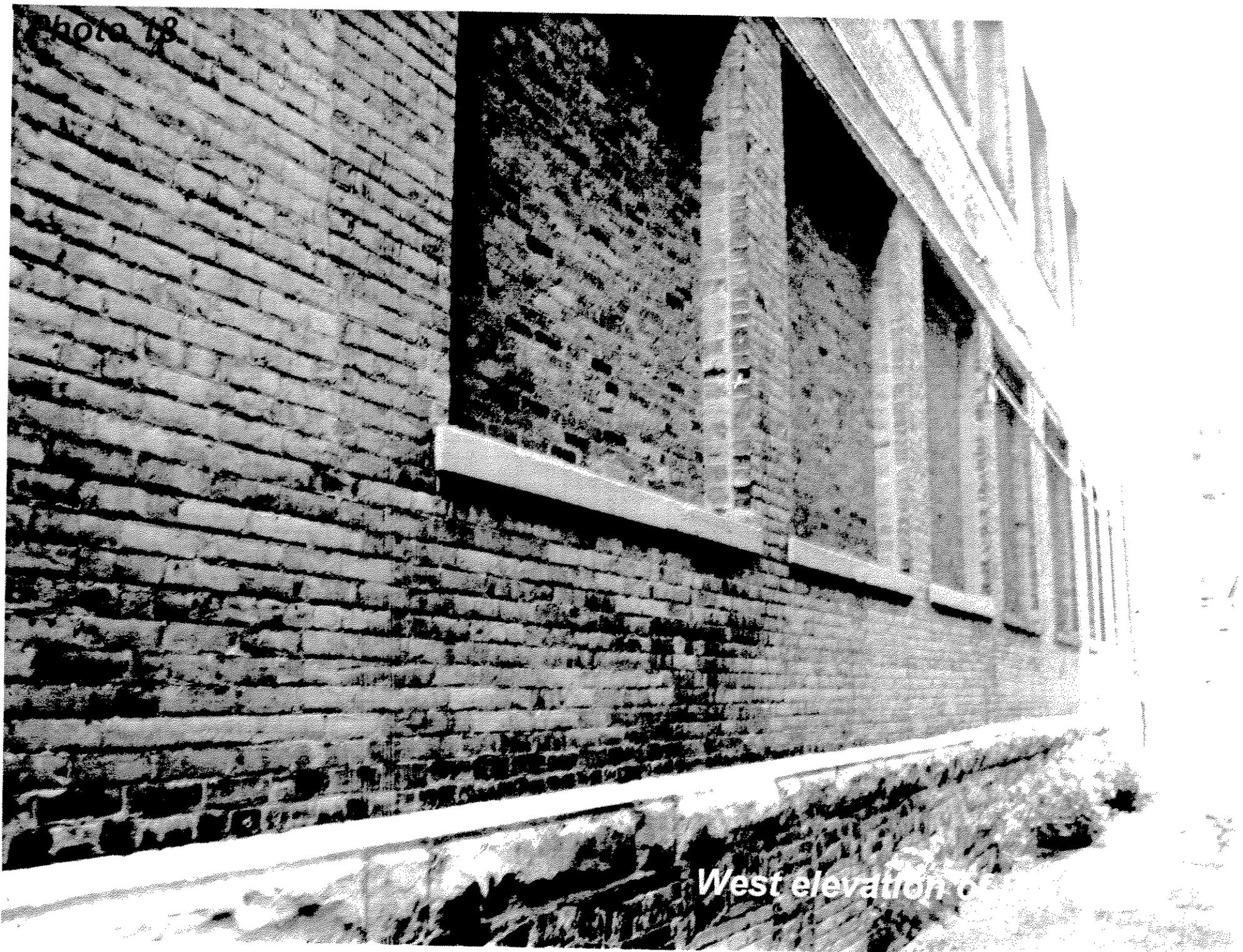
