

Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

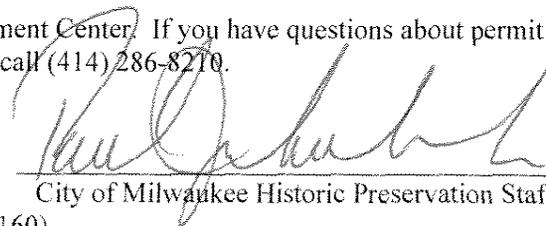
Property 2652-54 W. FOND DU LAC AV.
Description of work Build new storefront; install new windows; tuckpoint as needed, construct addition.
Date issued 10/4/2006 PTS ID 757 COA - Storefront addition.

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

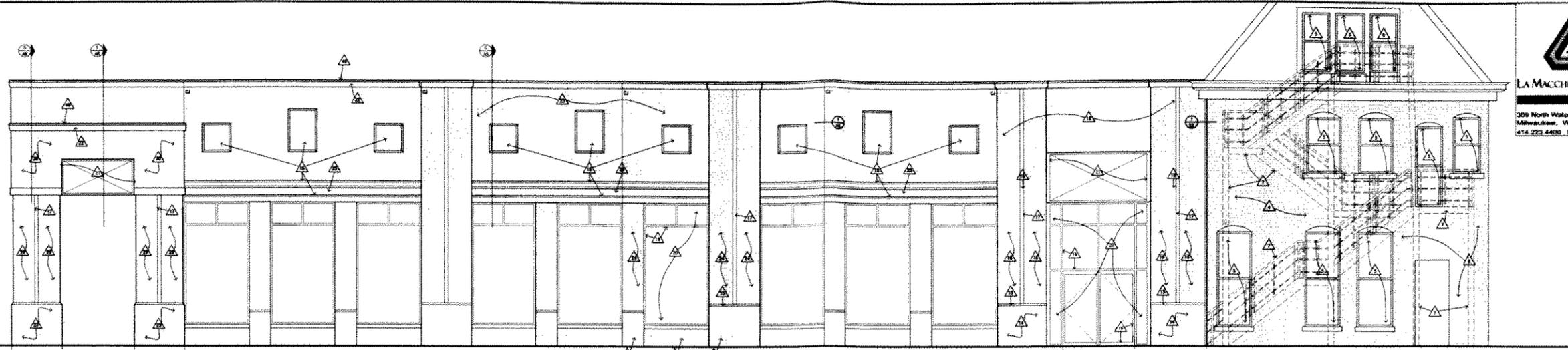
New addition to south elevation will be separated by a gangway approximately 6' wide and 16' deep. Any new wood windows on building must be wood inside and out and must match existing window sizes. No blocking down of window size is permitted. All finish wood must be smooth and free from knots and sapwood. All wood must be painted as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased. New mortar for tuckpointing must match old in terms of color, texture and joint finish; sound mortar must not be removed. Please note that mortar, which is too hard, is prone to premature failure. See "Good for Business" masonry chapter for a detailed explanation. The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-5712 E-mail: pjakub@mkedcd.org.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.


