



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

**Property** 2857 N. LAKE DR. UNIT #2 ) (North Lake Drive Historic District)  
**Description of work** Install a pair of new double hung all wood windows in existing opening but at a reduced height on rear of house to accommodate interior kitchen remodel.  
**Date issued** 4/2/2009 PTS ID 57452 COA, new wood windows for kitchen

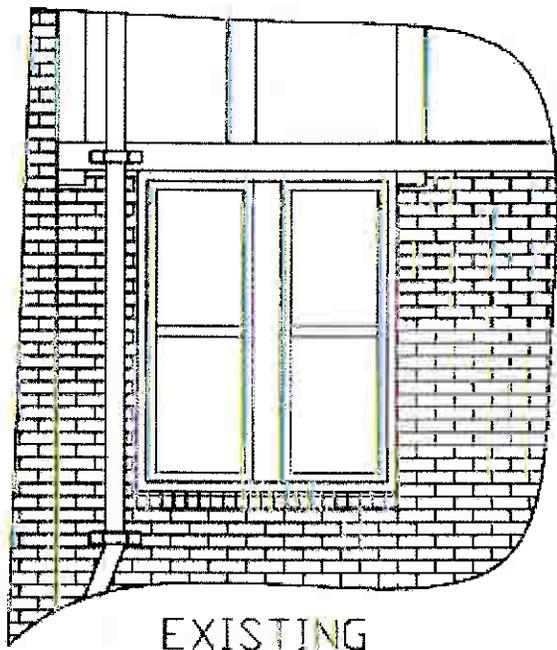
In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings and photos. Windows will be all wood both inside and out (no vinyl, vinyl-clad, aluminum, aluminum-clad, steel, steel-clad, or fiberglass). Brick molding and window profiles on the exterior will match the design of existing original windows on the house. The new window can be a casement window but must appear like the original double hung windows. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210 or 8211.

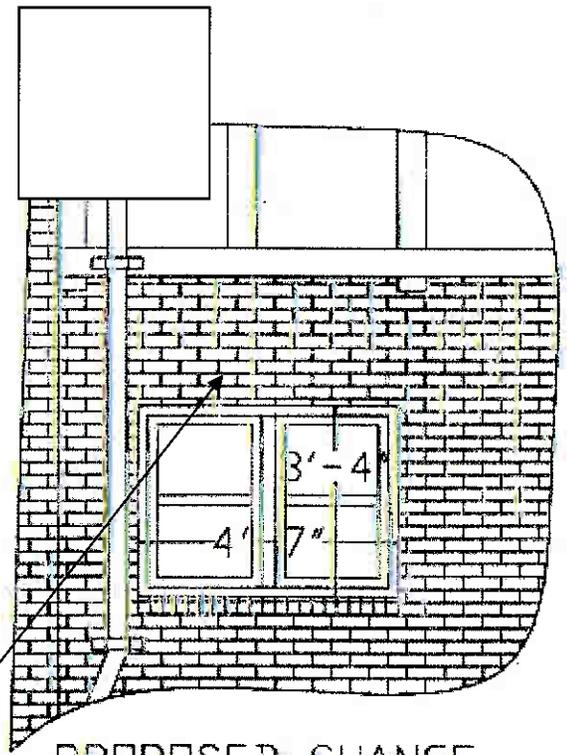
Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Contractor A-1 Custom Design, Inspector Jim Friedrichs (286-5982)