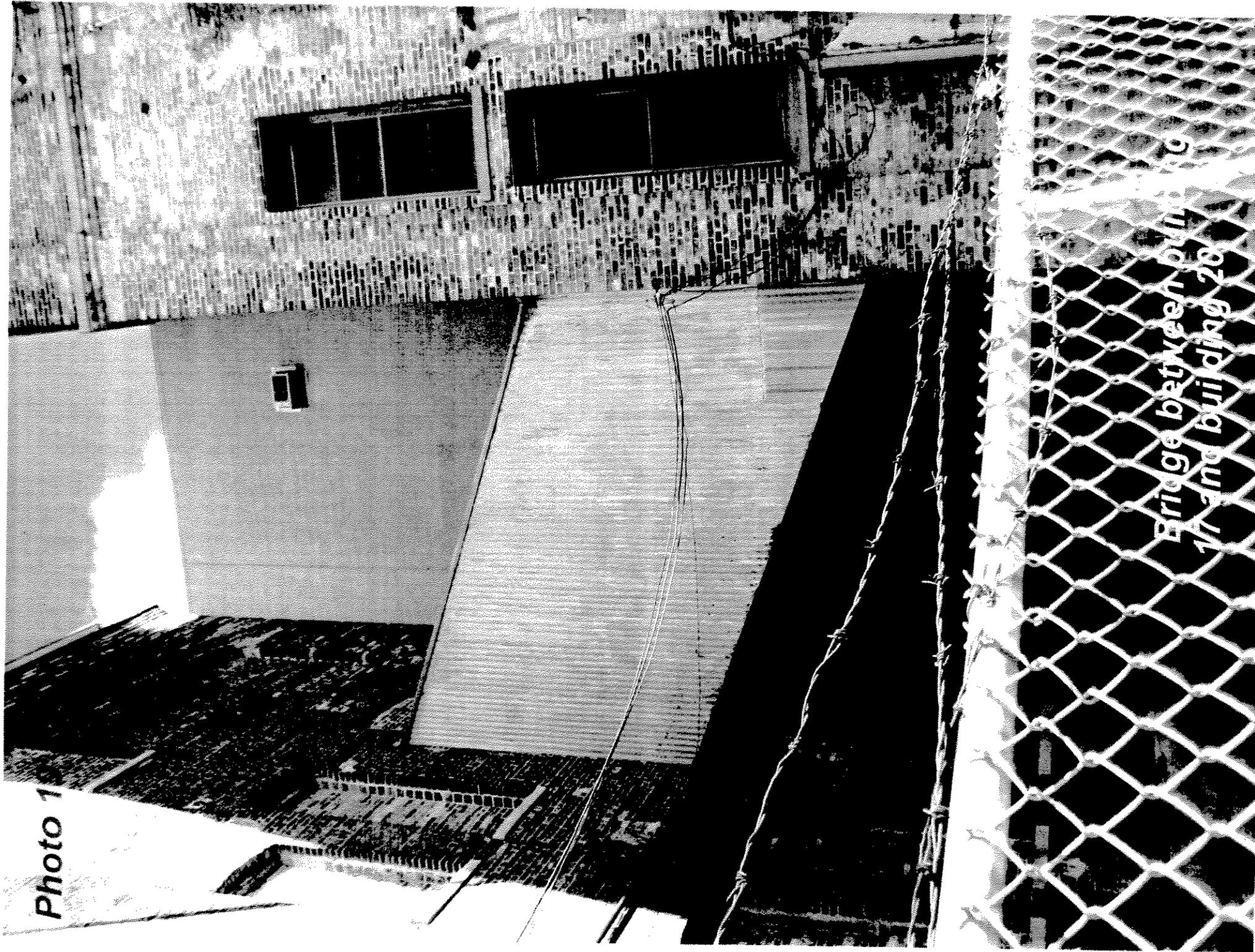