 City of Milwaukee Historic Preservation Staff

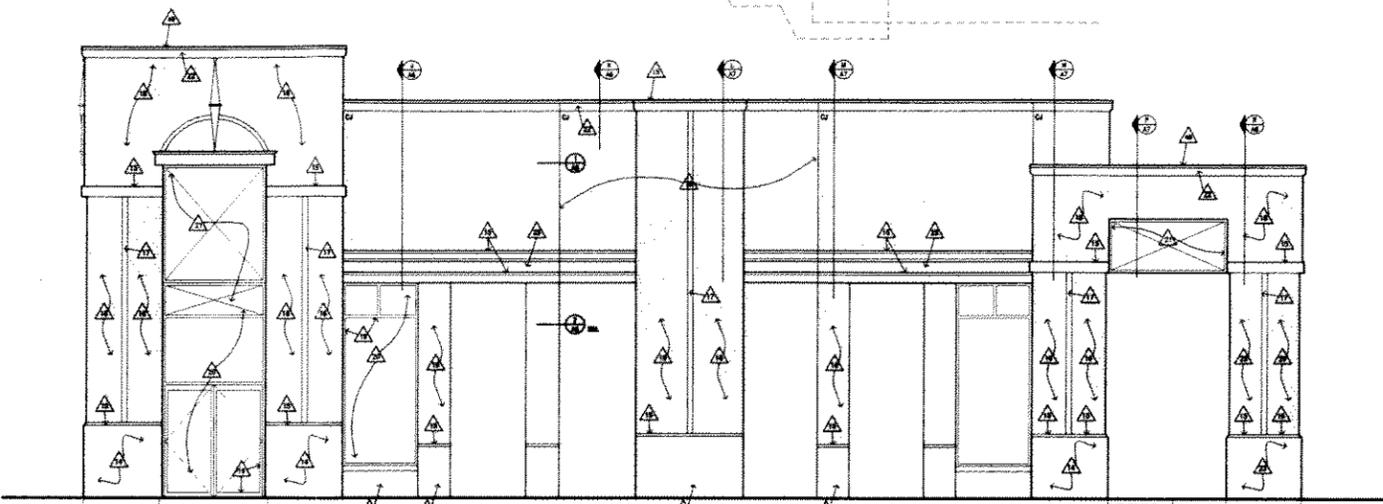
Copies to: Development Center, Ald. Willie Wade, Inspector Michael Hammerman (286-8160)



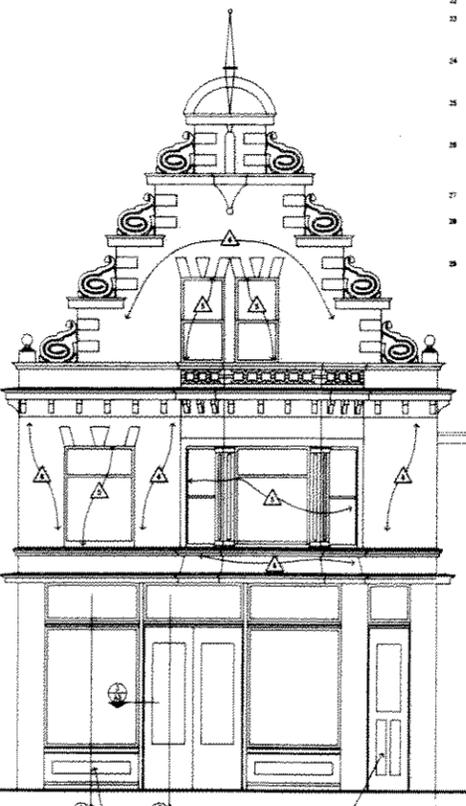
EAST ELEVATION

TYPICAL CONSTRUCTION NOTES (ABBREVIATED)

