

DOWNER AVE



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5212

Property 2559 N. DOWNER AV.
Description of work Install new metal cornice and coping on North Downer Ave and East Webster Place
Date issued 9/7/2007 PTS ID 43426 COA - Cornice & Coping

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work must be done according to attached drawings.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.



City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)



RINKA|CHUNG

RINKA|CHUNG ARCHITECTURE INC

1690 North Franklin Place Milwaukee, Wisconsin 53202

telephone: 414.431.8101 email: minka@rinkachung.com web: www.rinkachung.com © RINKA|CHUNG ARCHITECTURE INC

DOWNER AVENUE MEDICAL OFFICE BUILDING

2559-65 NORTH DOWNER AVENUE
MILWAUKEE, WISCONSIN

SUPPLEMENTAL DRAWING

ROOF COPING - EXISTING PHOTO

PROJECT NUMBER: 20061110.00

DATE: JULY 26, 2007

SCALE:

SHEET NUMBER:



1 SOUTH ELEVATION

1/16" = 1'-0"

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DOWNER AVENUE COMMONS

2524 EAST WEBSTER PLACE AND
2559-65 NORTH DOWNER AVENUE
MILWAUKEE, WISCONSIN

ELEVATION - COPING

PROJECT NUMBER: 20061110.00
DATE: JULY 26, 2007
SCALE: NTS
SHEET NUMBER: COA-205



1 EAST ELEVATION
 1/16" = 1'-0"

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DOWNER AVENUE COMMONS

2524 EAST WEBSTER PLACE AND
 2559-65 NORTH DOWNER AVENUE
 MILWAUKEE, WISCONSIN

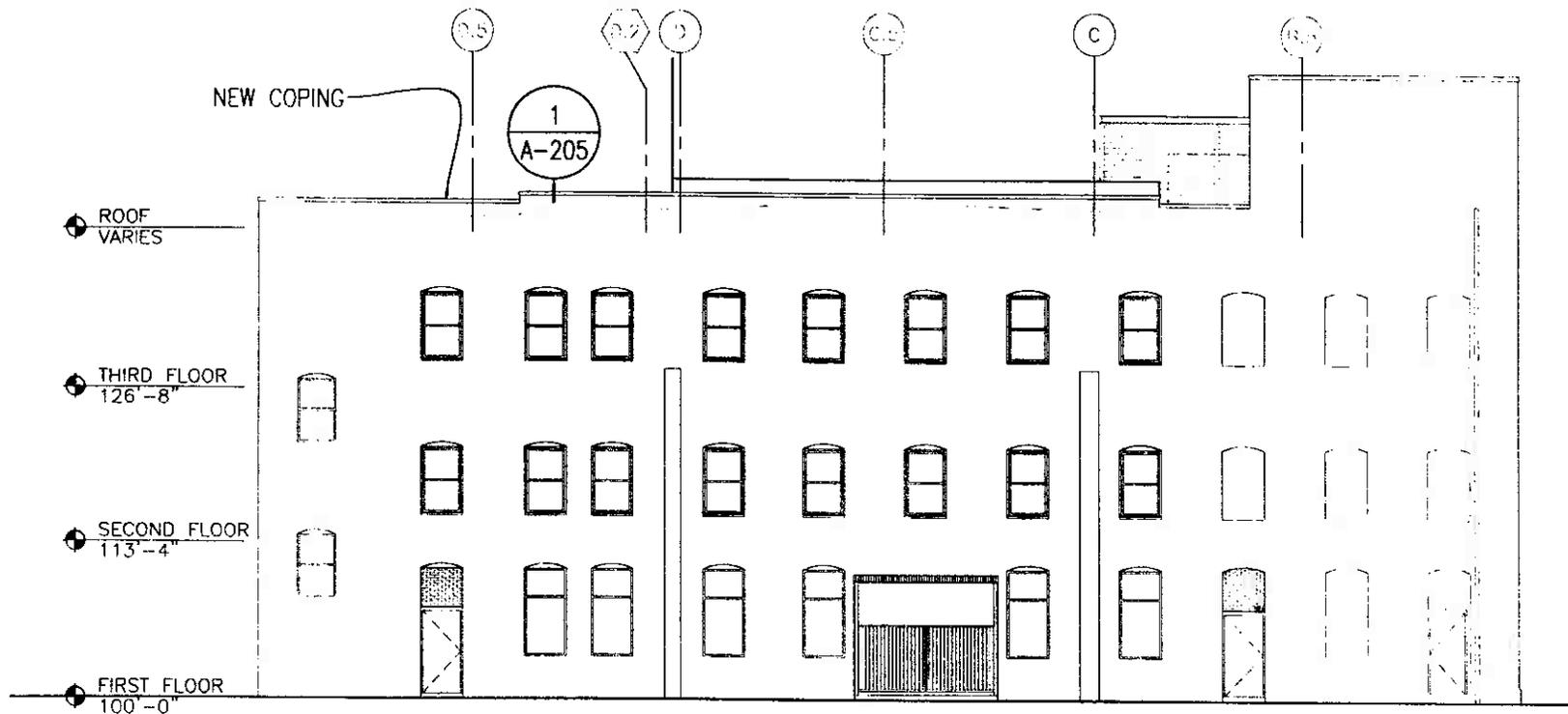
ELEVATION - COPING

PROJECT NUMBER: 20061110.00

DATE: JULY 26, 2007

SCALE: NTS

SHEET NUMBER: COA-202



1 WEST ELEVATION
 1/16" = 1'-0"

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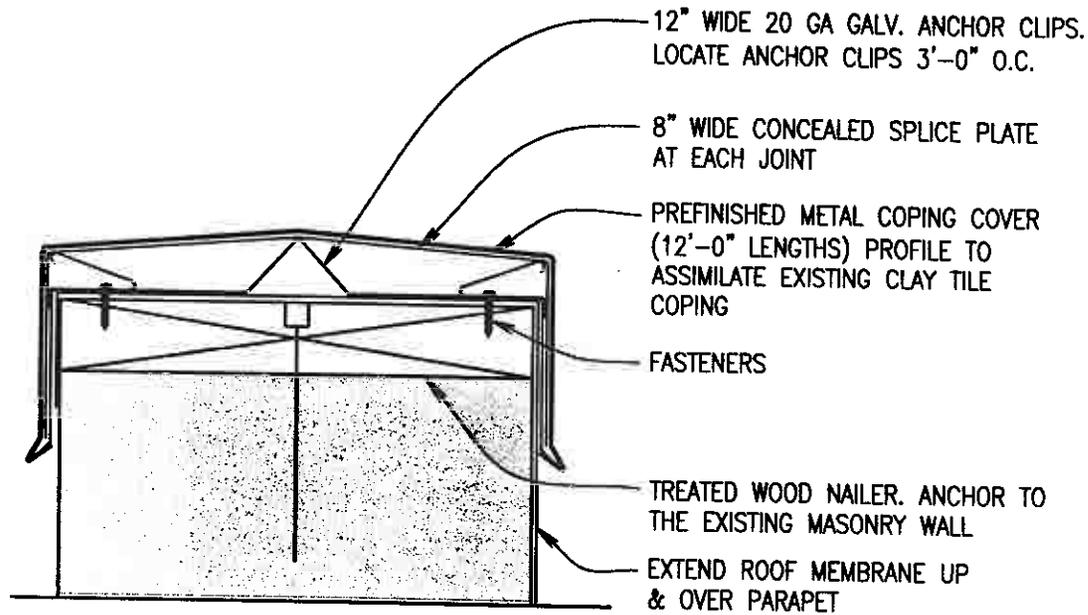
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DOWNER AVENUE COMMONS

2524 EAST WEBSTER PLACE AND
 2559-65 NORTH DOWNER AVENUE
 MILWAUKEE, WISCONSIN

ELEVATION - COPING

PROJECT NUMBER: 20061110.00
 DATE: JULY 26, 2007
 SCALE: NTS
 SHEET NUMBER: COA - 2.04



1 ROOF COPING DETAIL

3" = 1'-0" 07-RP05

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DOWNER AVENUE MEDICAL OFFICE BUILDING

2559-65 NORTH DOWNER AVENUE
MILWAUKEE, WISCONSIN

SUPPLEMENTAL DRAWING

ROOF COPING DETAIL

PROJECT NUMBER: 20061110.00

DATE: JULY 26, 2007

SCALE: 3" = 1'-0"

