



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 3304 W. KILBOURN AV.
Description of work Install venting through rear foundation wall for new furnace.
Date issued 3/12/2008 PTS ID 49226 COA, new venting for furnace

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Vent to be painted out to blend with the color of the surrounding building material. Vent must not be visible from the street.

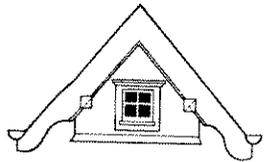
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Willie Hines, Contractor Donovan and Jorgenson, Inspector Tim Bolger (286-2536)

CONCORDIA HIST. DIST.



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

Property 3304 W. KILBOURN AV.

Description of work New 2-car garage.

Date issued 9/25/2006

PTS ID 36284 COA New 2-Car Garage

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff. The structure must have wood siding. Siding must be made of smooth wood. All finish wood must be smooth and free from knots and sapwood. All wood must be painted as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakobovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-5712 E-mail: pjakub@mkedcd.org.

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City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Willie Hines, J.D. Griffiths Co.- Robert Griffiths, Inspector Tim Bolger (286-2536)



**THE MILWAUKEE
PRESERVATION
PORTFOLIO**

MILWAUKEE HISTORIC
PRESERVATION COMMISSION
300 N. BRUNNEN
MILWAUKEE, WI 53202
(414) 226-7100

The Basic Two-Car

1. Use panel garage doors
to entry for wood-frame houses
Model 203-06 ©

REPRODUCTION WITHOUT
PERMISSION PROHIBITED

Elevation

Scale: 1/2" = 1'-0"

*ALL TRIM SHOULD BE 1 1/2" x 3/4" (MINIMUM) WOOD THAT IS PAINTED (UNLESS NOTED OTHERWISE). IT SHOULD BE A RESISTANT SPECIES INCLUDING RED CEDAR, WHITE CEDAR, REDWOOD, CYPRESS, WHITE OAK AND MAPLE/GALN.

*NO TRIM IS USED AT WINDOWS OR DOORS. SMOOTH CEMENT BOARD SIDING IS USED IN AREAS WHERE TRIM WOULD BE DECAID RESISTANT. ARCHITECTURAL FINISHES ARE NOT RECOMMENDED UNLESS THEY ARE RECOMMENDED IN THE SPECIFICATIONS TO THE DRAWING IN AN OUTLINE DETAIL SECTION.

*LET TRIM ABOVE WINDOWS AND DOORS. THE CORNER BOARDS, FINISH TRIM, AND RAISED CORNER TRIM SHOULD ALL BE 1 1/2" x 3/4".

*PLEASE NOTE THAT QUARTER SAUN VENEER WILL LAY FLATTER, HOLD FAST BETTER AND GENERALLY LAST LONGER THAN FULL GRAIN WOODS OF THE SAME SPECIES.

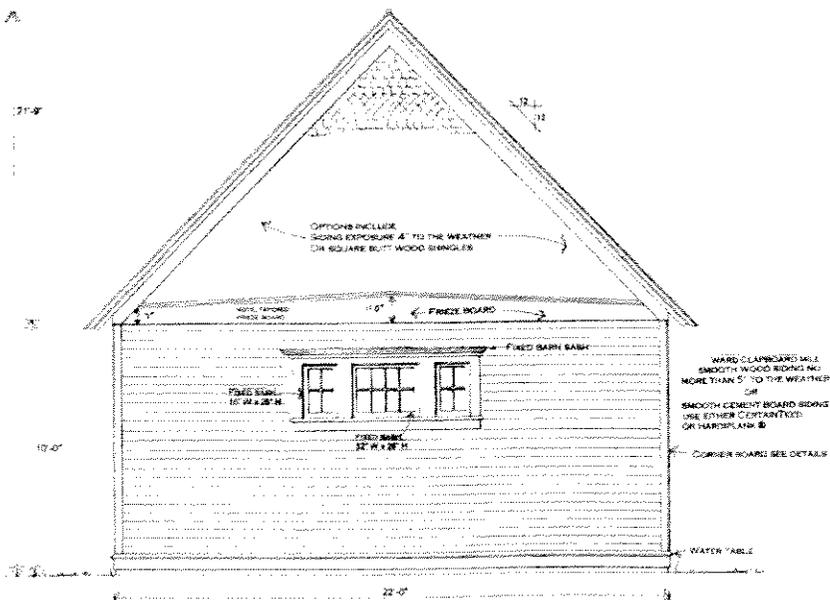
*USUALLY SAWN OR TRIM OF QUARTER SAUN EASTERN WHITE PINE OR SPRUCE (UNLESS OTHERWISE SPECIFIED).

