



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

**Property** 3020 W. MC KINLEY BL.  
**Description of work** Install new wheelchair ramp and add post lighting and remove a window to allow for a door penetration. Remove chain link fence to accommodate the ramp.  
**Date issued** 9/25/2009 PTS ID 61251 COA

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work must be consistent with submitted and approved drawings. The visible portions of the ramp shall be constructed of cedar and have a guardrail and skirting as indicated in the sketches. The ramp shall be lit by a light post at the bottom of the ramp, a post light at middle of the ramp, and a soffit light above the new entry door. They will be fitted with motion detector bulbs. The opening created in the sun porch for the new doorway will result in the removal of one pair of casement windows. The new entry door will consist a single large light over a recessed panel. Caming strips will be added to the glass so that it resembles the other leaded glass at the house. All material removed will be saved for future re-installation should ownership change.

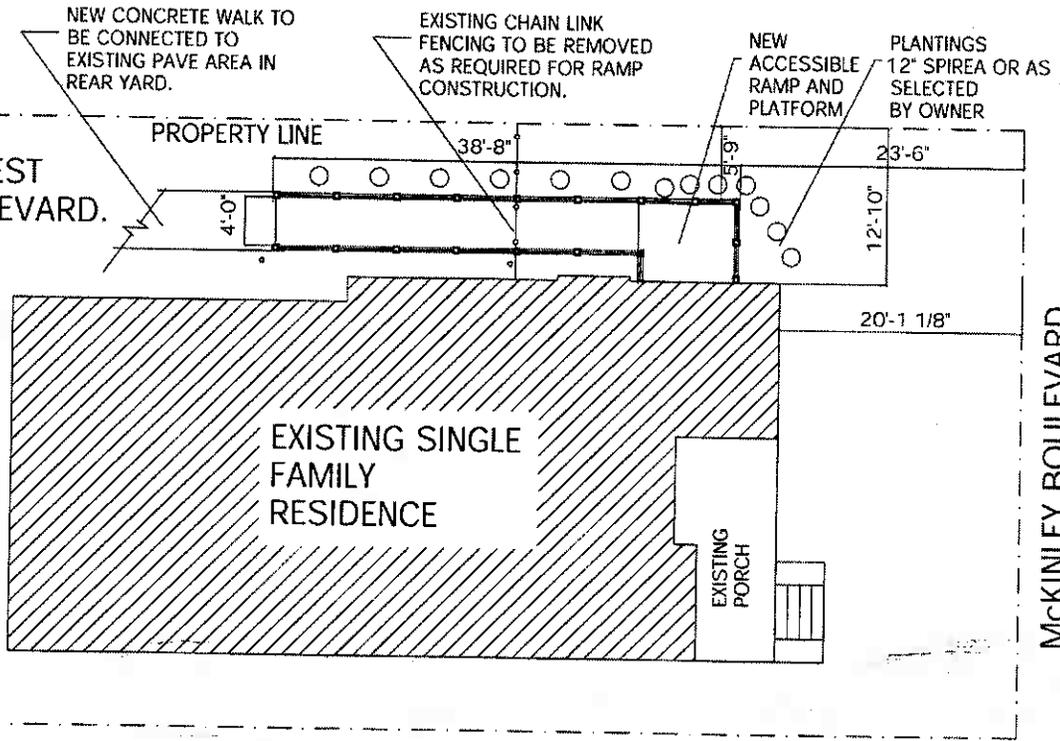
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Carlen Hatala of the Historic Preservation staff as follows: Phone: (414) 286-5722 Fax: (414) 286-0232 E-mail: [chatal@milwaukee.gov](mailto:chatal@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210 or 8211.

Carlen Hatala  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Contractor, Inspector Joel Walloch (286-8160)

3020-3022 WEST  
McKINLEY BOULEVARD.  
MILWAUKEE, WI



DATE: 08/18/09  
09/04/09

**Rich Kowalski, Architect**  
30136 Lake Hills Drive  
Burlington, WI 53105  
Tel: 262 757-8065  
kowalskiassociates@yahoo.com  
Website:

REMODELING TO RESIDENCE OF:  
MAYTIE ECHOLS  
3020 McKinley Blvd.  
Milwaukee, WI