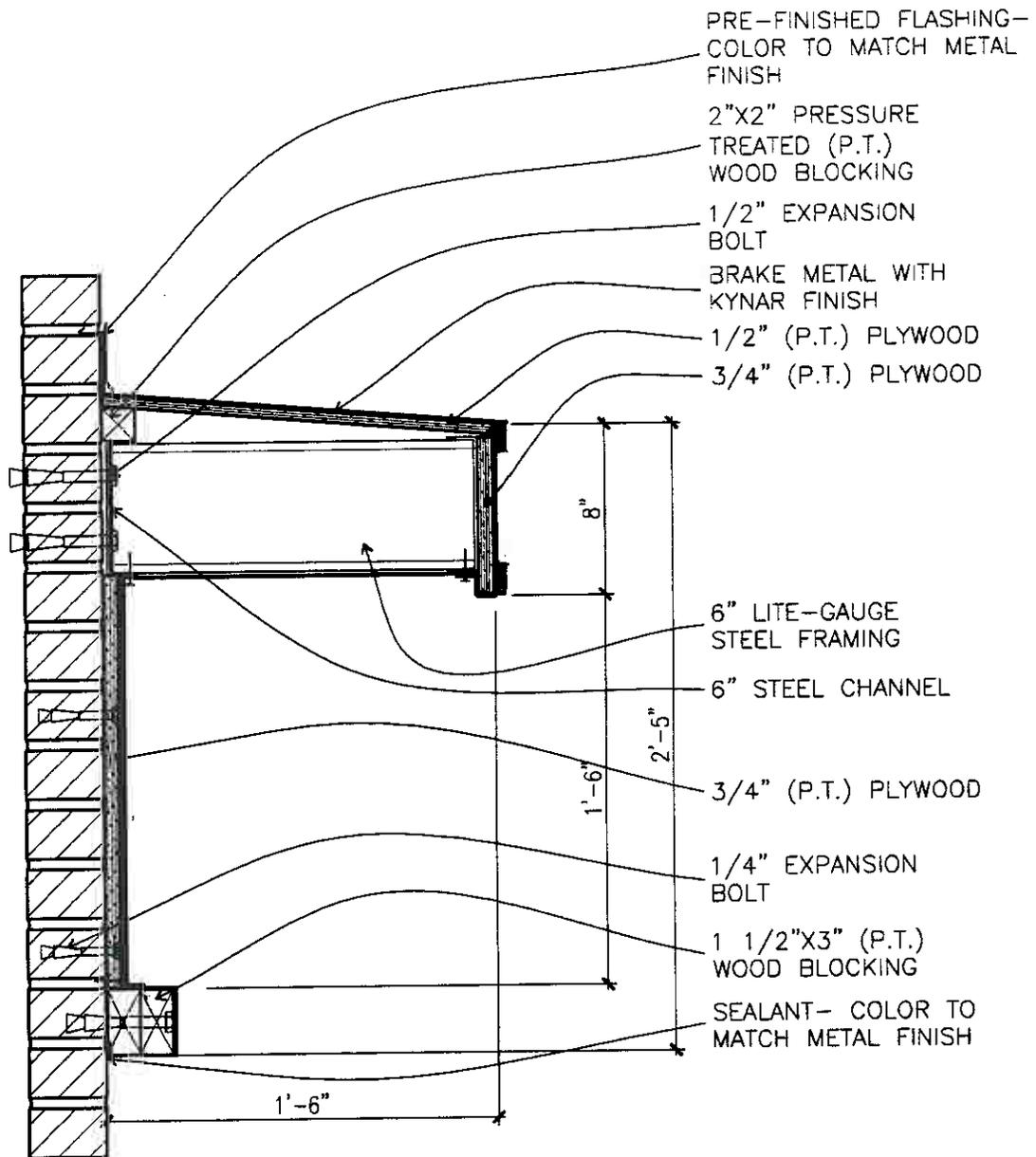
SHEET NUMBER: 00A-205



Rendering with Proposed Cornice



Rendering of Cornice Detail



1 PROPOSED CORNICE DETAIL

1/2" = 1'-0"

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DOWNER AVE MOB

2800-01 NORTH DOWNER AVENUE
MILWAUKEE, WISCONSIN

NOT FOR CONSTRUCTION

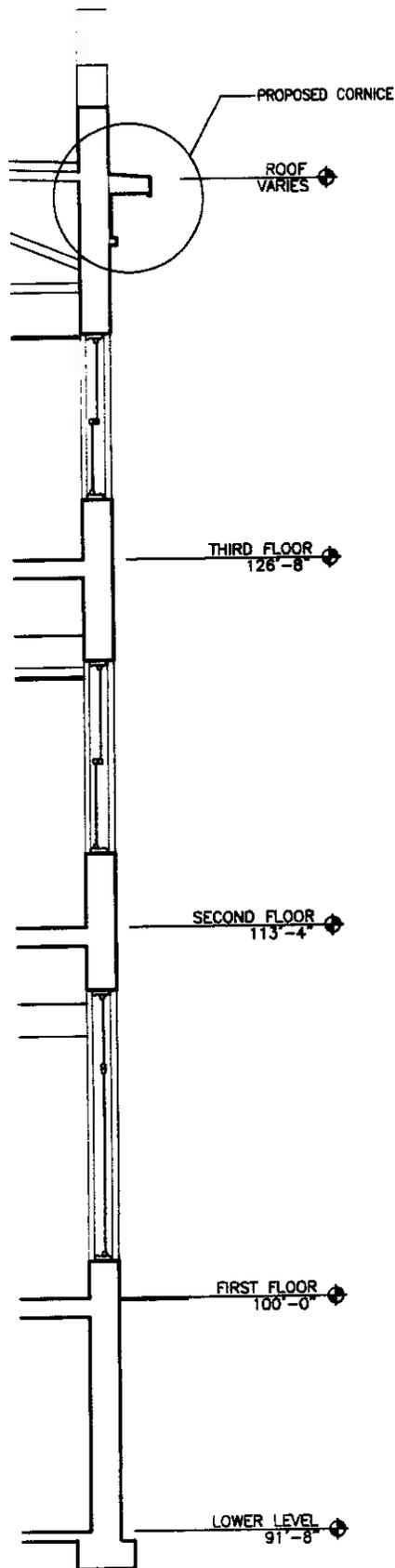
PROPOSED CORNICE DETAIL

PROJECT NUMBER: 20061110.00

DATE: JULY 24, 2007

SCALE: 1 1/2"=1'0"

SHEET NUMBER:



RINKA|CHUNG
 RINKA|CHUNG ARCHITECTURE INC

100 South St. Suite 400 City Center Station 10th Floor New York, NY 10038
 Telephone: 414.671.2101 email: rinka@rinka-chung.com web: www.rinka-chung.com

DOWNSIDE MOB

100 SOUTH STREET CITY CENTER STATION
 10TH FLOOR, NEW YORK

NOT FOR CONSTRUCTION

PROPOSED CORNICE

PROJECT NUMBER: 20061110.00
 DATE: JULY 24, 2007
 SCALE: 1/4"=1'-0"

08/27/07

DOWNER AVENUE



Certificate of Appropriateness

LIVING WITH HISTORY Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

Property 2559 N. DOWNER AV.

Description of work Signs and awnings, on south and east elevations. Receiving, egress and service doors at rear of building. Intake and exhaust grills at rear of building.

Date issued 9/6/2007

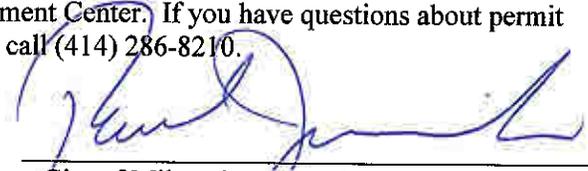
PTS ID 43426 COA - Signage and Awnings

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work must be done according to attached drawings. Awnings, on south and east elevations above ground floor windows. No shiny plastic allowed for awnings. Receiving, egress and service doors at rear of building. Intake and exhaust grills at rear of building. Signs will not be illuminated and made of painted or raised letters on signboards.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-5712 E-mail: pjakub@milwaukee.gov.

