

North Point North



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2601 N. WAHL AVE. Krisin Bergstom and Lloyd Dickinson, owners
Description of work Remove defective hard mortar from parapet wall above front entry. Repoint using historically correct lime mortar.
Date issued 7/8/2008 PTS ID 52089 COA, tuckpoint balcony above front door

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Mortar will be installed according to the attached specifications. Joints will be finished to match the originals in terms of joint width, color and finish. Hardness of the new mortar will match the original lime-based mortar. The edges of the stone must not be damaged during the mortar removal process.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakobovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Paul Jakobovich
City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Inspector Jim Friedrichs (286-5982)

Kristin M. Bergstrom

From: R L Franklin [rl_franklin@sbcglobal.net]
Sent: Tuesday, June 24, 2008 12:10 PM
To: Kristin M. Bergstrom; Lloyd Dickinson
Subject: Stonework - Repairs & Re-pointing

Hi Lloyd & Kristin.

I'll be working on heavier duty restoration at the house starting later this week - I just got confirmation from the freight company for delivery of the Natural Hydraulic Lime based mortar materials I've been waiting for. It's produced in France by CHAUX & ENDUITS DE SAINT ASTIER and distributed by de Gruchey.

Lime as a binder fell out of use during the last century, so equal quality, historically correct products with verifiable physical properties are extremely difficult to find in the States.

This mortar will not contain portland cement. Portland is what's responsible for the extensive damage on the front porch. It gets too hard, traps moisture, leads to swelling & heaving, and creates the salts and acids that cause the mineralization and efflorescence you see on the entry arch.

Because of it's unique blend of characteristics (fast curing, strong, flexible, permeable, compatible and affordable) the type of job it allows is well worth the wait. In the mean time I'm wrapping up other work to free up my time for dis-assembling the heaved outside corner of the porch.

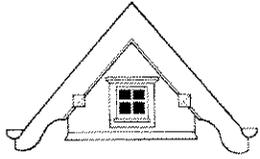
There is extensive background info behind the decision to use these materials. Please let me know if you have any questions or concerns. For a sampling you can also follow the links:

<http://www.c-e-s-a.fr/> French Manufacturer
<http://www.stastier.com/info/rawmat.htm> Distributer
<http://www.palimeworks.com/lwus/Infoall.html> NY Times artical

Rick

**Letter from contractor to owner
describing the type of lime mortar to
be used for re-pointing at 2601 N.
Wahl Avenue.**

NORTH PAWE NORTH HIST. DIST.



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

Property

2601 N. WAHL AVE. Kristin Bergstrom and Lloyd Dickinson, owners

Description of work

Install new bluestone walk along south side of house. Install new bluestone in existing patio area. Install three raised stone planting beds using dry-laid Waukesha limestone. Install new plantings according to attached drawings. Install new Waukesha limestone steps where needed.

Date issued

4/25/2007

PTS ID 11394 COA, new landscaping and stone walk

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Work must not alter the house or existing dry-laid limestone fence. All work will be done according to attached drawings.

All work must be done in a craftsman-like manner, and must be completed within six months of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

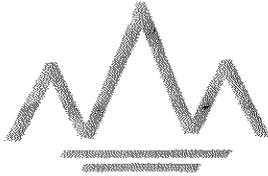
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City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)

LANDSCAPE QUOTATION & CONTRACT



**Hill & Valley
Landscaping LLC**
PO BOX 802
Hales Corners, WI 53130
414.975.8873 Phone
414.423.8873 Fax

- DESIGN
- CONSTRUCT
- MANAGE

NAME	Mr. & Mrs. Bergstrom	DATE	04-06-07
ADDRESS	2601 N. Wahl Ave.	PHONE	414-961-1424
CITY	Milwaukee	QUOTE EXPIRES	14 days
STATE, ZIP	WI, 53211	SHEET	1 OF 2

DESCRIPTION

Remove Lannon stone walkway along Southside of home. Remove concrete in front of gate approximately (6) feet by (7.5) feet. Reset and level (2) Lannon stone steps. We will set steps in a (4-6) inch base of compacted traffic bond. Excavate areas for new walkway. Lay a (4-6) inch base of traffic bond. Compact and level base. Install full range pattern Bluestone. Blue stone will be (1.5-2) inches thick. Cut Bluestone as needed. Total area is an approximate (112) square feet. We will spread polymeric sand in between joints. * If you prefer to have walkway installed with Lannon stone, deduct \$395.00 from total.*

Total \$3065.00

Remove patio area and steps leading up to East doorway. We will excavate area for base. The same process and material will apply to this area, as did above section. New patio area is approximately (90) square feet. We will also furnish / install (2) new Lannon steps (48) inches wide with a (24) inch tread. *If you prefer to have patio installed with Lannon stone, deduct \$305.00 from total.*

Total \$3615.00

Excavate area to create (3) separate Lannon wall stone planting beds. Each wall will have two (4) foot sections connecting into existing walls. Also, one (6) foot section and one (9) foot section. Walls will be an approximate (2.5) feet above and below grade. Walls will be dry stacked using the (2-3) inch thick wall stone with an (8) inch depth. Backfill behind walls with blended topsoil.

Remove existing timber steps. Furnish / install (5) Lannon steps leading to upper East patio. Walls and steps will be set in a compacted traffic bond base.

Total \$9365.00

Visit us at www.HillandValleyLandscaping.com

