

DOWNER AV. COMM. DIST



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2574 N. DOWNER AV.
Description of work New structure with street level retail and four levels of parking above.
Date issued 6/29/2007 PTS ID 41726 COA, Retail structure/ parking garage

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings. Work with DCD staff and HPC subcommittee on final construction details to include color, texture and type of exterior cladding material, street level storefront glazing design, signage, and snow removal chute if visible from street. East elevation has not been reviewed and approved by HPC subcommittee and therefore is subject to change. Tree on Bellevue Place (see site plan) will be saved, but if it can't then a new one of large caliper (8" or more) will be planted to take its place. Separate HPC approval required for popcorn wagon relocation.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

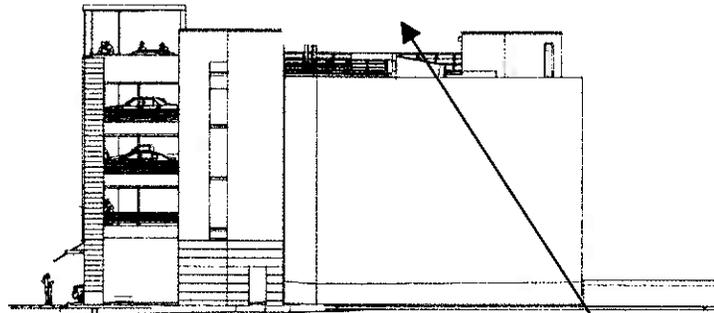
Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)

Concrete wall returns into parking ramp will be stained to match the exterior

Black granite bulkhead

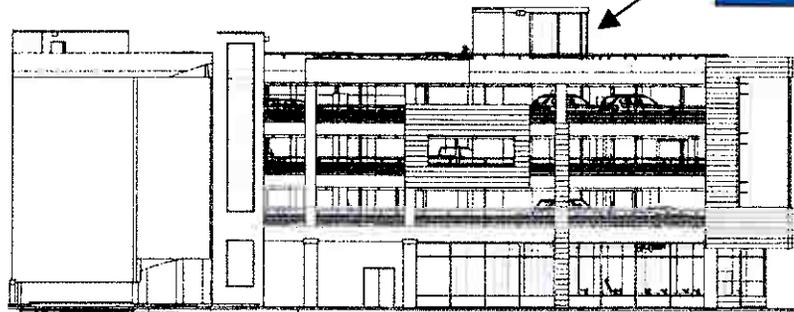


Downer Avenue elevation. Note: HPC subcommittee final approval required for color and texture of wall material; grill work; all signage, storefront glazing