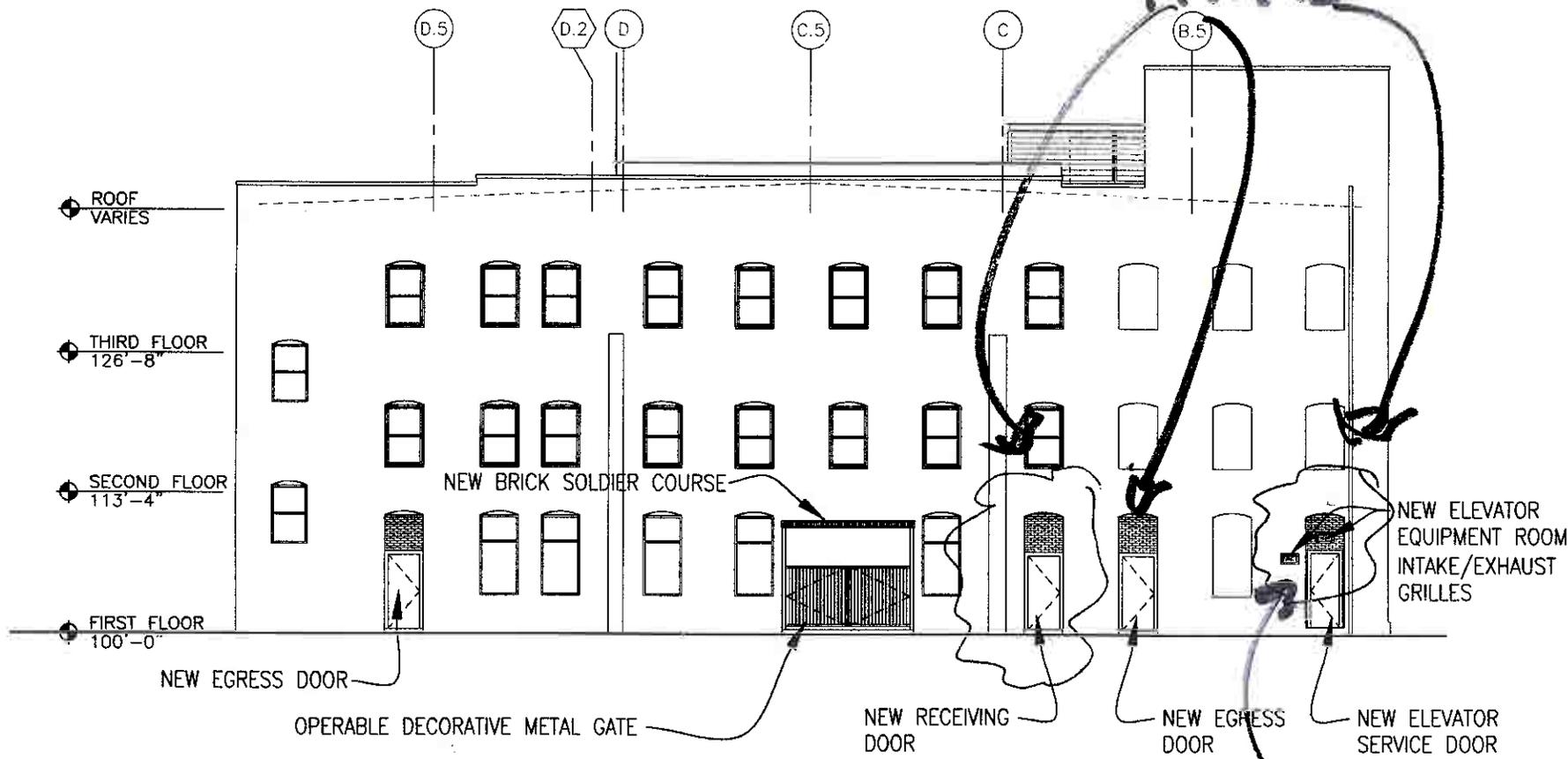
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.



City of Milwaukee Historic Preservation Staff

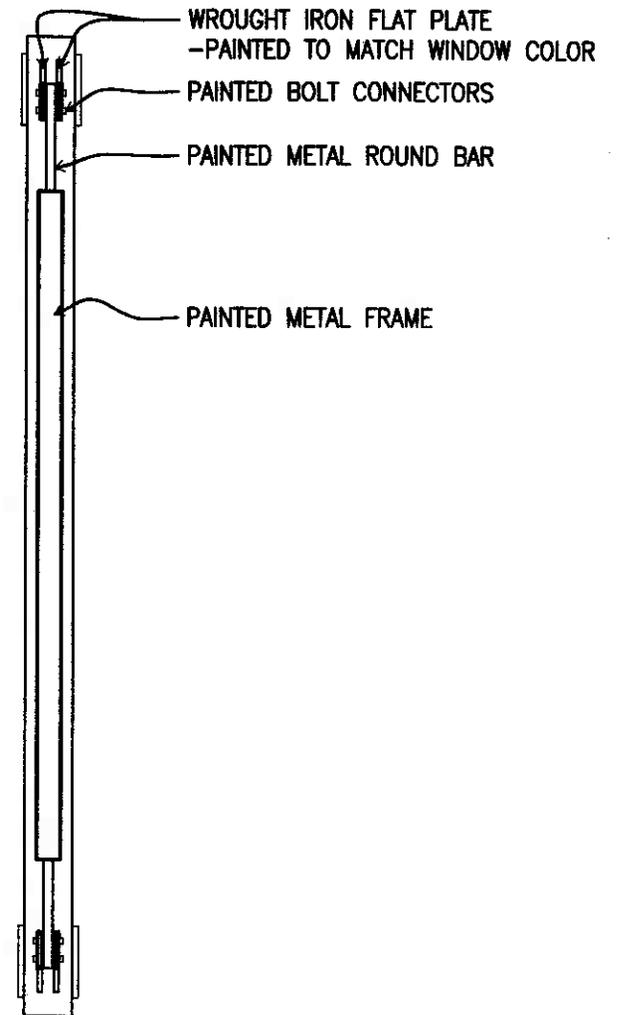
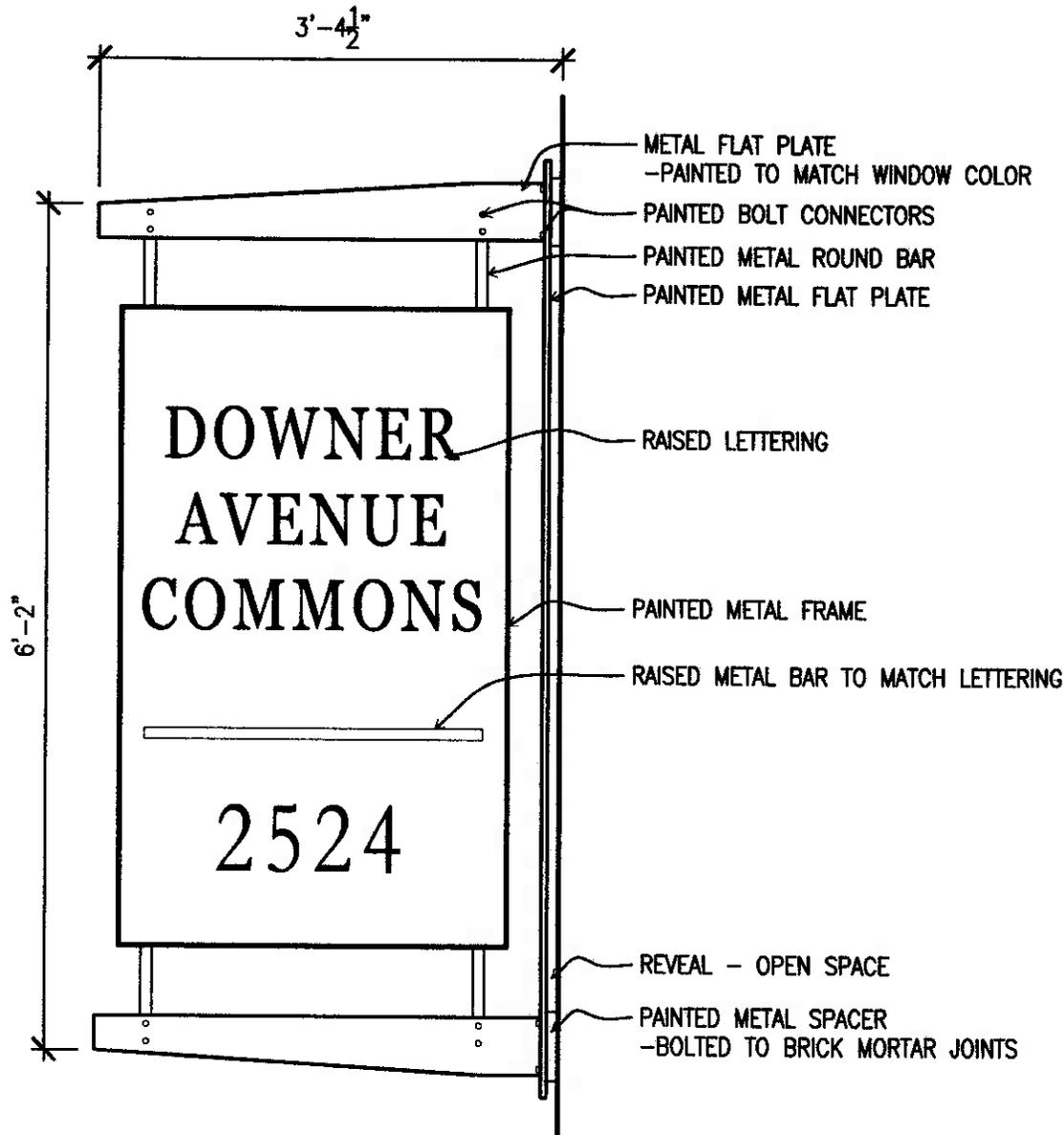
Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)

NEW DOORS
HERE



1 WEST ELEVATION
1/16" = 1'-0"

NEW GRILLES



1 HANGING WALL SIGN
 $\frac{3}{4}'' = 1'-0''$

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DOWNER AVENUE MEDICAL OFFICE BUILDING