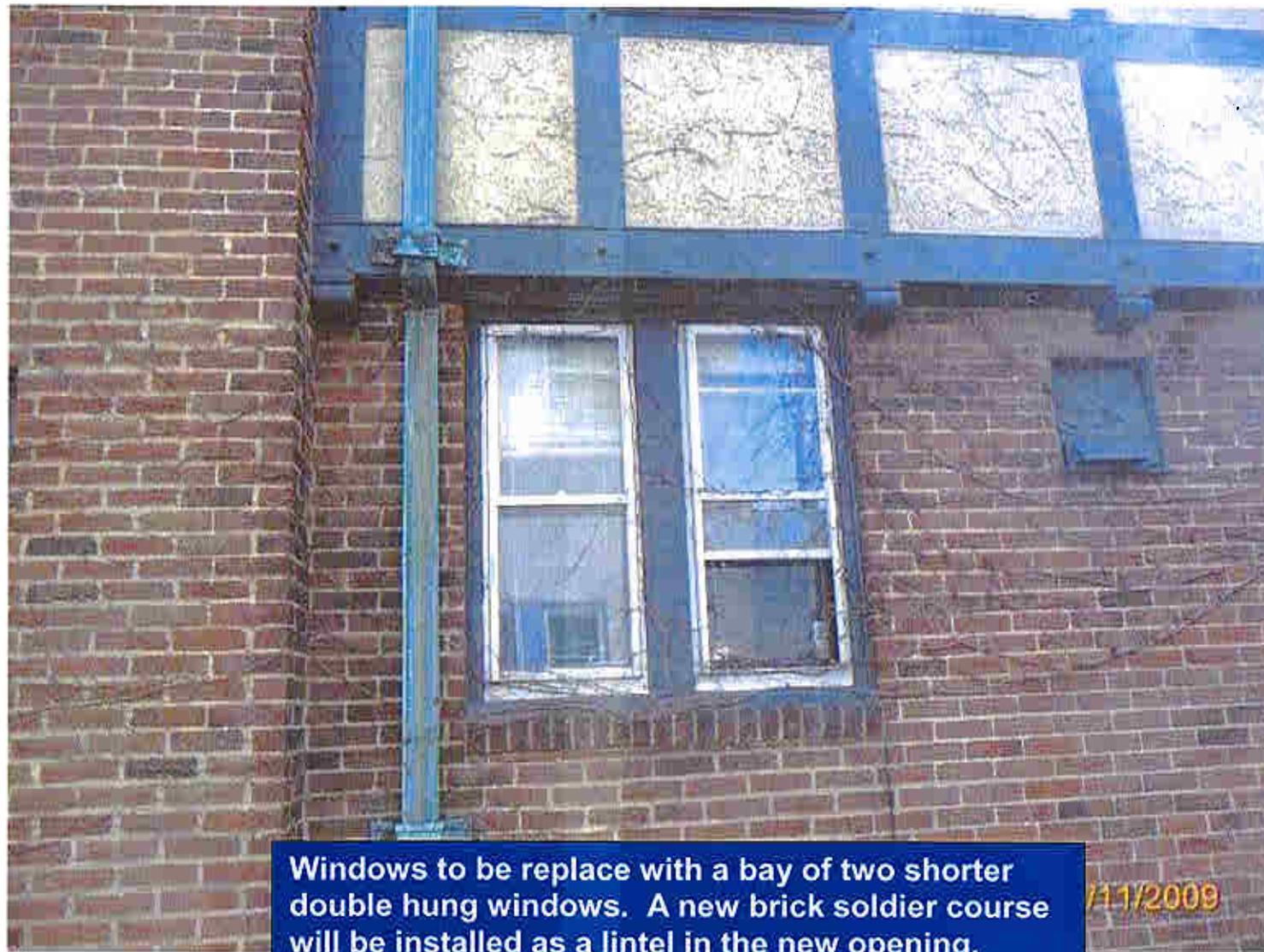


EXISTING

Soldier course at top of window per contractor



PROPOSED CHANGE  
SILL HEIGHT TO  
REMAIN UNCHANGED-  
WIDTH UNCHANGED-  
MATCHING BRICK  
VENEER TO BE  
FILLED IN ABOVE



Windows to be replace with a bay of two shorter double hung windows. A new brick soldier course will be installed as a lintel in the new opening.

1/11/2009

North Lake Dr. Hist. Dist.



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**Property** 2857 N. LAKE DR.

**Description of work** Expand existing brick, flat-roofed, 2- car garage to accommodate four cars. Roof to be used as walkout deck.

**Date issued** 6/18/2008

PTS ID 51347 COA, addition to brick garage

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New brick must be reviewed and approved by HPC staff. Masonry test panel to be reviewed and approved by staff prior to general installation. All work will be done according to attached drawings. Mortar joints must match the original mortar joints in terms of color, texture, joint width and joint finish. Main overhead doors will be upward-acting doors made to look like swinging or sliding doors. Doors must match the doors on the drawings or if different doors are selected, they must be reviewed and approved by HPC staff.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