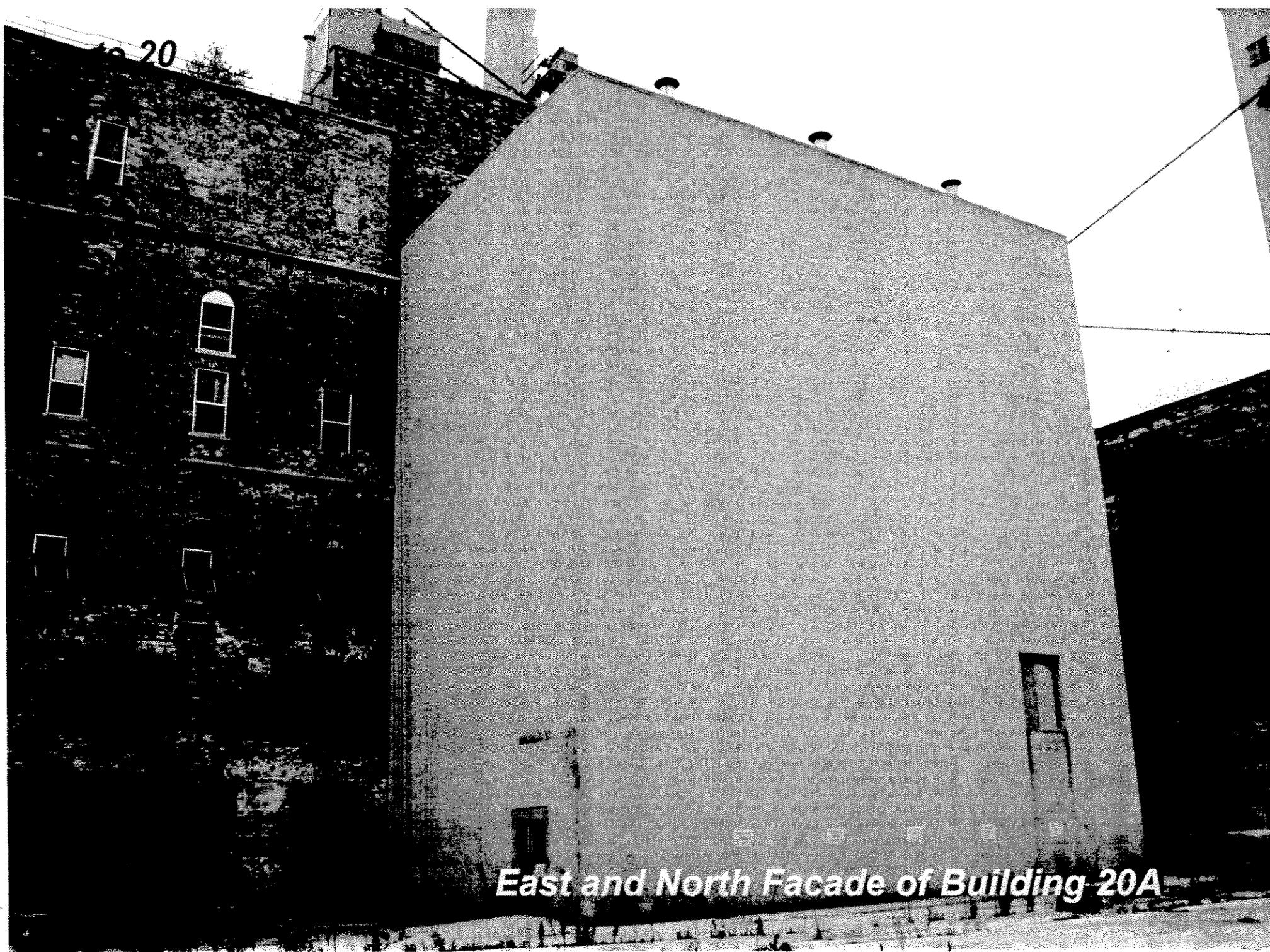
photo 18

West elevation of

Photo 1



Bridge between building