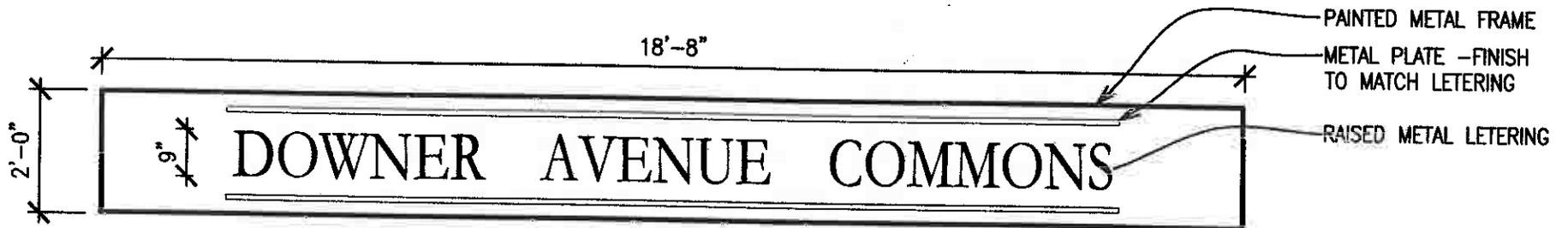
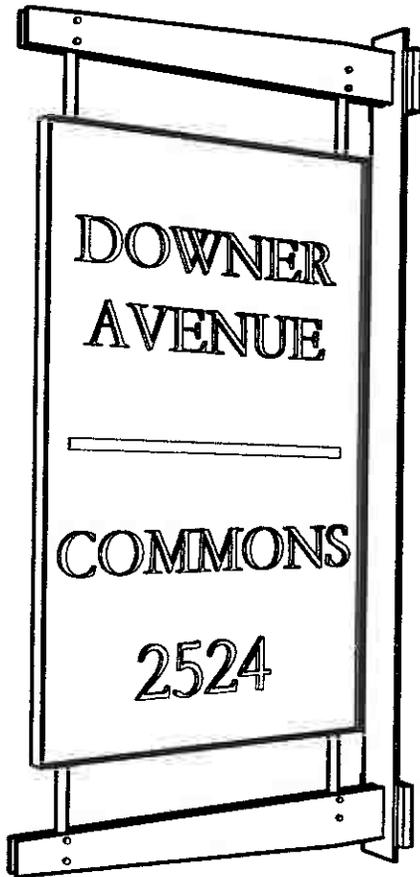
2559-65 NORTH DOWNER AVENUE
 MILWAUKEE, WISCONSIN

NOT FOR CONSTRUCTION

SIGNAGE

PROJECT NUMBER:
 DATE:
 SCALE:
 SHEET NUMBER:

20061110.00
 JULY 26, 2007
 NTS
 COA - 6.01



1 FLUSH WALL SIGN
 $3/8" = 1'-0"$

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DOWNER AVENUE MEDICAL OFFICE BUILDING

2559-65 NORTH DOWNER AVENUE
 MILWAUKEE, WISCONSIN

NOT FOR CONSTRUCTION

SIGNAGE

PROJECT NUMBER: 20061110.00

DATE: JULY 26, 2007

SCALE: -

SHEET NUMBER: COA - 6.02



1 SOUTH ELEVATION
 1/16" = 1'-0"

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DOWNER AVENUE MEDICAL OFFICE BUILDING

2559-65 NORTH DOWNER AVENUE
 MILWAUKEE, WISCONSIN

NOT FOR CONSTRUCTION

SIGNAGE

PROJECT NUMBER: 20061110.00

DATE: JULY 26, 2007

SCALE: -

SHEET NUMBER: COA - 6.03

NEW
HANGING
SIGN

NEW
HANGING
SIGN

NEW WALL
MOUNTED SIGN

DOWNER AVENUE COMMONS

DOWNER AVENUE
COMMONS

DOWNER AVENUE
COMMONS

DOWNER
AVENUE
COMMONS

DOWNER
AVENUE
COMMONS

POTENTIAL WINDOW SIGN

1 SOUTH ELEVATION - ENLARGED
1/4" = 1'-0"

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DOWNER AVENUE MEDICAL OFFICE BUILDING

2559-65 NORTH DOWNER AVENUE

MILWAUKEE, WISCONSIN

NOT FOR CONSTRUCTION

SIGNAGE

PROJECT NUMBER: 20061110.00

DATE: JULY 26, 2007

SCALE:

SHEET NUMBER: COA-604



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DOWNER AVENUE MEDICAL OFFICE BUILDING

2559-65 NORTH DOWNER AVENUE
MILWAUKEE, WISCONSIN

NOT FOR CONSTRUCTION

SIGNAGE - PERSPECTIVE

PROJECT NUMBER: 20061110.00

DATE: JULY 20, 2007

SCALE: NTS

SHEET NUMBER: 001 / 02



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DOWNER AVENUE MEDICAL OFFICE BUILDING

2559-65 NORTH DOWNER AVENUE
MILWAUKEE, WISCONSIN

NOT FOR CONSTRUCTION

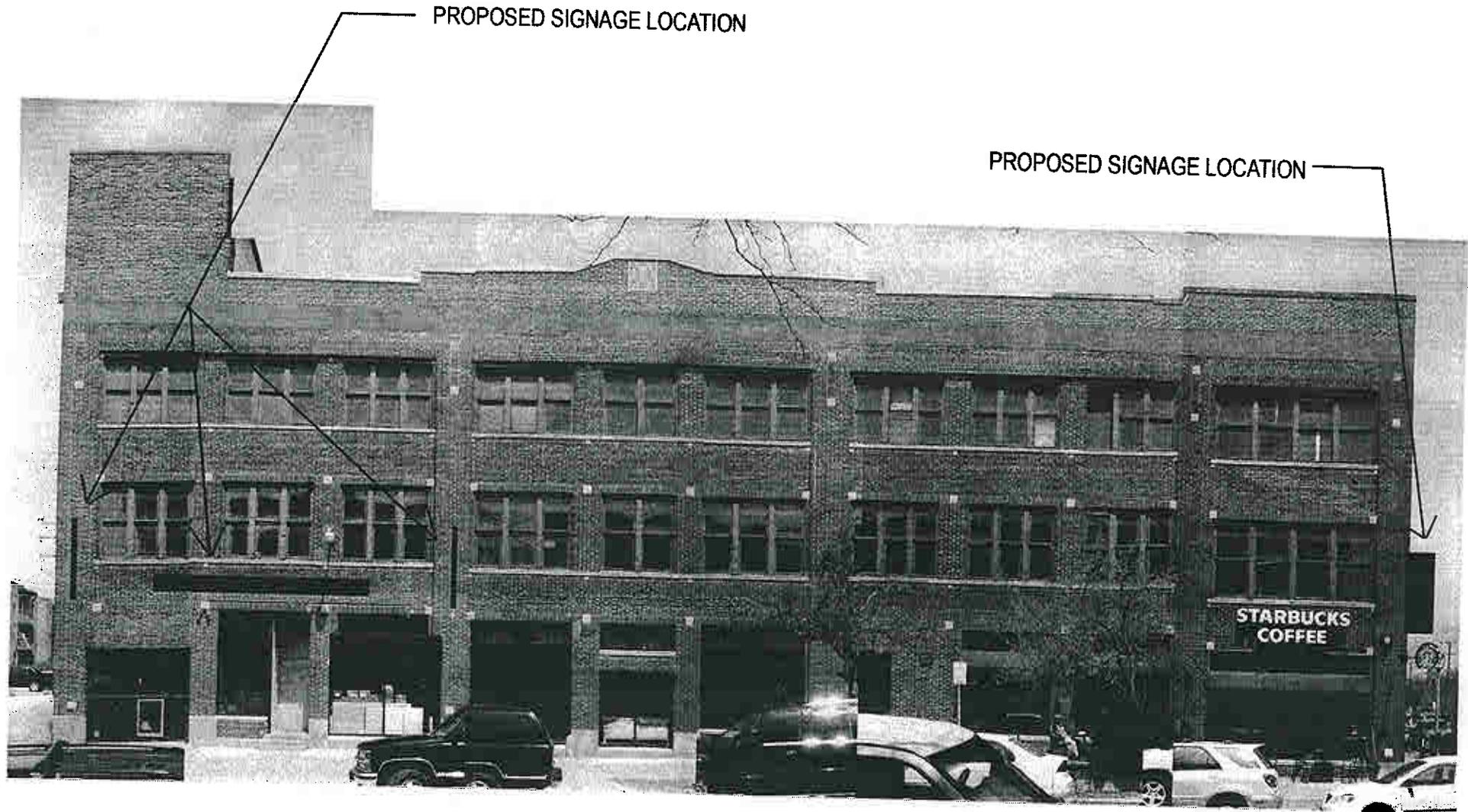
SIGNAGE - PERSPECTIVE

PROJECT NUMBER: 20061110.00

DATE: JULY 20, 2007

SCALE: NTS

SHEET NUMBER: COA - 6.06



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DOWNER AVENUE MEDICAL OFFICE BUILDING

