

Historic Mitchell



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

**Property** 828 W. HISTORIC MITCHELL ST.

**Description of work** Tuck-point brick on storefront as needed; install new second story wood windows on storefront to match existing windows; install new storefront glazing, bulkhead and doors.

**Date issued** 8/12/2008 PTS ID 51935 COA, storefront rebuild and restoration

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work must be done according to attached drawings. Windows will be made from wood both inside and out. New mortar must match old mortar exactly in terms of color, hardness, texture and joint finish.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210 or 8211.

Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Jim Witkowiak, Contractor Andy Verbeski, Inspector Greg Eighme (286-2537)

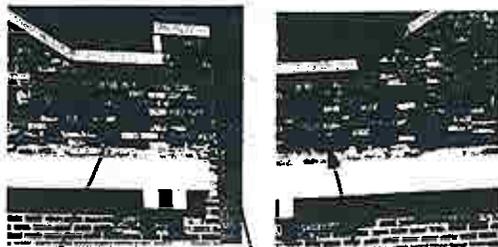
# BRICK



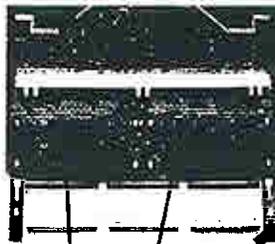
FACADE IS GENERALLY IN GOOD CONDITION, HOWEVER, TUCKPOINTING OF BUILDING IS NECESSARY IN GABLE AREA.

RE-TUCKPOINTING. - MORTAR THAT DOES NOT MATCH SHOULD BE GROUND OUT AND NEW MORTAR THAT COMPLIMENTS ORIGINAL BRICK MORTAR SHOULD BE PUT IN MORTAR JOINTS.

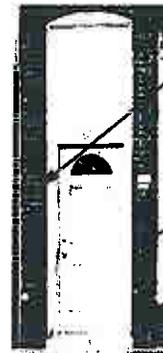
OPTIONAL- CLEAN BRICK AND CAST STONE WITH REJUVENATION BRICK CLEANING PRODUCTS.



GABLE AREAS THAT NEED TUCKPOINTING ATTENTION ARE SHOW IN THE ABOVE PHOTOS.



THESE MORTAR JOINTS SHOULD BE GROUND OUT. NEW MORTAR MUST MATCH EXACTLY.



OPTIONAL- BRICK CLEANING, USE REJUVENATION 101 G, GRANITE, TERRA COTTA AND BRICK CLEANER. CLEAN A TEST PATCH FIRST FOR APPROVAL BY THE HISTORIC PRESERVATION COMMISSION STAFF.

\*SANDBLASTING MUST NEVER BE USED TO CLEAN BRICK OR MASONRY. IT CANNOT BE OVER-EMPHASIZED THAT SANDBLASTING IN-VARIABLY DESTROYS THE HARD, PROTECTIVE OUTER 'SKIN' OF...BRICK AND ACTUALLY ACCELERATES DETERIORATION, STAINING AND DISCOLORATION OF THE MASONRY.\*

-GOOD FOR BUSINESS: A GUIDE FOR THE REHABILITATION OF OLDER COMMERCIAL BUILDINGS.

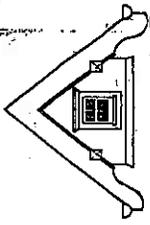
SOURCES:  
DIEDRICH TECHNOLOGIES AND REJUVENATION PRODUCTS, MASONRY CLEANING RESTORATION, AND PRODUCTS  
7373 S.6TH OAK CREEK, WI  
1-800-323-3565