17 and building 20



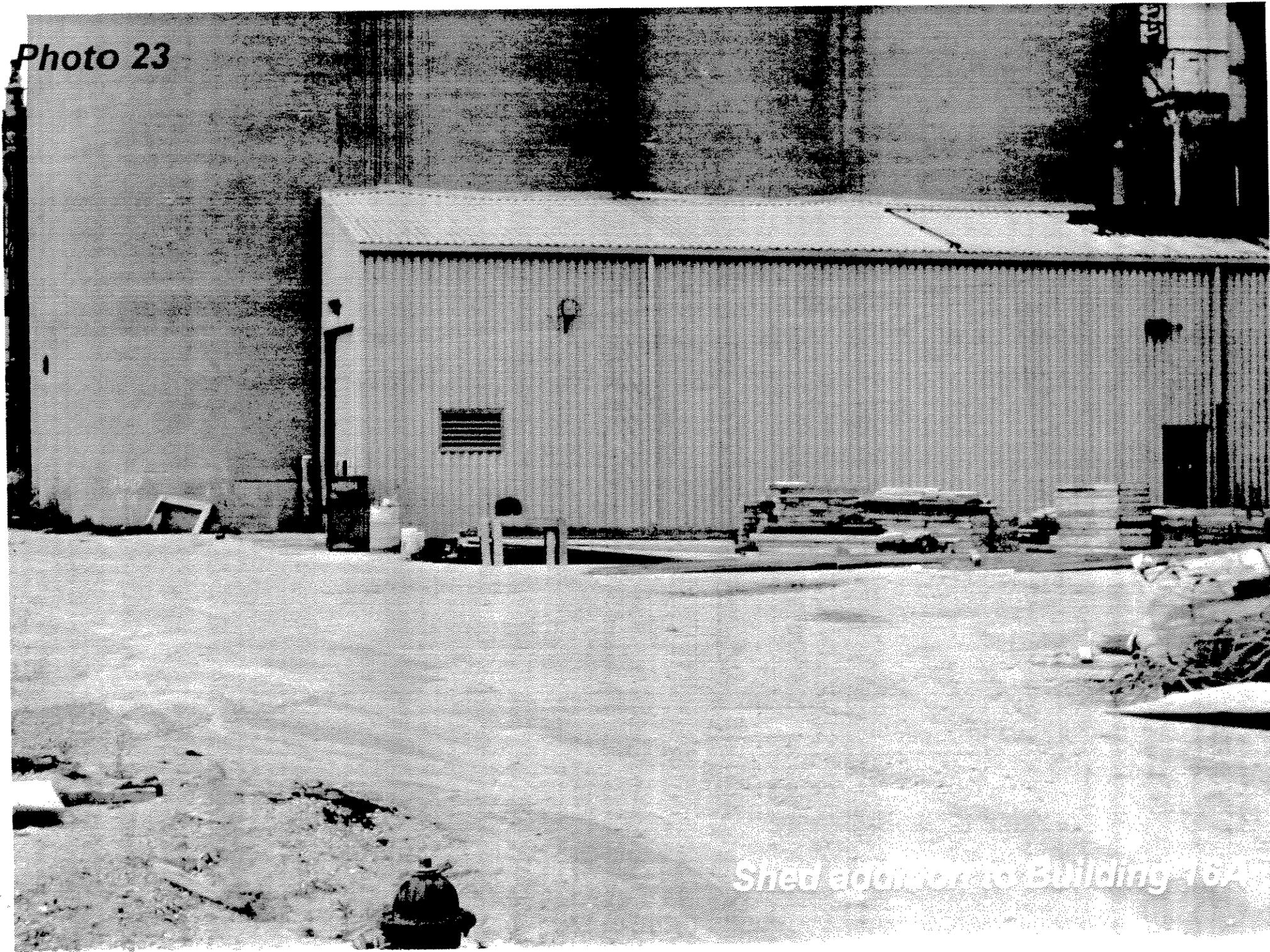
East and North Facade