2559-65 NORTH DOWNER AVENUE
MILWAUKEE, WISCONSIN

NOT FOR CONSTRUCTION

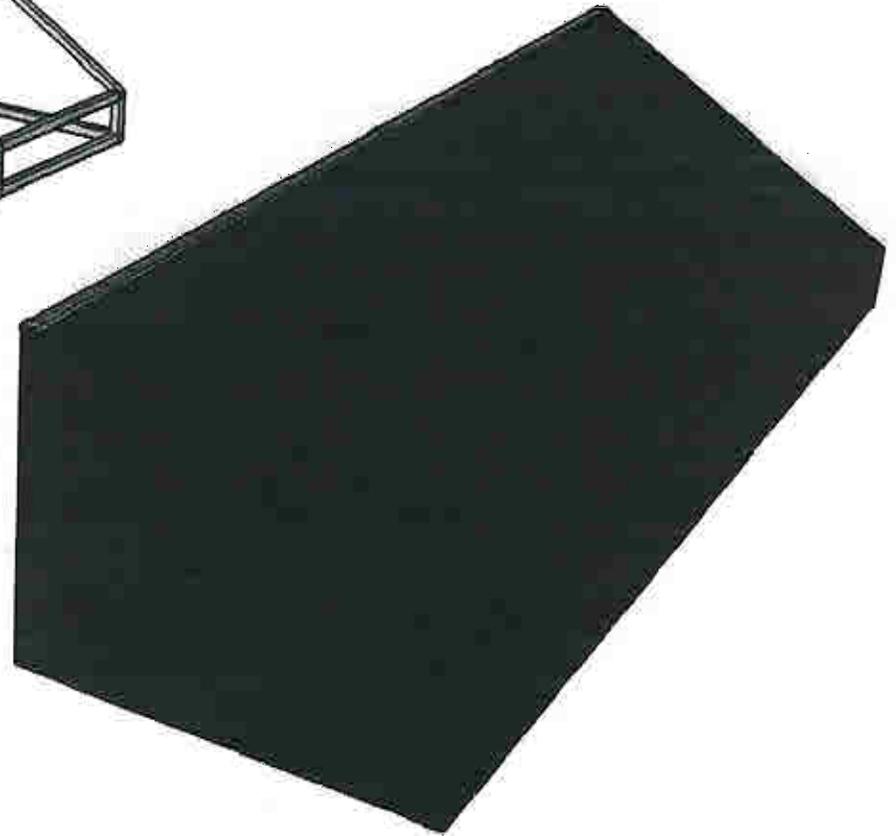
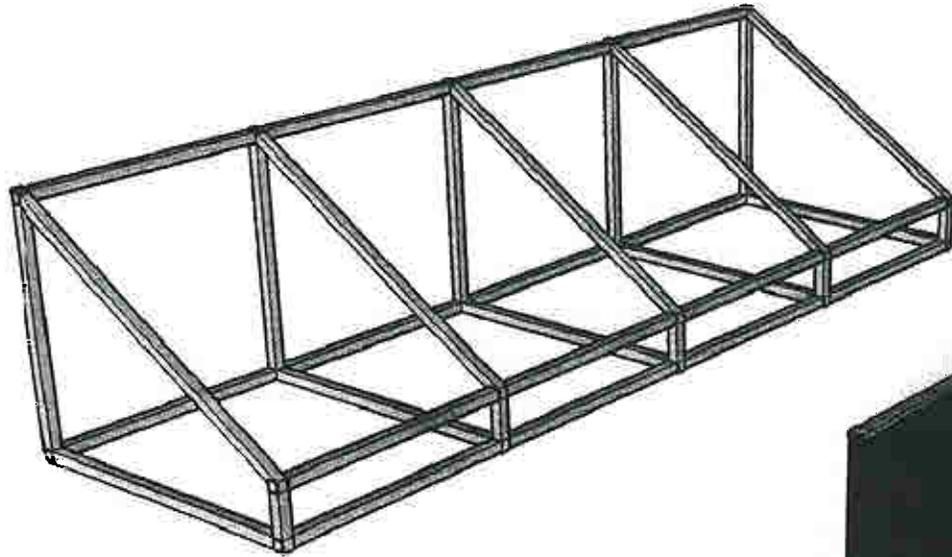
SIGNAGE

PROJECT NUMBER: 20061110.00

DATE: JULY 26, 2007

SCALE:

SHEET NUMBER: COA - 4.07



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DOWNER AVENUE COMMONS

2524 EAST WEBSTER PLACE AND

2559-65 NORTH DOWNER AVENUE

MILWAUKEE, WISCONSIN

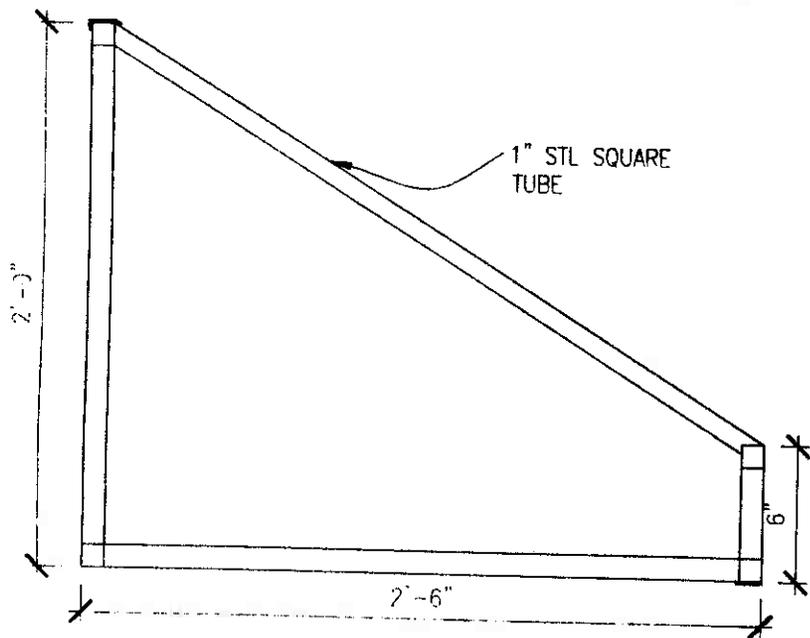
PROPOSED AWNINGS

PROJECT NUMBER: 20061110.00

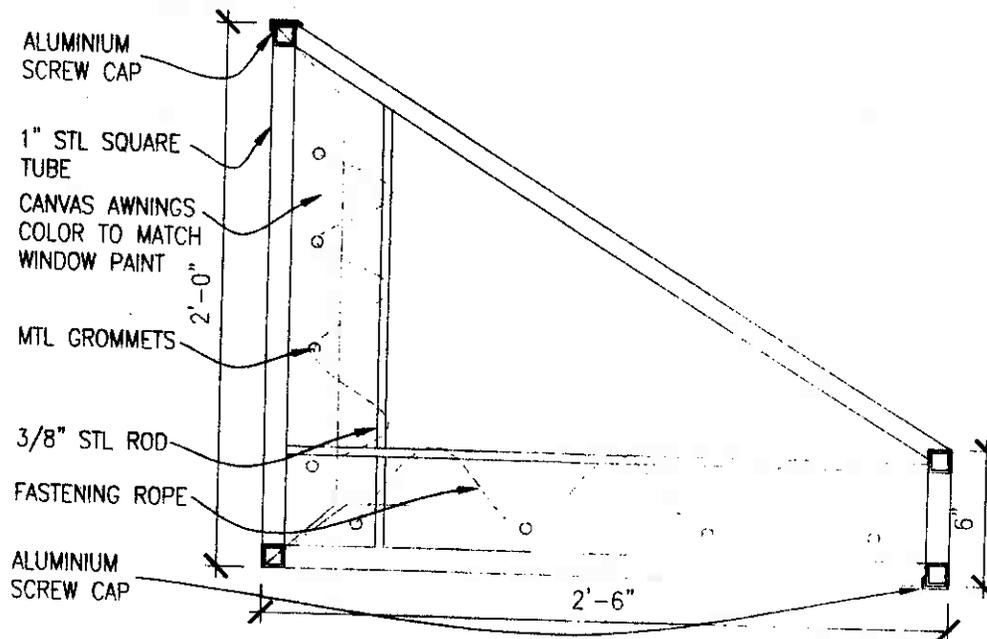
DATE: AUGUST 24, 2007

SCALE: 1 1/2" = 1'-0"

SHEET NUMBER: CO.A1.01.B



AWNING ELEVATION



AWNING SECTION

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DOWNER AVENUE COMMONS

2524 EAST WEBSTER PLACE AND

2559-65 NORTH DOWNER AVENUE

MILWAUKEE, WISCONSIN

PROPOSED AWNINGS

PROJECT NUMBER: 20061110.00

DATE: AUGUST 24, 2007

SCALE: 1 1/2" = 1'-0"

SHEET NUMBER: CO A1 01 B

DOWNER AV. H. D.



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property

2559 N. DOWNER AV.

Description of work

Demolition of four-car brick garage behind the building at 2559 N. Downer Ave.

Date issued

8/16/2007

PTS ID 41877 COA - Rear Garage Demolition

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Demolition will be limited to garage only and will not include the one stone block building behind it.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)

DOWNER AV. HIST. DIST.