*RESEARCH HAS SHOWN THAT WHEN NEW BARE WOOD IS LEFT EXPOSED TO THE EXTENSION ELEMENTS OF A PERMANENTLY A WOOD OR FOR THE LIFE OF THE FINISH IS APPLIED TO IT IN LATER YEARS, DISCOLORING, PRESSING AND BARKING WOOD PILES TO INTERIOR CAN BE PREVENTED BY PUT OF THE WOOD AND THE FINAL PAINT JOB.

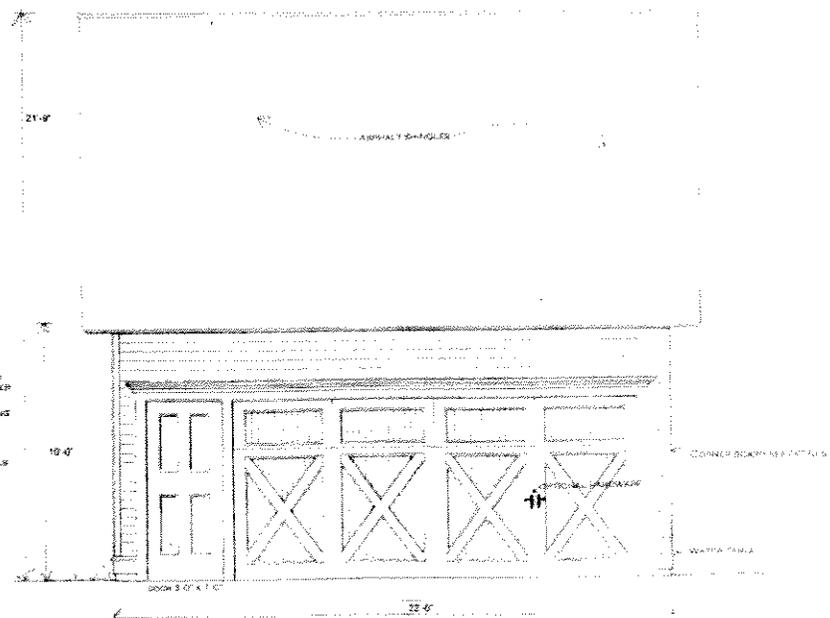
GARAGE DOOR
18'-0" x 7'-0"

C.H.I. OVERHEAD DOOR
CONTACT JIM ECKERT
ECKERT DOOR CO
6510 W. STATE ST
MILWAUKEE, WI 53221-5
(414) 453-9000

STYLE RECOMMENDED IS THE SARRAGE HOUSE STYLE DOOR WITHOUT WINDOWS AND TRIM IS RECOMMENDED INSTEAD OF WOOD. DOOR HARDWARE AND HANGERS ARE OPTIONAL. DRAWN IS THE BASIC DOOR AT A COST OF \$3000 (DO NOT INSTALLED PRICE). THE 6210 DOOR STARTS AT \$1500 (DO NOT INSTALLED).



REAR



LEFT

ALL TRUSSES SHALL BE CLEAN, DRY, KNOT-FREE WOOD THAT IS FREE OF GRASSHOPPER AND OTHER NATURE'S LOCAL INSECT AND SPIDER AND INCLUDING RED CEDAR, WHITE CEDAR, REDWOOD, LYNXWOOD, WHITE OAK AND METALFAST.

NO PAINT TO BE USED. TRUSSES SHALL BE CLEAN, DRY AND FREE OF GRASSHOPPER AND OTHER NATURE'S LOCAL INSECT AND SPIDER AND INCLUDING RED CEDAR, WHITE CEDAR, REDWOOD, LYNXWOOD, WHITE OAK AND METALFAST.

RELAT. TRUSS ANCHORS AND DOWNES THE CORNER BOARDING. TRUSS ANCHORS AND DOWNES CORNER BOARDING ARE 4 1/2" DIA. TRUSS.