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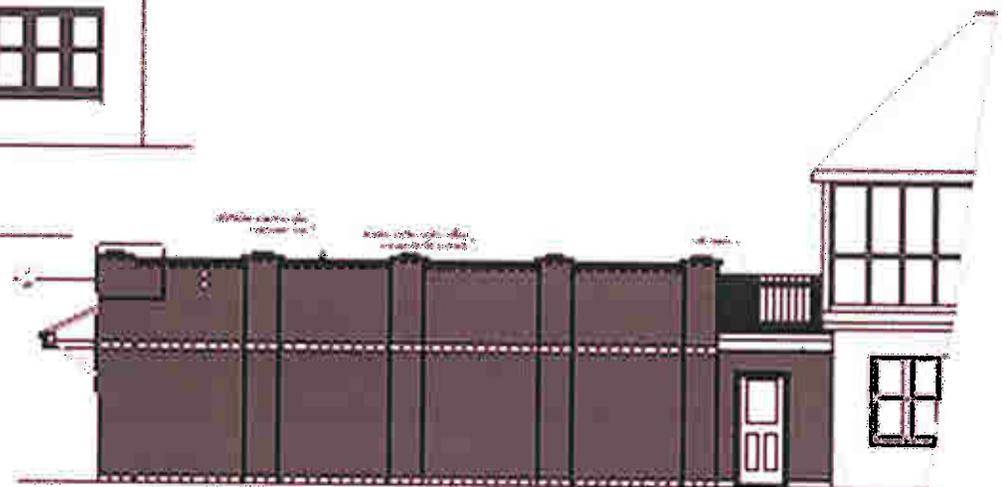


Existing garage looking southwest

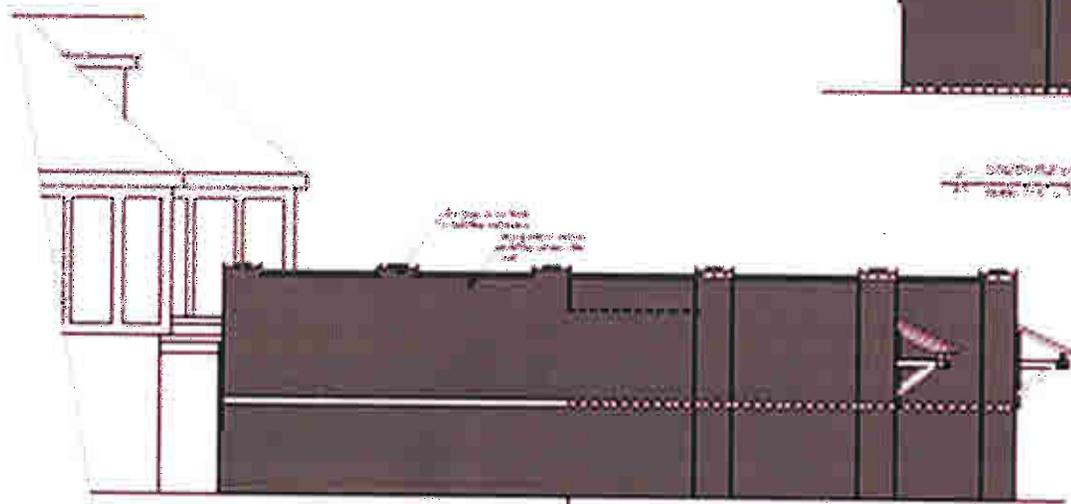
Elevation drawings of new garage addition (shown in dark wall color here) featuring upward acting overhead-type doors made to look swinging or sliding doors.



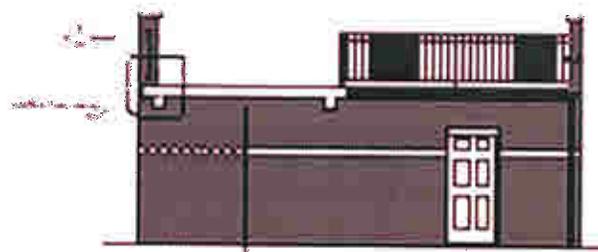
1.00 FRONT ELEVATION  
 1/2" = 1'-0" (1/4" = 1'-0")