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5212

Property 2559 N. DOWNER AV.
Description of work Roof Top Mechanic Units – Replace Metal Coping – New door openings on rear elevation.
Date issued 7/31/2007 PTS ID 43426 COA - Mechanicals, Coping.

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The work must be done according to the attached drawings and/or photos, **any changes must be approved by HPC staff.**

Roof Top Mechanic Units - A new decorative metal screen is proposed to screen the new required roof top mechanical units.

The current coping at the top of the parapet walls replaced in kind with a new, matching metal coping will be repaired with like metal material.

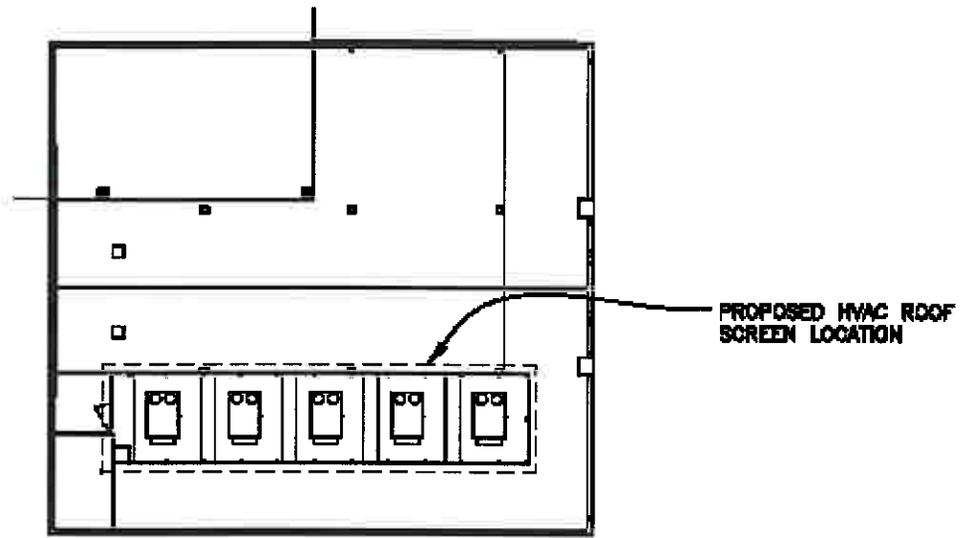
West Alley - Façade alcove covered with metal screen on west façade wall will house the new ground mounted transformer. The alcove will be set in the existing west alley 45' from the southwest building corner and public sidewalk. Additional exterior doors facing the alley include 2 egress doors, a new delivery door for the Harry W. Schwartz Bookstore (currently on the south public facing facade) and an elevator access door.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

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City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)



1 ROOF PLAN
1/32" = 1'-0"



HVAC ROOF SCREEN BEYOND

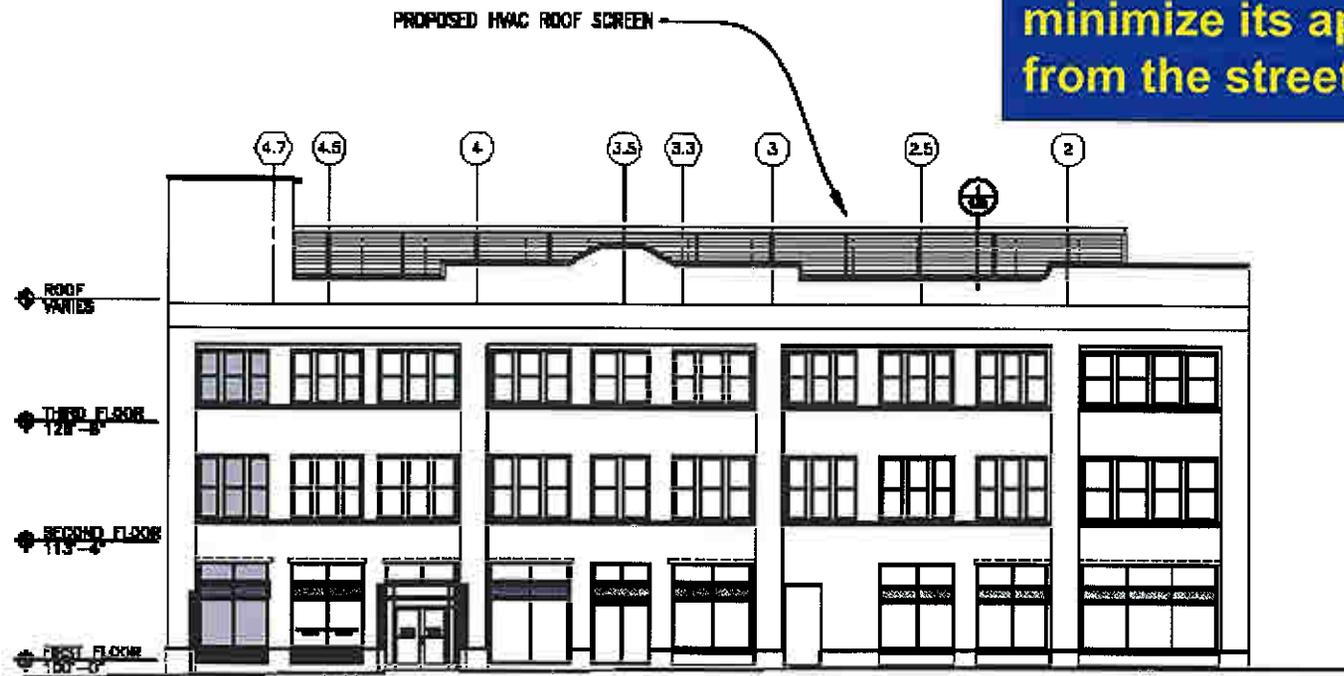
NOTE: RENDERING FROM EAST SIDE
OF DOWNER AVENUE 150 FEET FROM
SCHWARTZ BUILDING NEAR CORNER
OF SUMMIT AND DOWNER.