MASONRY REPAIR AND TUCKPOINTING  
TUCKPOINTING BY MARION  
3512 N. KOSTNER, CHICAGO  
(773) 202-9392

## THE MILWAUKEE PRESERVATION PORTFOLIO

MILWAUKEE HISTORIC PRESERVATION COMMISSION  
809 N. BROADWAY  
MILWAUKEE, WI 53202  
(414) 286-5705





THE MILWAUKEE  
PRESERVATION  
PORTFOLIO ©  
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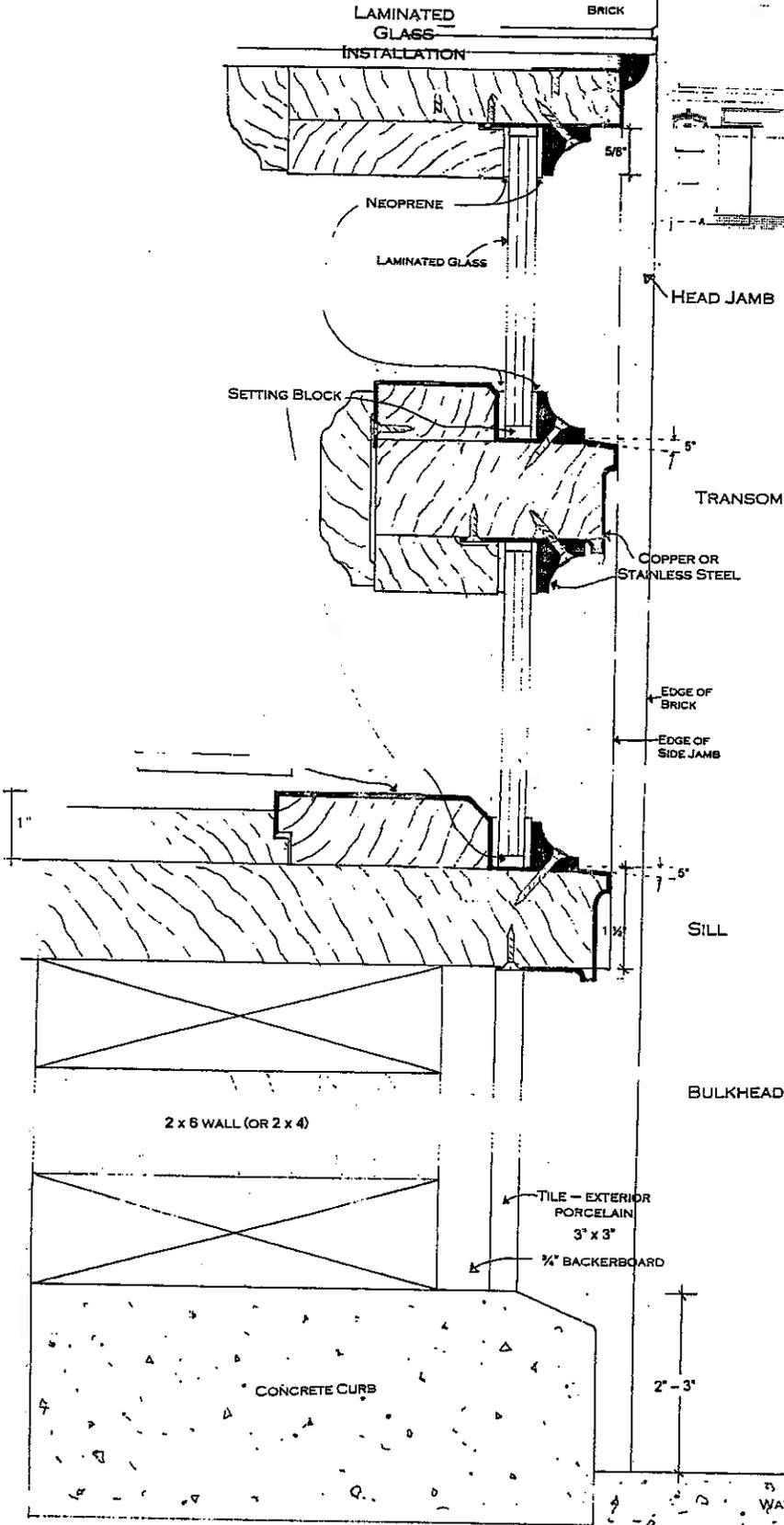
28 W. Historic  
Mitchell Street  
Storefront Façade  
Rehabilitation  
REPRODUCTION WITHOUT  
PERMISSION PROHIBITED

Front Elevation

Scale: 1/2" = 1'-0"



SECTION A





**THE MILWAUKEE  
PRESERVATION  
PORTFOLIO ©**

MILWAUKEE HISTORIC  
PRESERVATION COMMISSION  
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MILWAUKEE, WI 53202  
(414) 286-5705

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**828 W. Historic  
Mitchell Street**

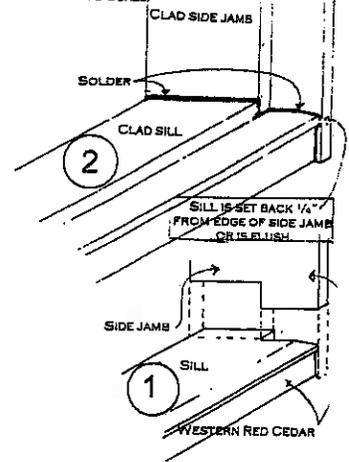
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**Section A:  
Storefront Glazing System and  
Bulkhead Construction**

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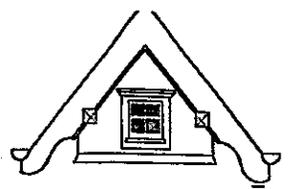
Scale: Full Size

SILL AND JAMB  
CONNECTION DETAIL  
(NOT TO SCALE)