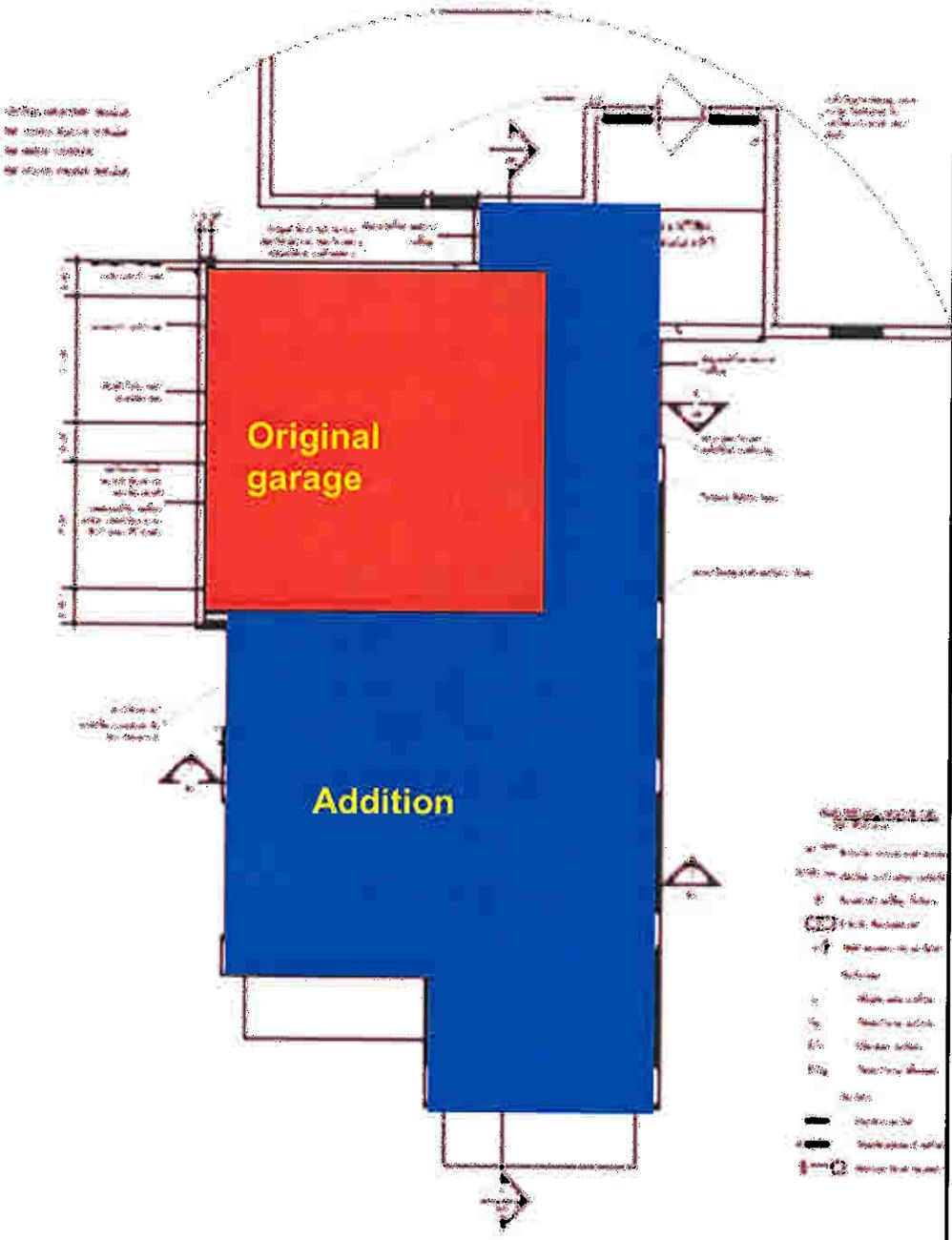
1.01 SIDE ELEVATION  
 1/2" = 1'-0" (1/4" = 1'-0")