of Building 20A

Photo 22



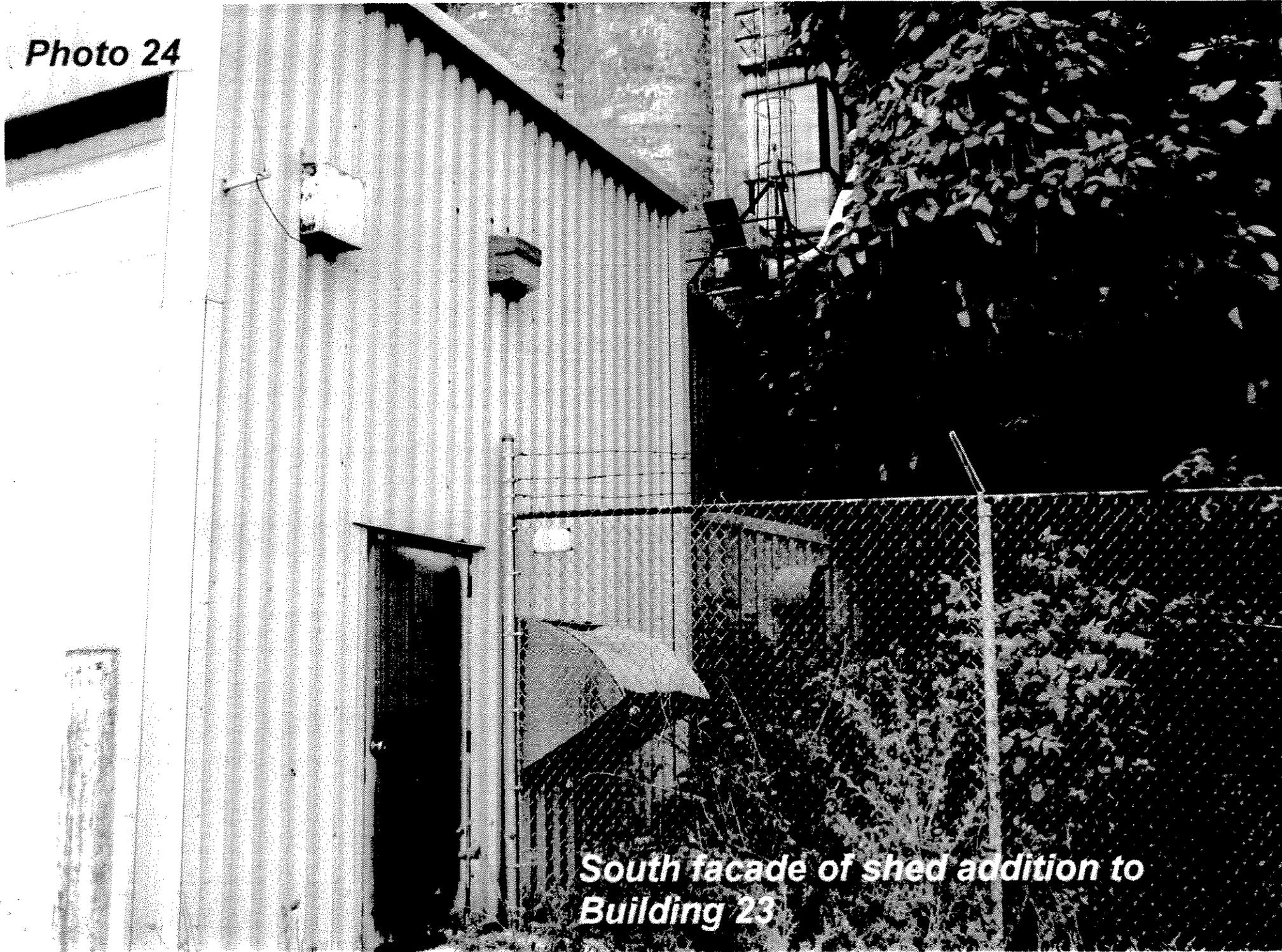
Photo 24A (center)