- TOP OF CONCRETE CURB IS LEVEL. DETERMINE HEIGHT OF CURB TO ACCOMMODATE FOUR ROWS OF 4" X 4" TILE ON BULKHEAD.
- ALL POSTS, SILLS, JAMBS, AND TRANSOM BARS ARE LEVEL, PLUMB, AND SQUARE. GAPS ALONG THE BRICK TO THE SIDES AND ABOVE ARE FILLED WITH EXPANDABLE INSULATION AND COVERED WITH A METAL QUARTER ROUND, 1/2" OR LARGER DEPENDING ON SIZE OF GAP.
- USE ROT RESISTANT WOOD THROUGHOUT. RECOMMENDED - DRY TREATED LUMBER FOR THE BULKHEAD FRAMING, AND WESTERN RED CEDAR, CYPRESS, OR REDWOOD FOR THE JAMBS, SILL, AND TRANSOM BAR.
- FLANGE ON STAINLESS STEEL POST WILL BE COVERED BY TRIM.
- TILE WILL BE EXTERIOR PORCELAIN, SUITABLE FOR FREEZE/THAW CYCLES.
- THE ART GLASS TRANSOM WINDOWS WILL BE INSTALLED LEVEL AND PLUMB, WITH APPROXIMATELY 1/8" REVEAL ON THE ZINC CHANNEL, TOP, BOTTOM, AND SIDES.
- IF THE LAMINATED GLASS AND THE ZINC CHANNEL ARE DIFFERENT THICKNESS, ACCOMMODATE THE DIFFERENCE WITH THE VARYING THICKNESSES OF NEOPRENE.

HEAD BLOCK 3" = 1'-0"



THE MILWAUKEE  
PRESERVATION  
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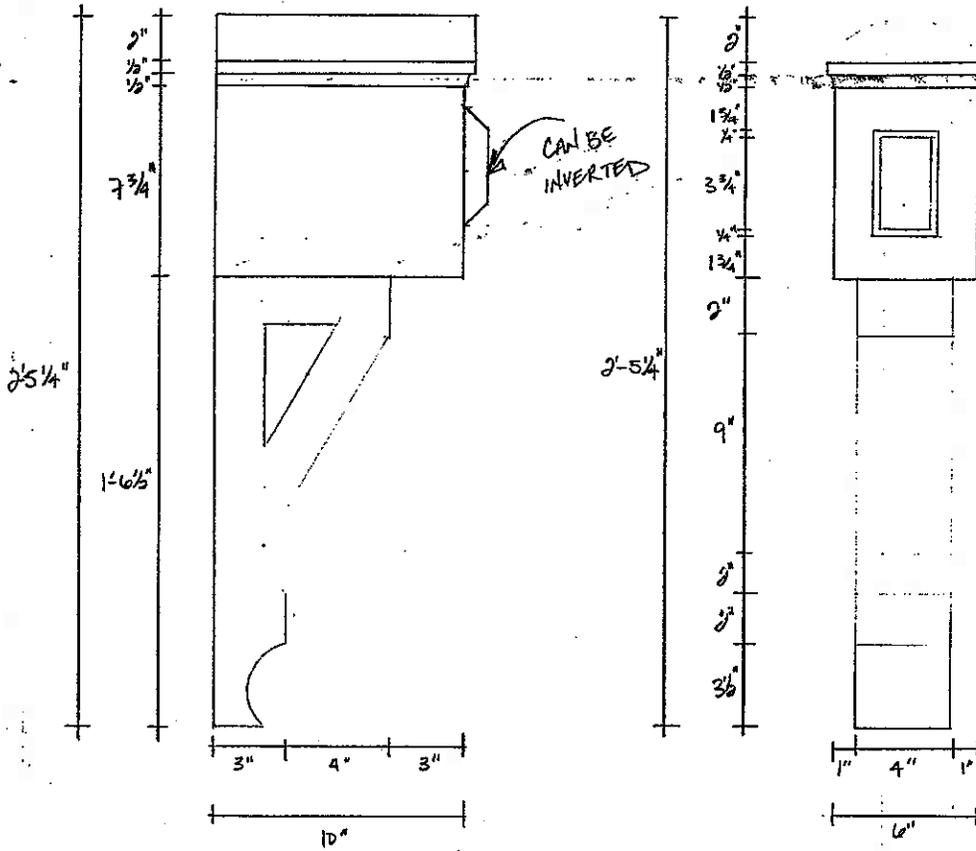
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Cornice Details

Scale: 3" = 1'-0"



**NOTE:**

ALL EXTERIOR WOOD FOR STOREFRONT SHOULD BE QUARTER SAWN, CLEAR AND FREE OF KNOTS AND SAPWOOD, AND NATURALLY DECAY-RESISTANT WHICH INCLUDES SUCH SPECIES AS: CYPRESS, MAHOGONY, WHITE OAK, REDWOOD, WESTERN RED CEDAR, ATLANTIC WHITE CEDAR