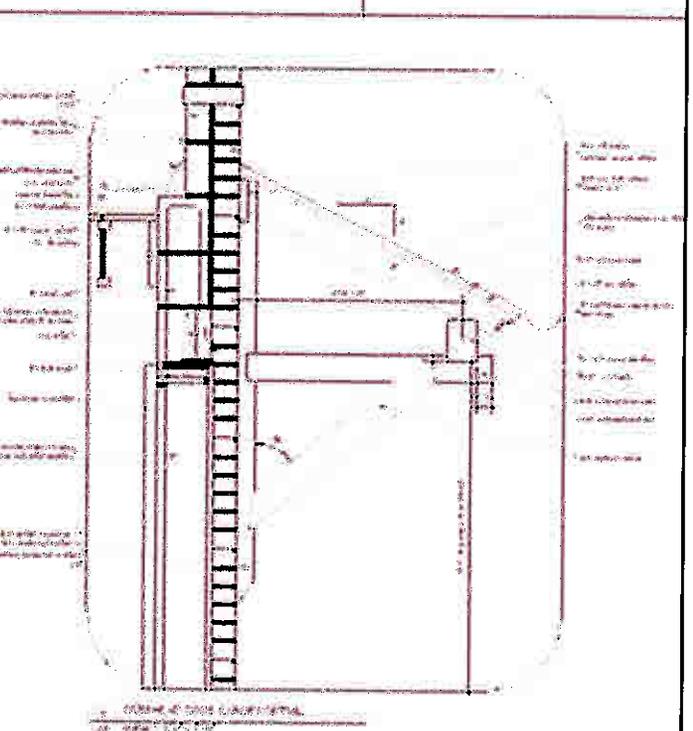
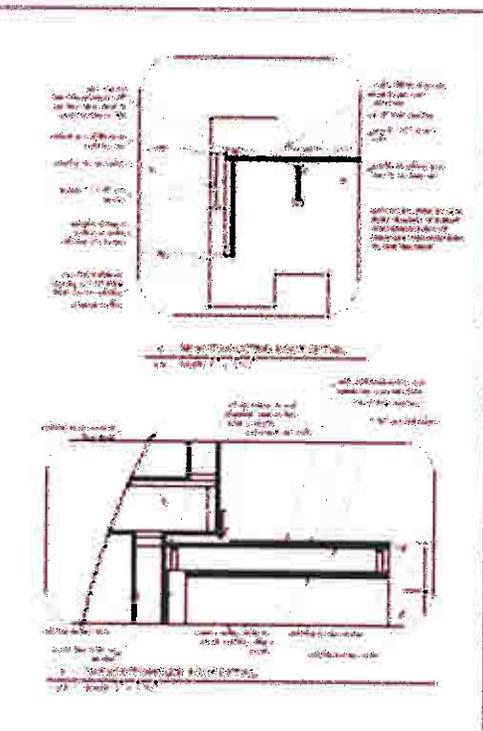
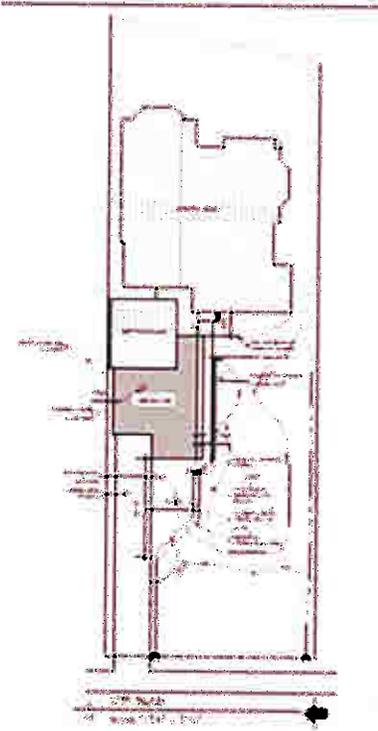
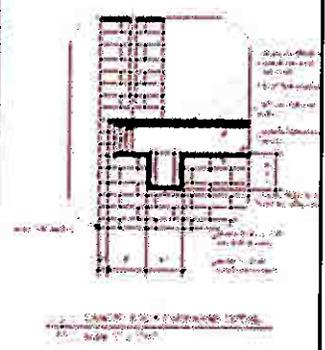
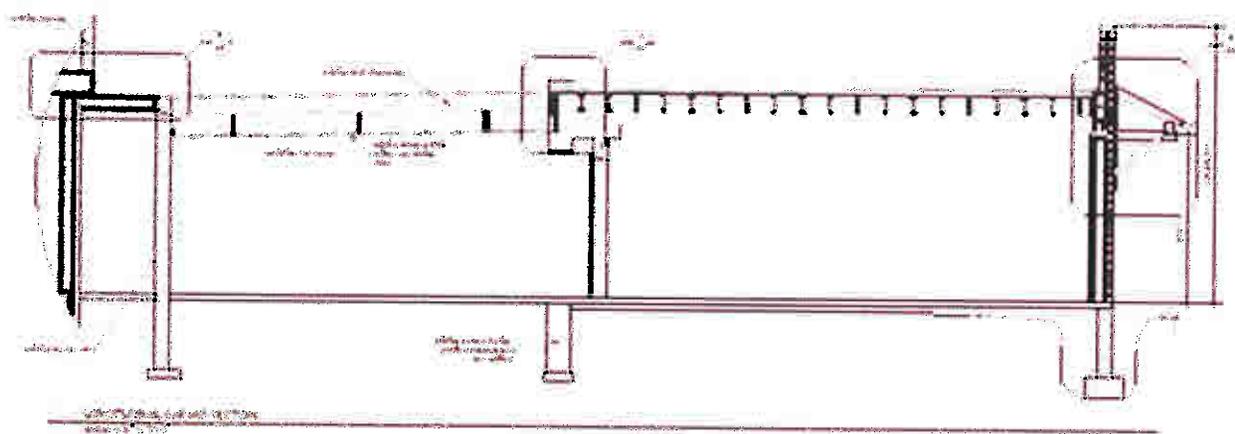
1.02 REAR ELEVATION  
 1/2" = 1'-0" (1/4" = 1'-0")



1.03 FRONT ELEVATION  
 1/2" = 1'-0" (1/4" = 1'-0")



**Plan of new addition to garage**



**Sections showing how the garage will be constructed. Exterior walls finished with real brick to match the original brick.**