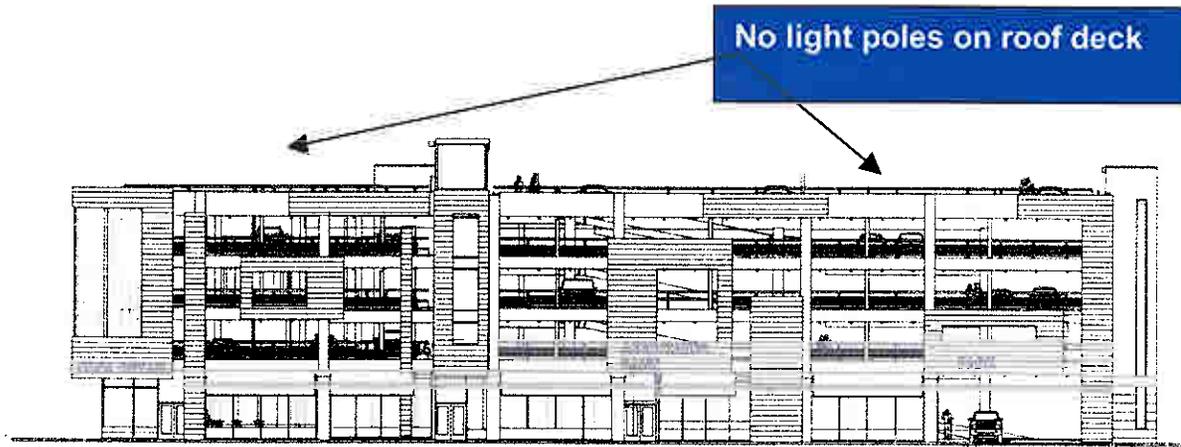


South elevation

Note: No light poles on roof deck



North elevation



West elevation

North Downer Avenue

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GROUND FLOOR

Existing garage

Existing House

East Bellevue

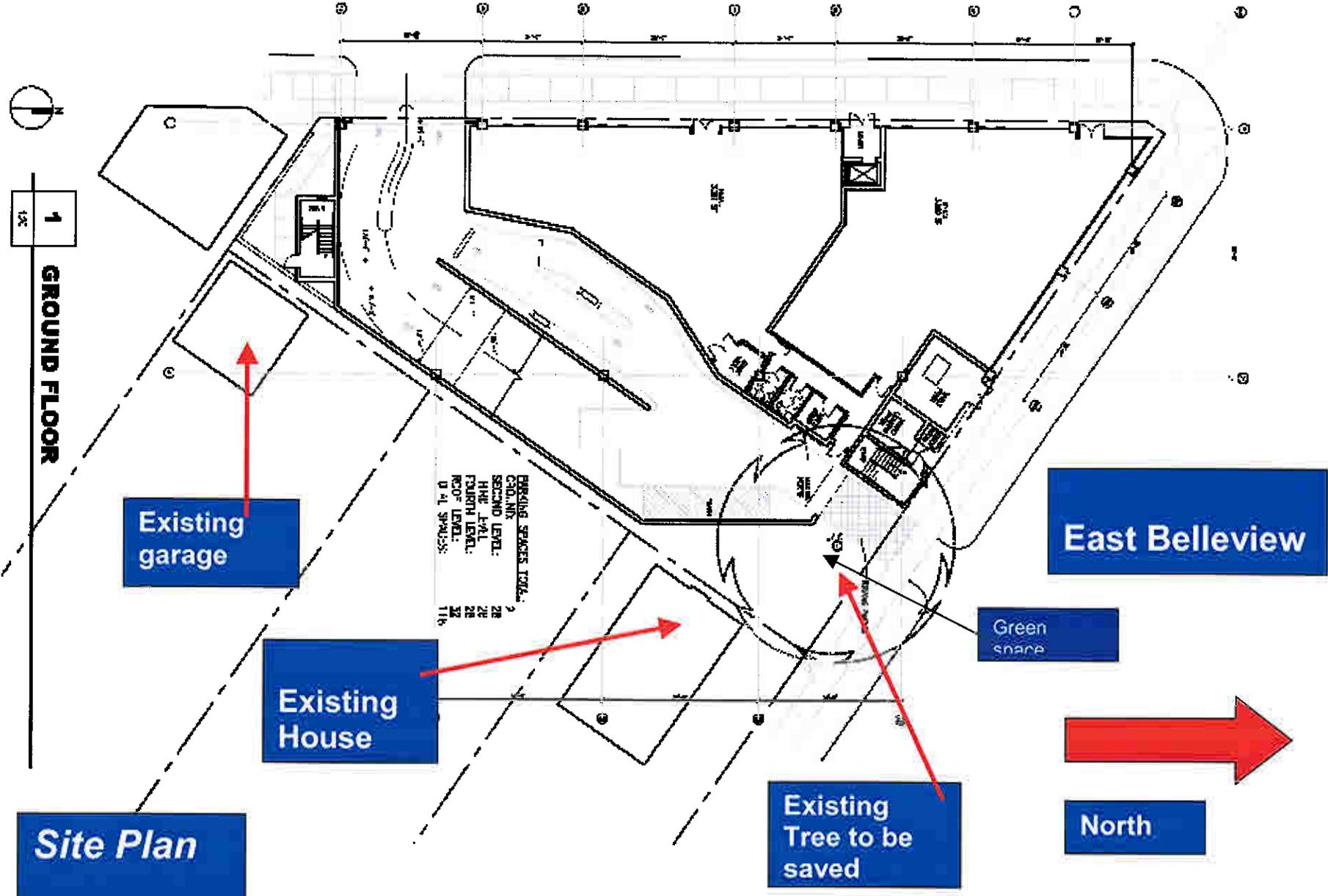
Green space

Existing Tree to be saved

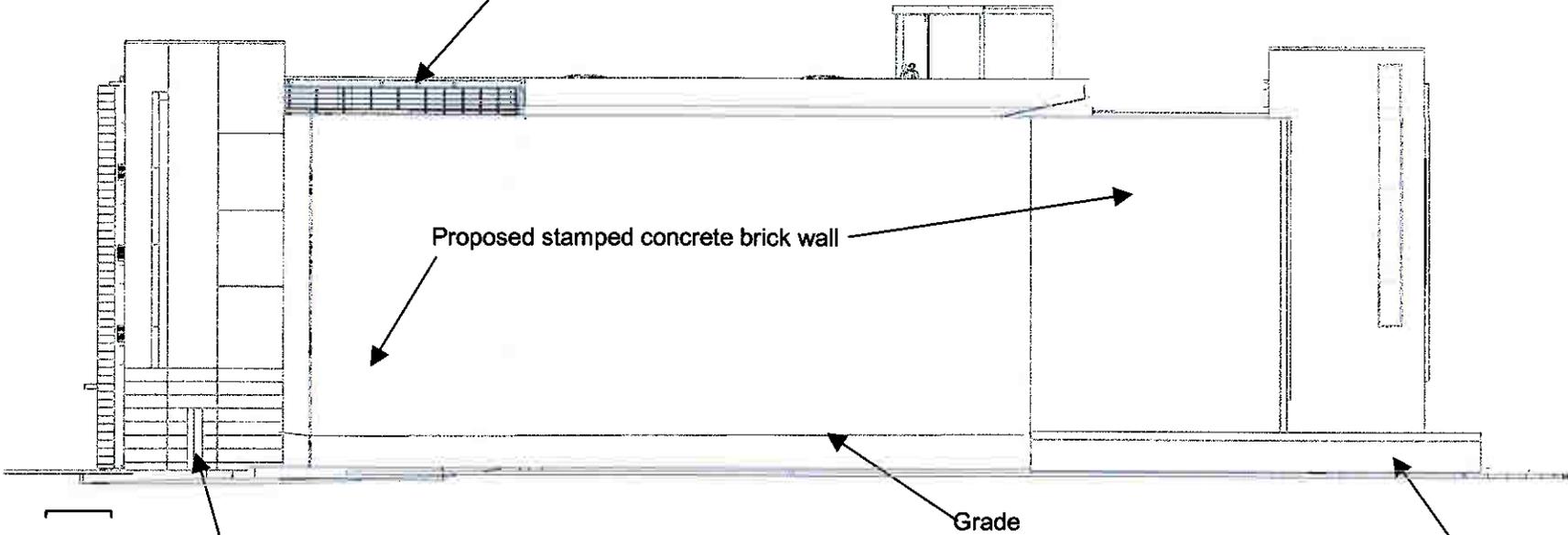
North

Site Plan

PARKING SPACES TOTAL:
COL. NO. SECOND LEVEL: 28
HHE LEVEL: 28
FOURTH LEVEL: 28
ROOF LEVEL: 22
TOTAL SPACES: 116



Grills to be removed



Proposed stamped concrete brick wall

Grade

Retaining wall to be added

Proposed stamped concrete brick wall must be approved by HPC Subcommittee and is subject to change

Retaining Wall to be removed