PLEASE NOTE THAT CLIPPED SPAN WOOD WALL CLAY PLASTER AND DRY PART BATTER AND INTERNAL PLASTER LINDSAY SHALL BE PLAIN SAWED WOOD OF THE SAME SPECIES.

*BRACKETS SHOWS A TYPE OF JOINTS IF ANYONE WANTS TO KNOW MORE ABOUT THEM, SEE THE ARCHITECT'S OFFICE FOR MORE INFORMATION.

*RESEARCH HAS SHOWN THAT WOODEN WOOD BARE WOOD IS LEFT EXPOSED TO THE EXTERIOR ELEMENTS FOR A PERIOD OF 10 HOURS OR MORE, THE USE OF THE PAINT IS APPLIED TO IT IS LIKELY TO BE DEGRADED. PRIMER AND PAINTING WOOD PRIOR TO INSTALLATION CAN INCREASE THE LIFE OF THE WOOD AND THE PAINT FINISH.



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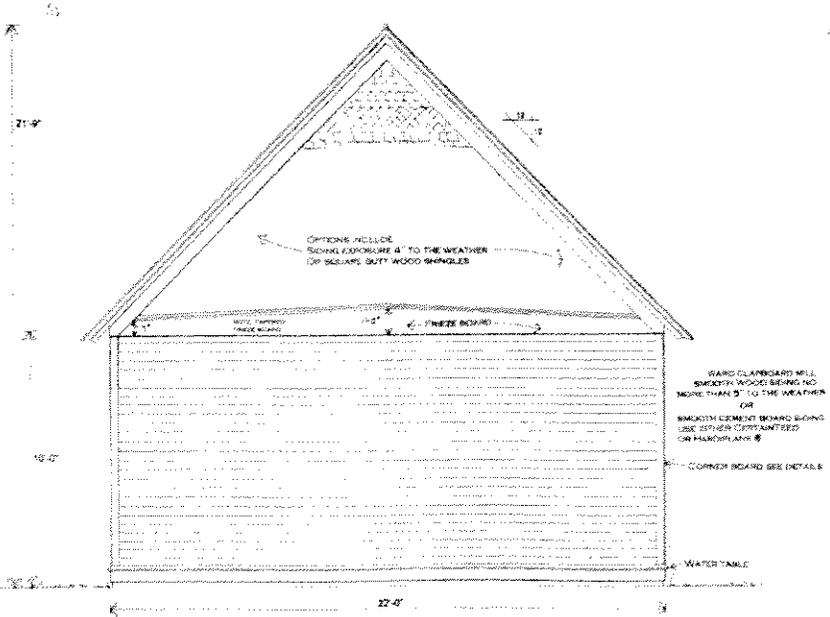
The Basic Two-Car

A side garage attached to the main house.

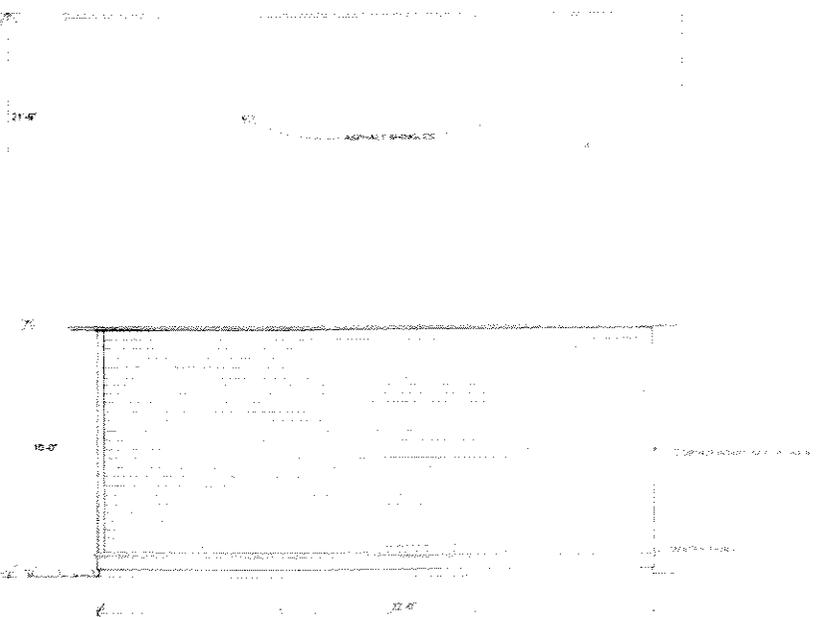
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Elevation