- 1 REMOVE EXISTING WINDOW AND FINISH. REPLACE WITH PRE-FINISHED ALUMINUM FRAMING AND 1" INSULATING, TEMPERED GLASS.
- 2 REPAIR EXISTING DOOR AND FRAME. REPLACE WITH PRE-FINISHED ALUMINUM DOOR AND FRAME. SEE DOOR SCHEDULE FOR TYPE.
- 3 REPAIR EXISTING SILL. TACK POINT AND/OR REPAIR EXISTING BRICK VENEER AS REQUIRED.
- 4 EXISTING BRICK VENEER (TO REMAIN). TACK POINT AS REQUIRED.
- 5 EXISTING WOOD WINDOWS TO BE REPAIRED. REPLACE WITH NEW WOOD WINDOWS OF SIMILAR PROFILE. FIELD VERIFY DIMENSIONS AND COMPARISON.
- 6 REPAIR EXISTING FRAME FOR ROT AND DAMAGE. REPAIR AND REPLACE ROTTED AND/OR DAMAGED WOOD AS REQUIRED FOR 100-YEAR PERFORMANCE.
- 7 REPAIR EXISTING STONE. PATCH WALLS AT ATTACHMENT AS REQUIRED.
- 8 EXISTING DOOR/WINDOW OPENING TO BE CLOSED WITH BRICK AND STOD FRAMING TO MATCH EXISTING.
- 9 EXISTING NEW WINDOW PROJECTION TO BE REMOVED. RE-BUILD EXTERIOR WALL FLUSH TO MATCH EXISTING.
- 10 REPAIR EXISTING CORNER. PROVIDE NEW WOOD FRAMING AND SHEATHING TO CLOSE OPENING.
- 11 REPAIR AND REPLACE EXISTING CHIMNEYS WITH NEW ASPHALT CHIMNEYS (PER SPECIFICATION).
- 12 EXISTING WOOD SIDING AND TRIM. PATCH AS REQUIRED AND PAINT.
- 13 REPAIR EXISTING WINDOW TRIM. CLOSE OPENING w/ WOOD FRAMING AND SIDING TO MATCH EXISTING WALLS. PAINT EXTERIOR SIDING.
- 14 12"x12" VENEER COLLECTION CONCRETE BRICK VENEER, RUNNING BOND, 3/4" APERTURE, 1" PLAN CHASE BACK-UP, FINISH BOND, CHASE JOINT REINFORCING @ 18" O.C., ATTACH VENEER TO CHASE w/ CORRUGATED GALVANIZED TIES @ (1) PER 1.77 S.F. (7) BARS @ 72" O.C. TYPICAL (SEE STRUCTURAL).
- 15 PRE-COLORED DIMENSIONED CAST STONE, FULL HEND, OR ACCENT. PROVIDE SHIP EDGE AT OVERHANG.
- 16 MODULAR BRICK VENEER, RUNNING BOND, 3/4" APERTURE, 1" PLAN CHASE BACK-UP, FINISH BOND, CHASE JOINT REINFORCING @ 18" O.C., ATTACH VENEER TO CHASE w/ CORRUGATED GALVANIZED TIES @ (1) PER 1.77 S.F. (7) BARS @ 72" O.C. TYPICAL (SEE STRUCTURAL).
- 17 MODULAR FACE BRICK VENEER.
- 18 12"x12" VENEER COLLECTION CONCRETE BRICK VENEER, RUNNING BOND, 3/4" APERTURE, 1" PLAN CHASE BACK-UP, FINISH BOND, CHASE JOINT REINFORCING @ 18" O.C., ATTACH VENEER TO CHASE w/ CORRUGATED GALVANIZED TIES @ (1) PER 1.77 S.F. (7) BARS @ 72" O.C. TYPICAL (SEE STRUCTURAL).
