



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 3410 N. LAKE DR. (North Lake Drive Estates Historic District)
Description of work Remove roof of rear porch and install larger sliding glass doors on rear elevation
Date issued 5/26/2009 PTS ID 58607 COA, window changes on rear elevation

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

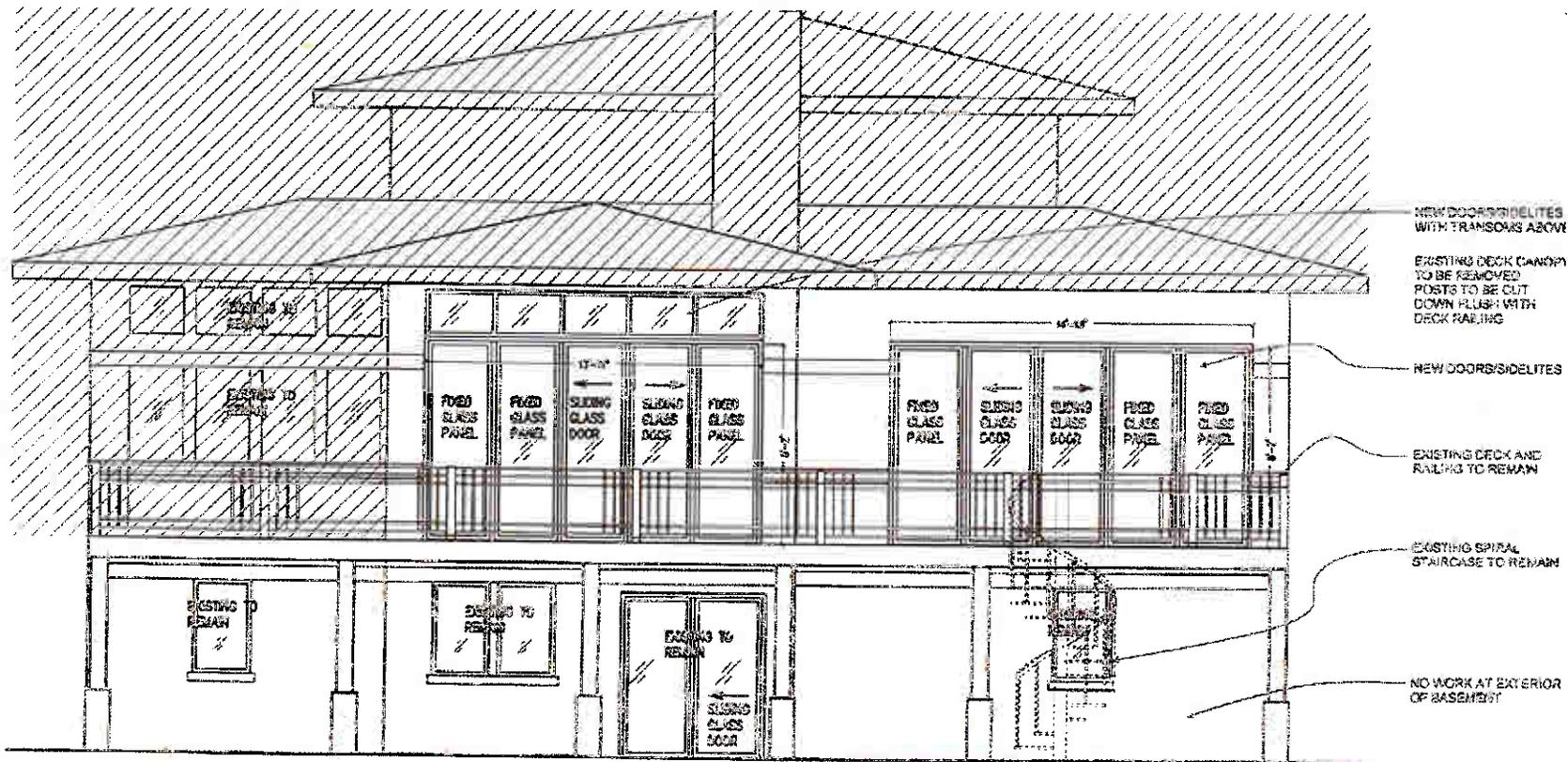
All work must be done according to attached drawings and photos. Any new brick must match original in terms of color, texture, size and finish. Any new mortar must match the original in terms of color, texture, joint width and joint finish. The existing windows are made of wood both inside and out and the new windows and doors must match likewise. (No vinyl, vinyl-clad, aluminum, aluminum-clad or fiberglass.)

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Contractor, Inspector Jim Friedrichs (286-5982)



A ELEVATION - REAR
 10/25/17/17-18

TITLE: REAR DOORS AND SIDEWALK		DATE: 10-25-17	
PROJECT: HURLEY RESIDENCE		SHEET: 4.2	
OWNER: JCI	DESIGNER: JCI	1000 N. GOLF DR., DEER CREEK, ARIZONA, U.S.A. 85209	
FILE NUMBER: ED-4219-030	DATE: 10-25-17	TEL: 480-242-1111	FAX: 480-242-1111

Rear elevation of 3410 N. Lake Drive showing proposed new sliding doors in place of windows.

Existing Windows
& Patio Doors
To Be Removed,
Openings Enlarged,
& New Custom Glass
Doors Installed

Existing Windows
To Remain - No Work



Existing Roof Over Deck
To Be Removed

Existing Windows
& Patio Doors
To Be Removed,
Openings Enlarged,
& New Custom Glass
Doors Installed

Photograph 2 – Additional View of East (Lakeside) Façade

Photos of existing rear elevation with notes detailing changes to fenestration.