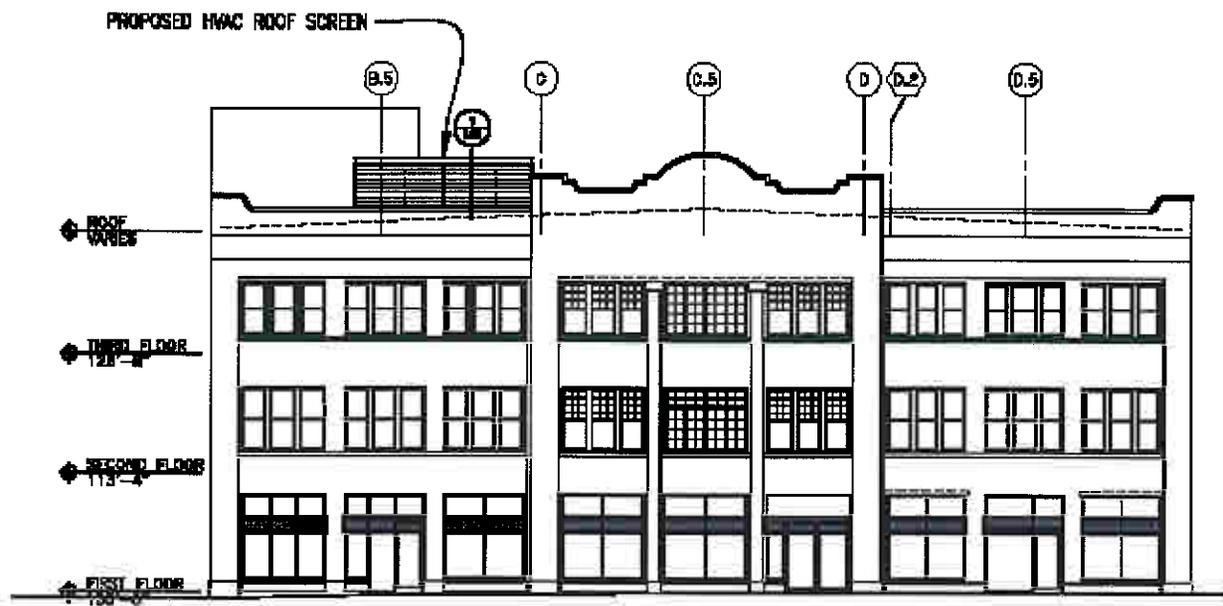
ADJACENT APARTMENT BUILDING

HVAC ROOF SCREEN

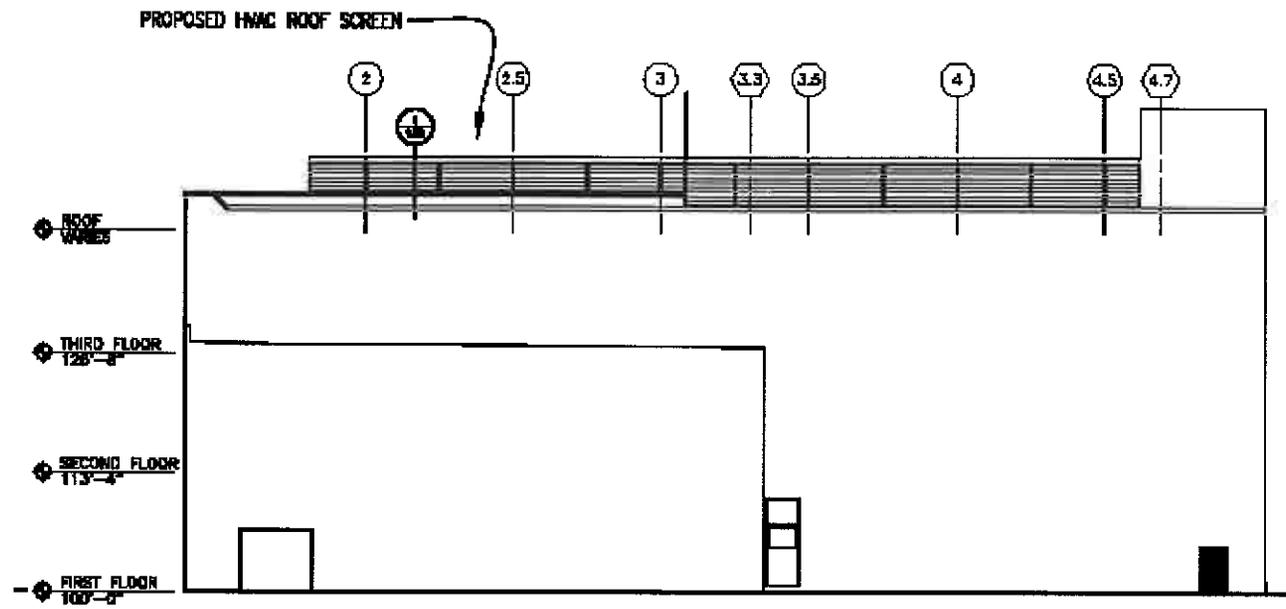
Top of screening must be as low as possible to minimize its appearance from the street.



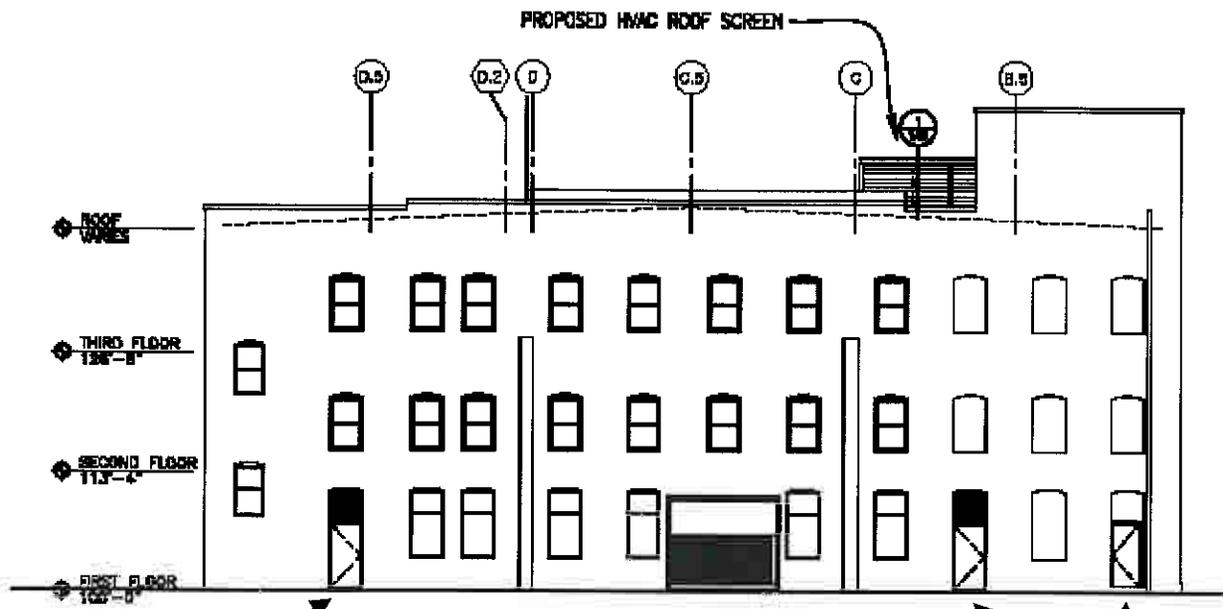
1 SOUTH ELEVATION
1/16" = 1'-0"



1 EAST ELEVATION
 $1/18" = 1'-0"$



1 NORTH ELEVATION
 $1/16" = 1'-0"$

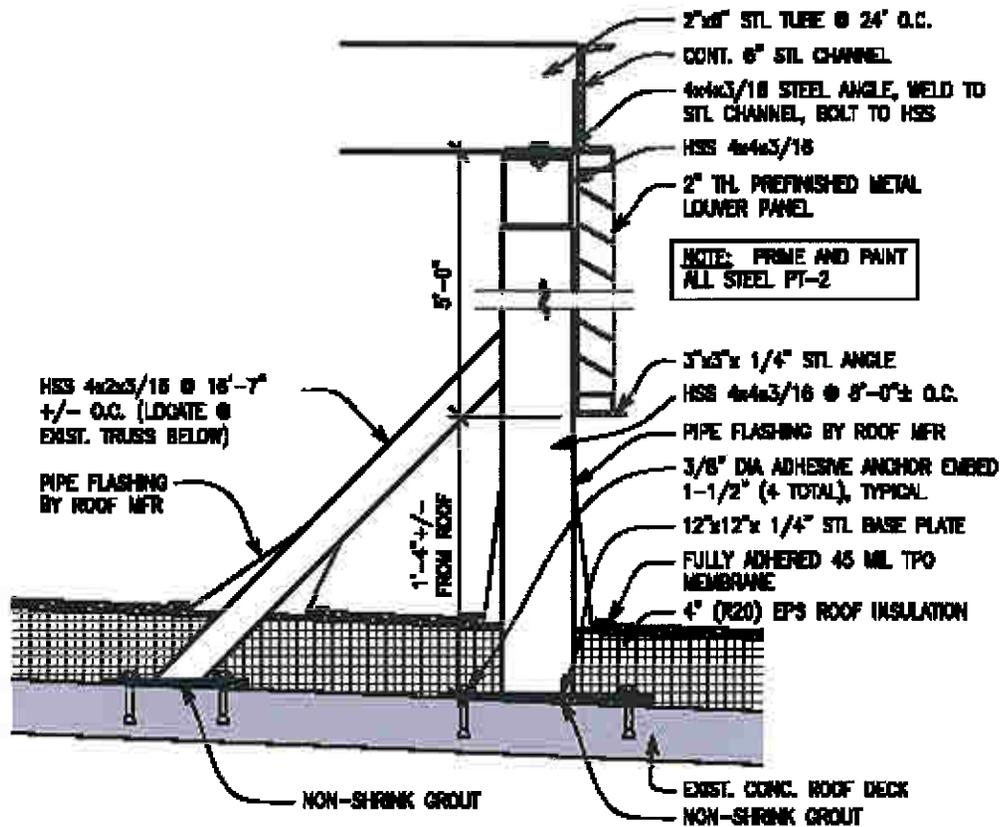


New Door

1 WEST ELEVATION
1/16" = 1'-0"

**New alcove
w/screening for
mechanical
equipment**

New Doors



1 ROOF SCREEN DETAIL
 1-1/2" = 1'-0"

DOWNER AVE HIST. DIST



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2559 N. DOWNER AV.

Description of work Remove existing brick from steel lintels above window bays. Repair steel lintels and reinstall original brick to original design and configuration.