- 19 PRE-FINISHED ALUMINUM FRAMING. SEE DOOR AND/OR WINDOW SCHEDULE FOR SIZE AND TYPE.
- 20 1" INSULATING GLASS, TEMPERED WHERE NOTED IN SCHEDULE.
- 21 INCLUDE SCHEDULE FRAME (IF OTHER).
- 22 PRE-COLORED DIMENSIONED CAST STONE, ACCENT CHIP w/ CHALKED JOINTS, 16" LONG UNITS, 8" HIGH.
- 23 12"x12" VENEER COLLECTION CONCRETE BRICK VENEER, RUNNING BOND, CHASE JOINT REINFORCING @ 18" O.C., 3/4" APERTURE, 1/2" RIB INSULATION, 1/2" EXTERIOR BRICK SHEATHING, 4" SET, 1/2" RIB INSULATION @ 18" O.C., WITH 8-18 BARS INSULATION SHALL MEET DEPTH OF STUDS, & 1/2" WOOD BARRIER, 1/2" SPACER, ATTACH VENEER TO STUDS w/ CORRUGATED GALVANIZED TIES @ (1) PER 1.77 S.F.
- 24 MODULAR FACE BRICK VENEER, RUNNING BOND, 4" PLAN CHASE BACK-UP, FINISH BOND, 3/4" APERTURE, 1/2" EXTERIOR BRICK SHEATHING, 4" SET, 1/2" RIB INSULATION, 1/2" EXTERIOR BRICK SHEATHING, 4" SET, 1/2" RIB INSULATION @ 18" O.C., WITH 8-18 BARS INSULATION SHALL MEET DEPTH OF STUDS, & 1/2" WOOD BARRIER, 1/2" SPACER, ATTACH VENEER TO STUDS w/ CORRUGATED GALVANIZED TIES @ (1) PER 1.77 S.F.
- 25 12"x12" VENEER COLLECTION CONCRETE BRICK VENEER, RUNNING BOND, CHASE JOINT REINFORCING @ 18" O.C., 3/4" APERTURE, 1/2" RIB INSULATION, 1/2" EXTERIOR BRICK SHEATHING, 4" SET, 1/2" RIB INSULATION @ 18" O.C., WITH 8-18 BARS INSULATION SHALL MEET DEPTH OF STUDS, & 1/2" WOOD BARRIER, 1/2" SPACER, ATTACH VENEER TO STUDS w/ CORRUGATED GALVANIZED TIES @ (1) PER 1.77 S.F.
- 26 12"x12" VENEER COLLECTION CONCRETE BRICK VENEER, RUNNING BOND, CHASE JOINT REINFORCING @ 18" O.C., 3/4" APERTURE, 1/2" RIB INSULATION, 1/2" EXTERIOR BRICK SHEATHING, 4" SET, 1/2" RIB INSULATION @ 18" O.C., WITH 8-18 BARS INSULATION SHALL MEET DEPTH OF STUDS, & 1/2" WOOD BARRIER, 1/2" SPACER, ATTACH VENEER TO STUDS w/ CORRUGATED GALVANIZED TIES @ (1) PER 1.77 S.F.
- 27 12"x12" VENEER COLLECTION CONCRETE BRICK, RUNNING BOND, CHASE JOINT REINFORCING @ 18" O.C., SEE STRUCTURAL FOR VERTICAL REINFORCING.
- 28 N/A.
- 29 MODULAR FACE BRICK VENEER, RUNNING BOND, 3/4" APERTURE, EACH FACE OF 1" PLAN CHASE, FINISH BOND, CHASE JOINT REINFORCING @ 18" O.C., ATTACH VENEER TO CHASE w/ CORRUGATED GALVANIZED TIES @ (1) PER 1.77 S.F. SEE STRUCTURAL FOR VERTICAL REINFORCING.