JOB NO.  
0902

DRAWN BY: RJK

PLAN DATE: 08/08/09

SHEET:  
SP1

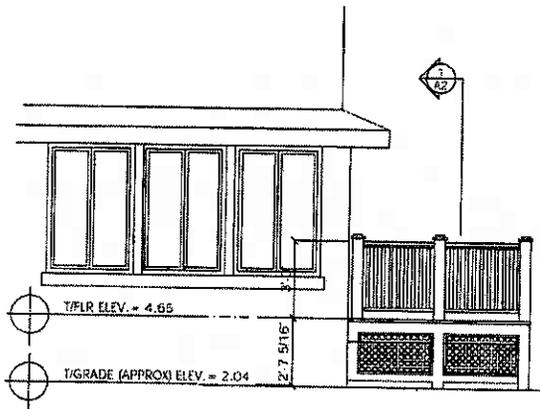
NORTH  SITE PLAN  
1/8" = 1'-0"

**GENERAL NOTES**

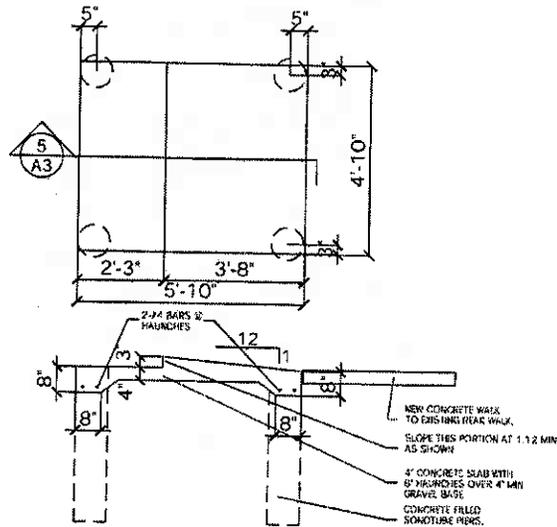
1. CONSTRUCTION SHALL VERIFY MISSING OR INCOMPLETE DIMENSIONS WITH ARCHITECT PRIOR TO CONTINUING WITH THE WORK.  
**DO NOT SCALE DIMENSIONS FROM THE DRAWINGS!**
2. ALL FRAMING CEDAR LUMBER TO BE WYPA GRADE 2 OR BALTER SPECIFICATION LOGGING.  
ALL PT LUMBER TO BE ALU OR COPPER ALU. USE STAINLESS STEEL OR OTHER APPROPRIATE FASTENERS WITH ANY OF THESE PRODUCTS.
3. FRAMING IS DESIGNED FOR 100 PSF LOADING.  
CONCRETE IS DESIGNED FOR 3000 PSF SOLE BEARING.

**INDEX TO SHEETS**

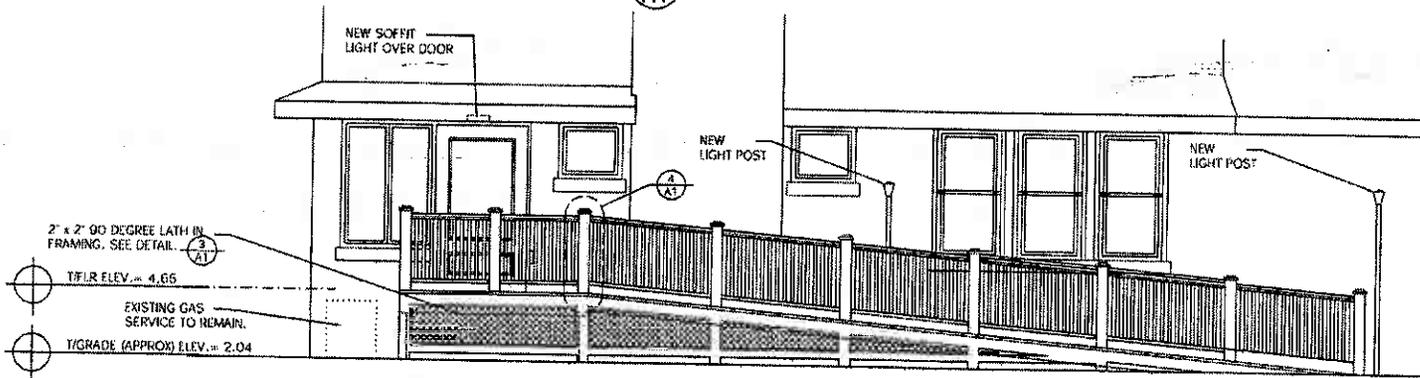
- SP-1 SITE PLAN AND GENERAL NOTES
- A-1 RAMP ELEVATIONS, CONCRETE PLATFORM DETAIL
- A-2 RAMP PLAN AND SECTION
- A-3 RAMP FRAMING AND FOUNDATION PLANS AND SECTIONS