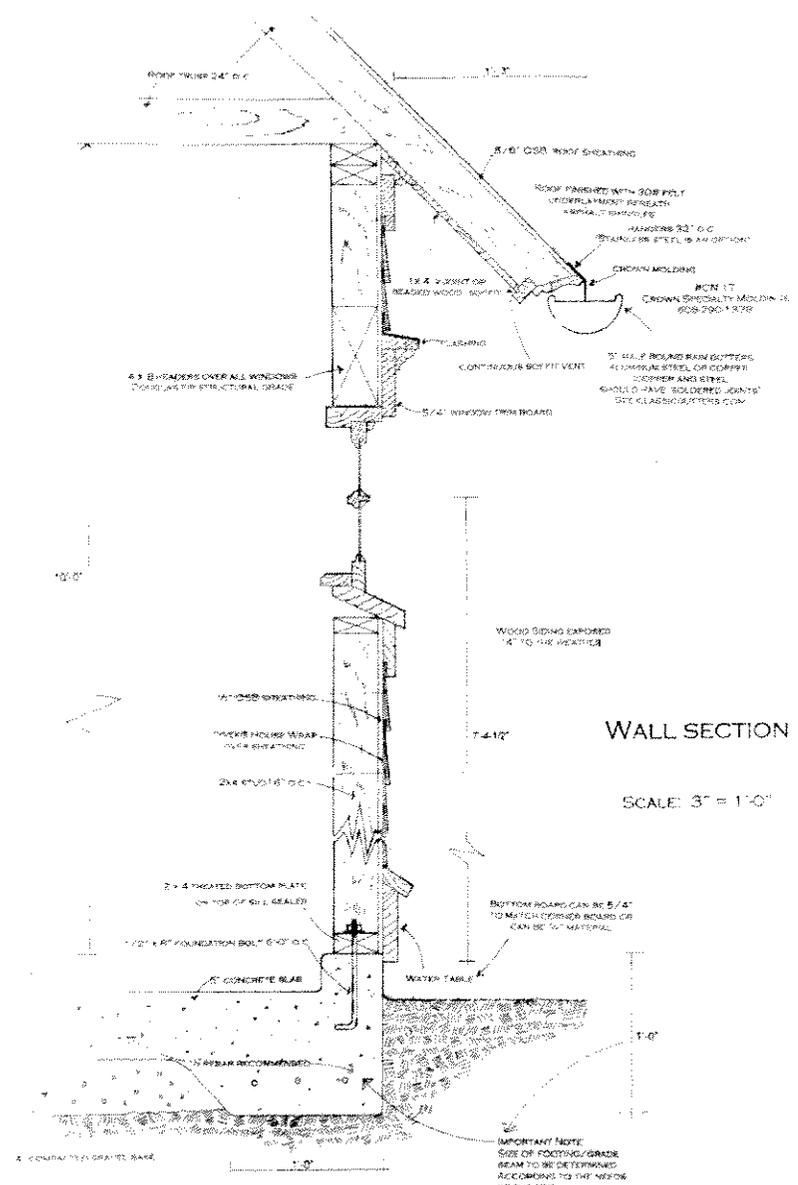
Scale 1/2" = 1'-0"



North



West



Garage

REPRODUCTION WITHOUT
PERMISSION PROHIBITED

Wall Section

Scale: 3" = 1'-0"
1" = 4'-0"

WALL SECTION

SCALE: 3" = 1'-0"

WOOD SIDING EXPOSED
1" TO THE WEATHER

7'-4 1/2"

BOFFORD BOARD CAN BE 5/8"
TO MATCH CORNER BOARD OR
CAN BE 1" MATERIAL

1'-0"

IMPORTANT NOTE:
SIZE OF FOOTING/GRADE
BEAM TO BE DETERMINED
ACCORDING TO THE WEIGHT
OF THE ROOF

8. CONCRETE GRADE BALK

1'-0"