SOUTH ELEVATION

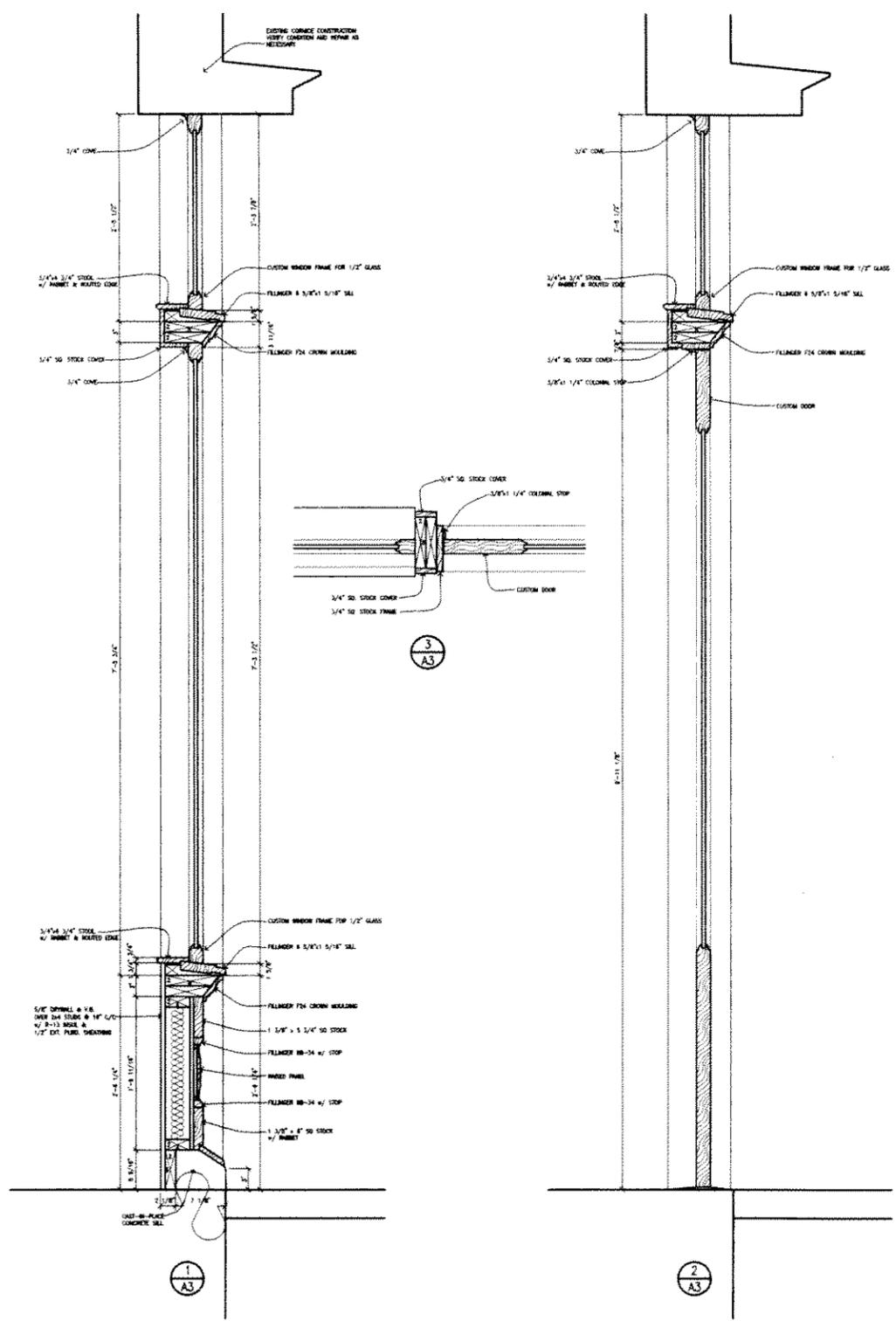


WEST ELEVATION

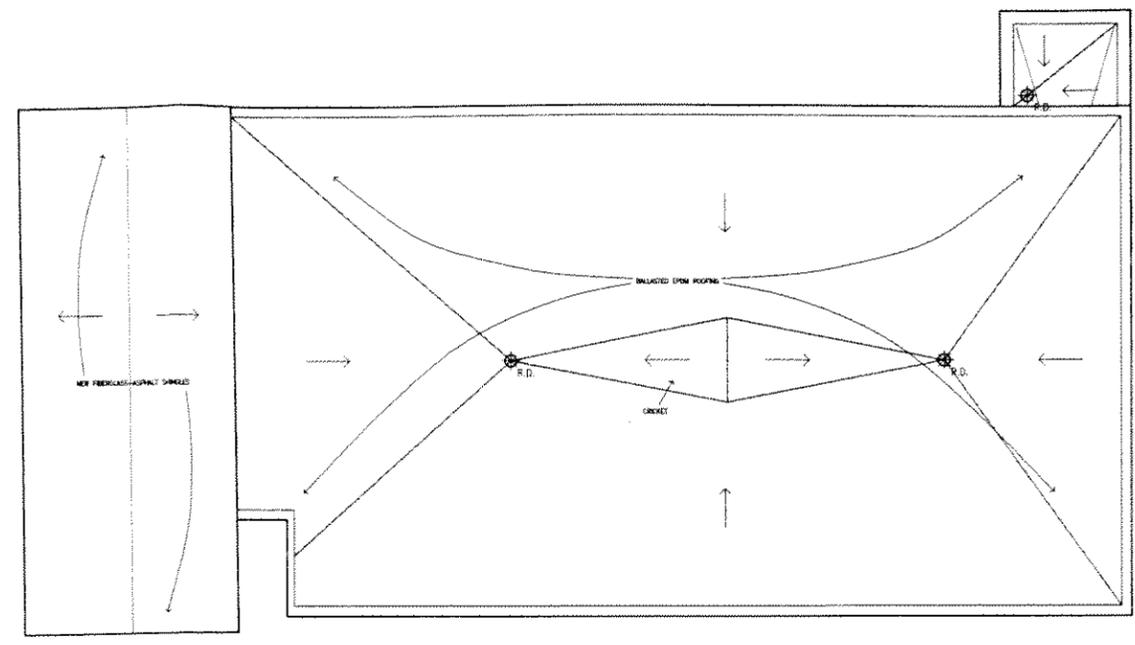
NEW CONSTRUCTION ITEMS ARE SHOWN TO BE COORDINATED WITH ALL EXISTING CONSTRUCTION. ALL WORK IS SUBJECT TO CHANGE FROM WHAT IS SHOWN HERE.