1 RAMP FRONT ELEVATION  
1/4" = 1'-0"



3 CONCRETE PLATFORM  
3/8" = 1'-0"



2 RAMP SIDE ELEVATION  
1/4" = 1'-0"

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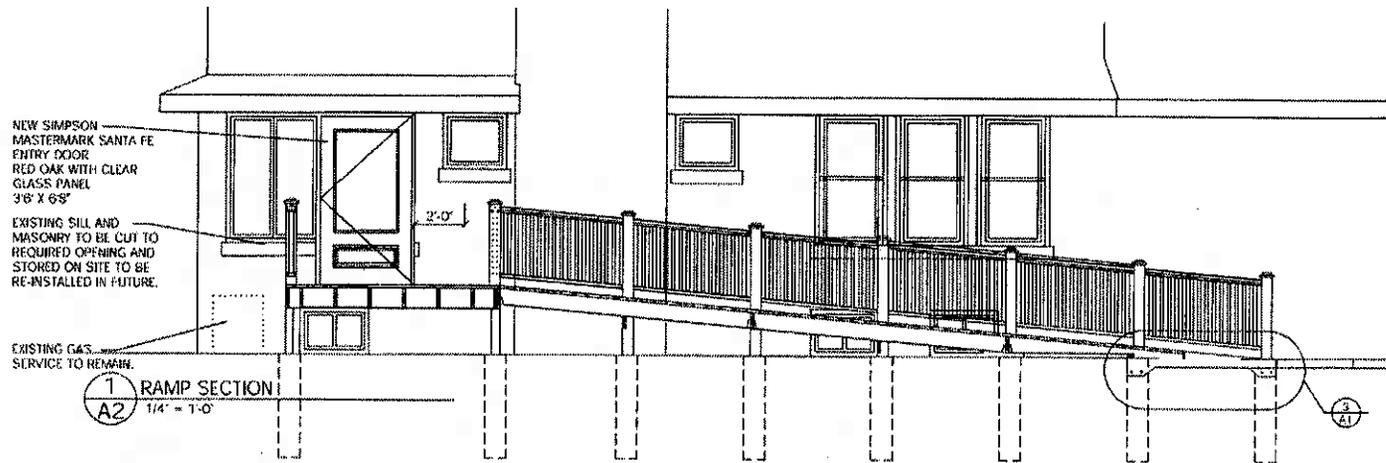
SHEET:

A1

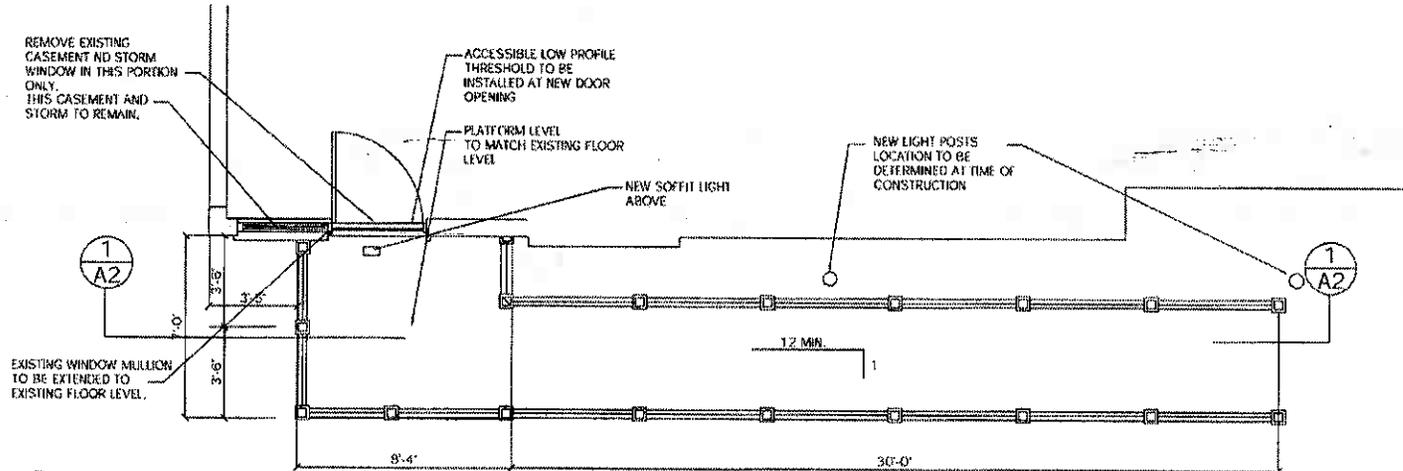
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WHOLE OR IN PART WITHOUT THE  
EXPRESS PERMISSION OF

BY *Judell Meyer*  
(Authorized Signature)  
HAMMERHORSE Incorporated

DATE: 08/18/09  
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1 RAMP SECTION  
A2 1/4" = 1'-0"



2 RAMP PLAN  
A2

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