Photo 23



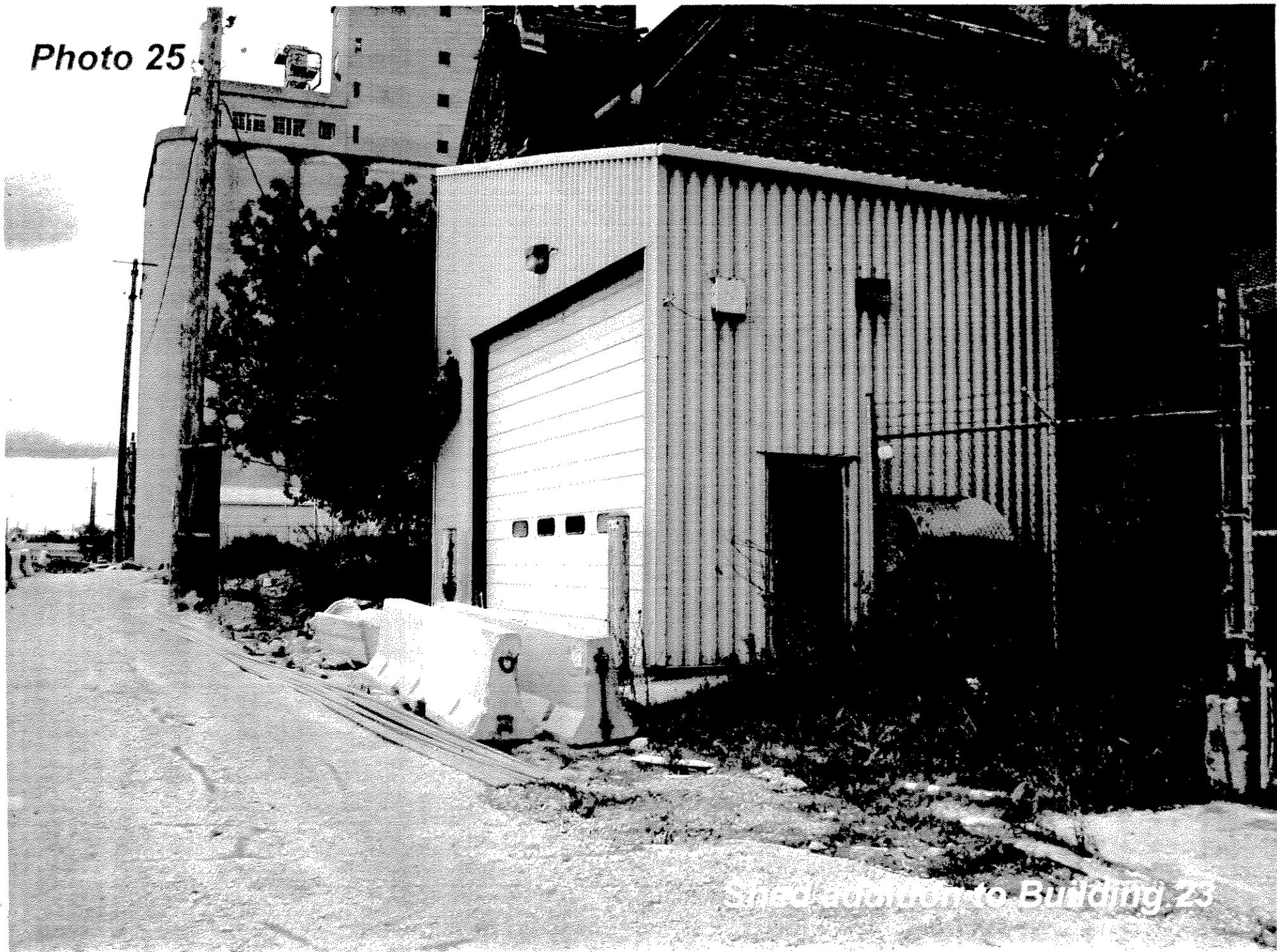
Shed adjacent to Building 16A

Photo 24

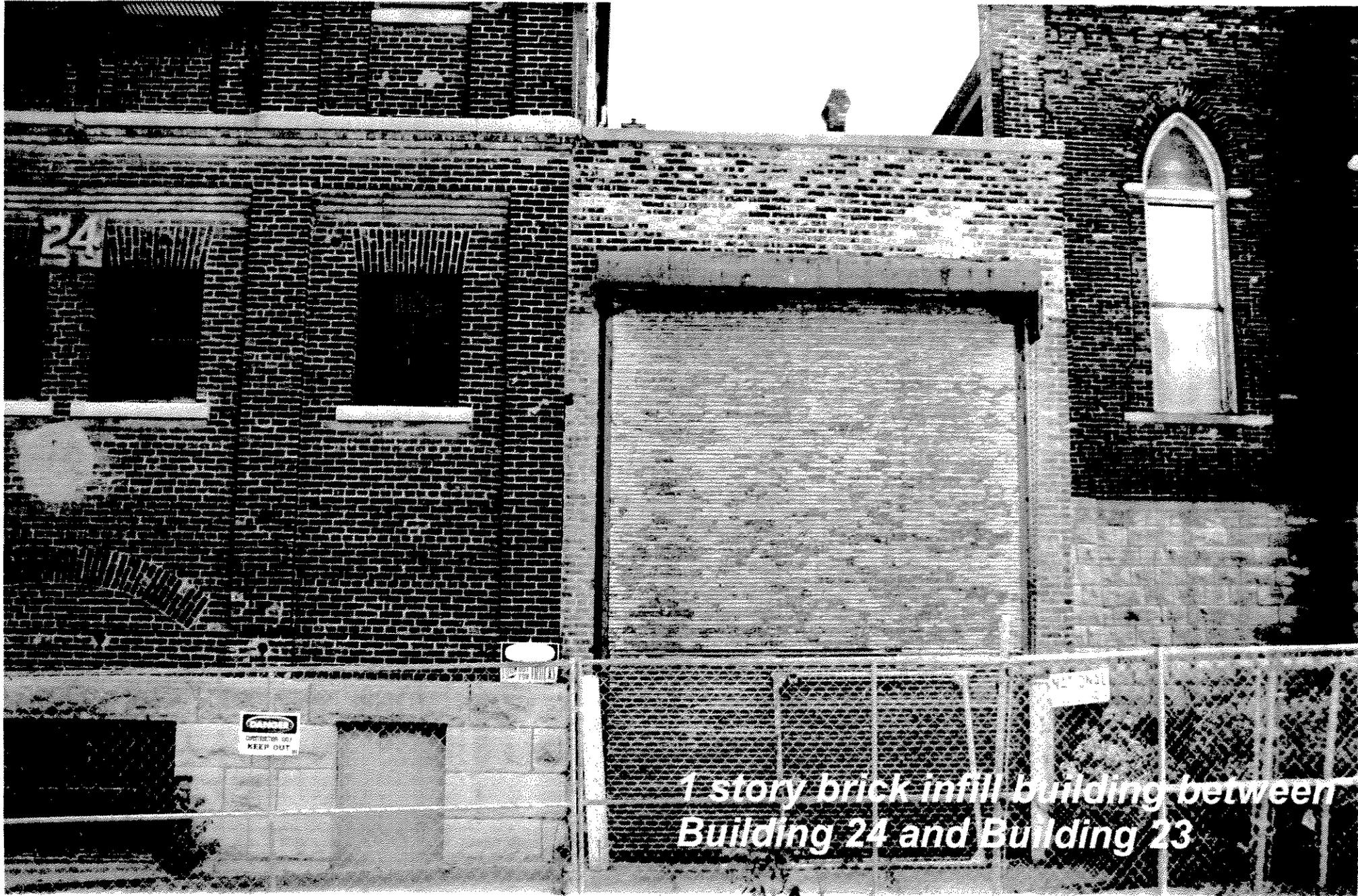


***South facade of shed addition to
Building 23***

Photo 25



Shed addition to Building 23



1 story brick infill building between Building 24 and Building 23