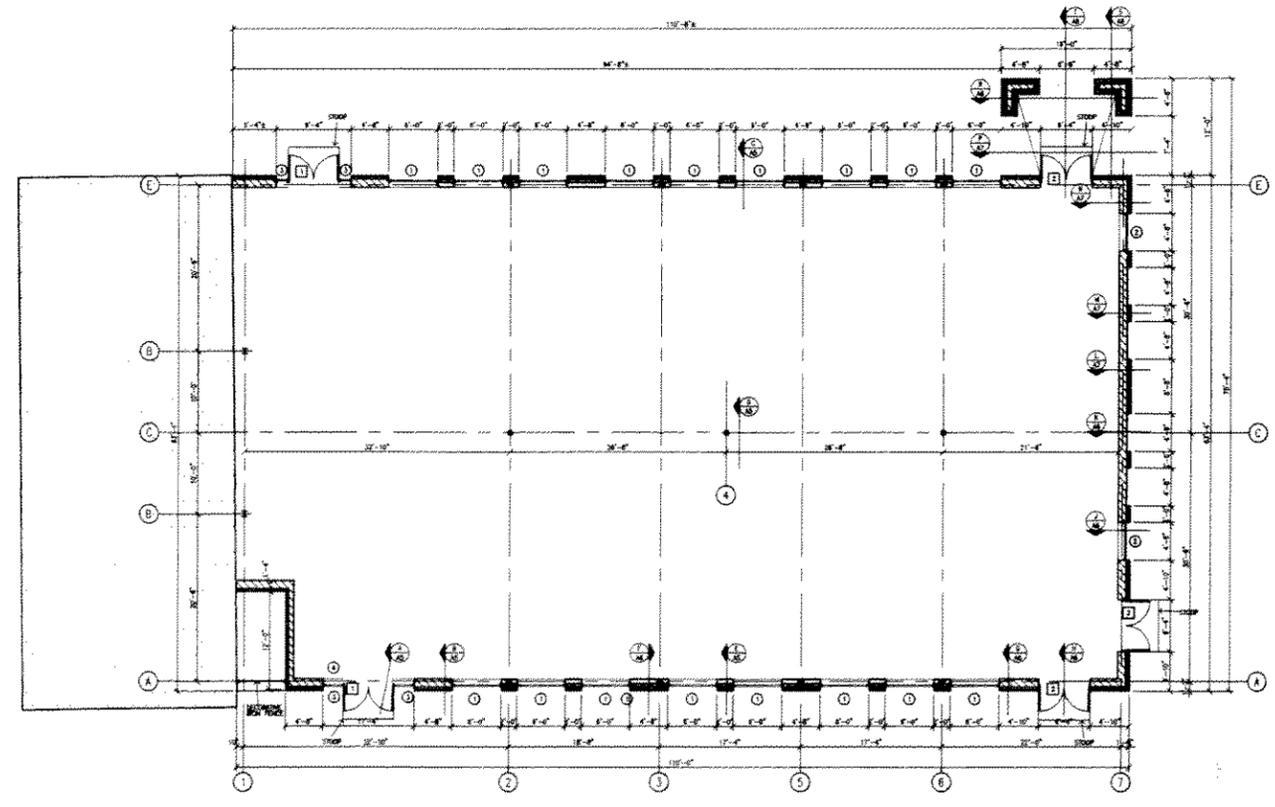
LA MACCHA GROUP, LLC
 309 North Water Street, Suite 500
 Milwaukee, Wisconsin 53202
 414.223.4400 Fax 414.223.4488



SECTIONS THRU VAN ELLS BUILDING STOREFRONT
 SCALE 1/2" = 1'-0"



ROOF PLAN
 SCALE 1/2" = 1'-0"



FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"



PHILLIPS, MILEWSKI & ASSOCIATES, INC.
 ARCHITECTURE • ENGINEERING • PLANNING
 1000 N. MILWAUKEE AVENUE, SUITE 200, MILWAUKEE, WISCONSIN, 53233
 (414) 271-1122

PROPOSED ALTERATIONS AND ADDITIONS TO
HISTORIC VAN ELLS BUILDING FOR CFSC
 262-54 N. POND DR LAC AVE. MILWAUKEE, WI

0485
 12