Date issued 7/25/2007 PTS ID 43426 COA, lintel repair

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

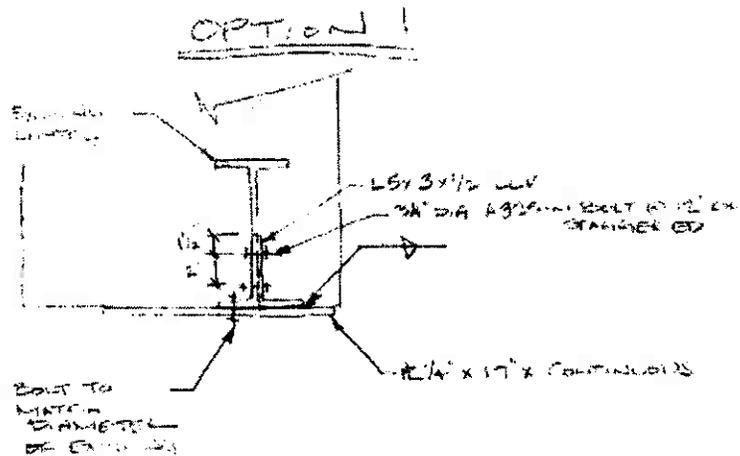
All work to be done according to attached drawings. Original brick will be reinstalled according to original configuration and joint width. Finish mortar joints must be maintained at original width. Remove all mortar stains from face of brick.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

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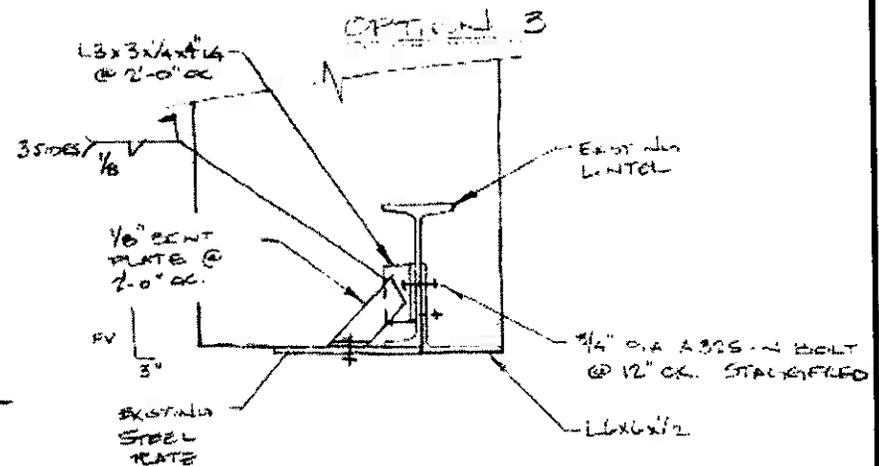
City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)



PROCEDURE

1. SHORE EXISTING WALL
2. REMOVE BRICK ALL AROUND EXISTING LINTEL
3. DRILL HOLES IN WEB OF EXISTING LINTEL BEAM
4. CUT AWAY EXISTING FLANGE & PLATE @ EXTERIOR SIDE OF THE LINTEL BETWEEN CONNECTION POINTS. DO NOT DAMAGE CONNECTIONS.
5. CUT AWAY EXISTING RIVETS BETWEEN THE INTERIOR SIDE OF THE EXISTING FLANGE AND THE REMAINING PLATE SECTION
6. REMOVE THE INTERIOR SIDE OF THE PLATE SECTION BETWEEN CONNECTION POINTS. DO NOT DAMAGE INTERIOR EXISTING FLANGE
7. INSTALL THE L3x3x1/4 & 1/4" x 17"
8. REPLACE BRICK



PROCEDURE

1. SHORE EXISTING WALL
2. REMOVE BRICK ALL AROUND EXISTING LINTEL
3. DRILL HOLES IN WEB OF EXISTING LINTEL BEAM & PLATE
4. CUT AWAY EXISTING FLANGE & PLATE @ EXTERIOR SIDE OF THE LINTEL BETWEEN CONNECTION POINTS. DO NOT DAMAGE CONNECTIONS
5. INSTALL L3x3 & 1/8" BENT PLATE
6. REPLACE BRICK

Either Repair Method illustrated here can be used. Option Number 3 would be preferable if bottom joint between new steel and old lintel is to be covered by new window units.

Downer Ave



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property

2559 N. DOWNER AV.

Description of work

Complete the tuckpointing in progress in a uniform fashion; clean surface of brick to remove mortar stains.

Date issued

7/19/2007

PTS ID 43426 COA, tuckpointing

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

A separate COA is required for replacement or alteration of the cornice band, the coping atop the parapet wall, lintels and related masonry work, and new door openings on rear elevation. A separate permit is required from the department of neighborhood services for power washing or chemical cleaning of masonry surfaces.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakobovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)

DOWNER AVE. HIST. DIST.



Certificate of Appropriateness

LIVING WITH HISTORY Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5212

Property 2559 N. DOWNER AV.
Description of work Window and storefront restoration/replacement.
Date issued 6/15/2007 PTS ID 43426 COA - Window and storefront restoration/replacement.

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

- Replacement windows shall be the same size and configuration of the existing windows. No trim or other fixtures may be removed.
- Replacement of existing 2nd & 3rd floor wood windows on the east & south elevations with like new wood windows to match exterior in size, material & appearance.
- Replacement of existing 1st, 2nd & 3rd floor windows on west elevation facing alley with new aluminum clad wood windows to match in size and appearance.
- Replacement of southwest corner bay existing aluminum storefront with new aluminum storefront & entry doors to match existing material & color for new lobby.
- All finish wood must be smooth and free from knots and sapwood. All wood must be painted or stained as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased.
- All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.
- If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

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Copies to: Development Center, Ald. Michael D'Amato, Rinka – Chung Architecture Inc., Inspector Jim Friedrichs (286-5982)

①: REPLACE EXISTING WOOD WINDOWS ON SOUTH AND EAST ELEVATIONS 2ND AND 3RD FLOORS WITH NEW LIKE WOOD WINDOWS

②: REPLACE EXISTING STOREFRONT WITH NEW STOREFRONT AND ENTRY DOORS TO MATCH EXISTING STOREFRONT



4 EAST ELEVATION - EXISTING



2 SOUTH ELEVATION - EXISTING

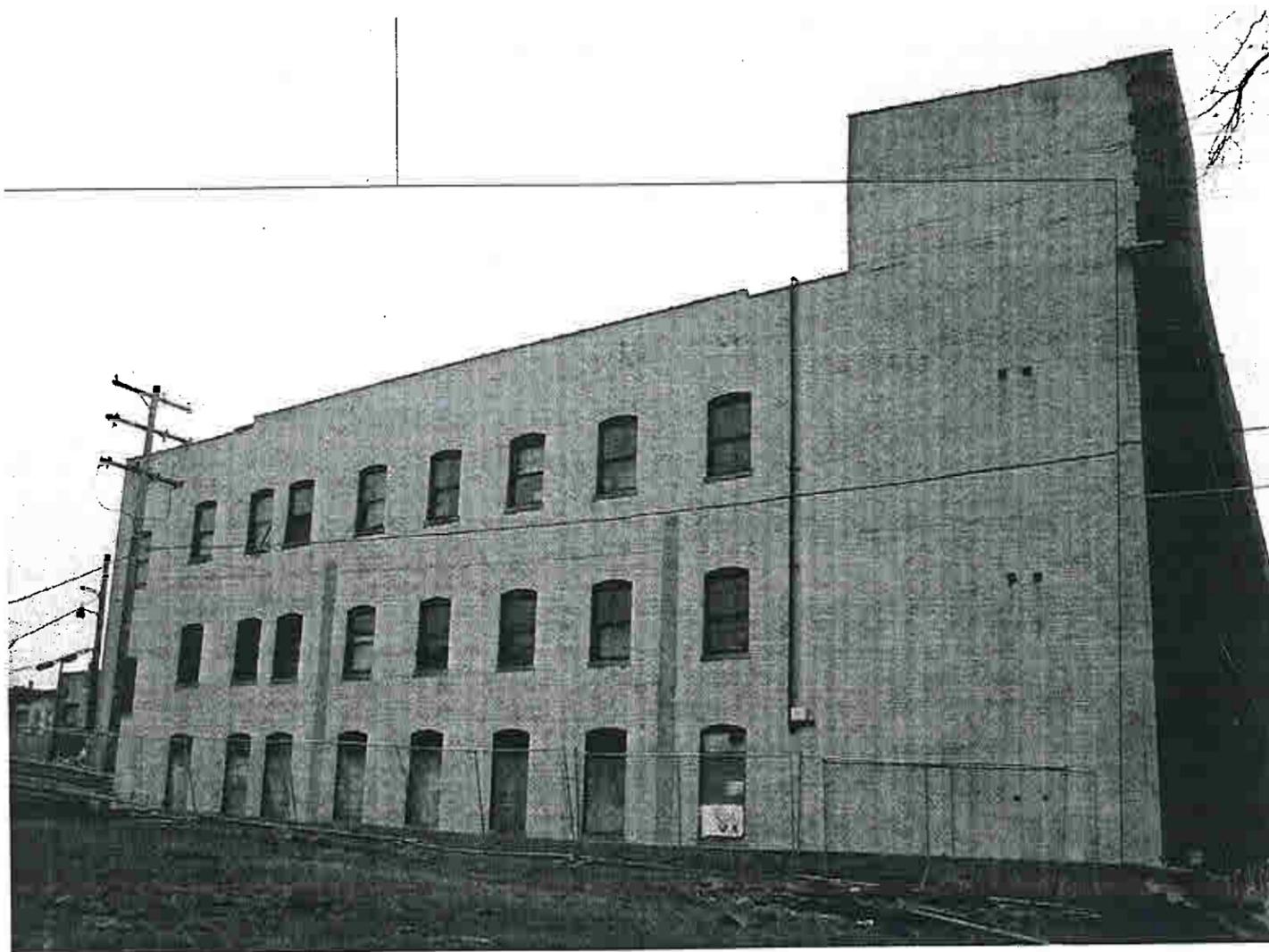


3 EAST ELEVATION
1/16" = 1'-0"

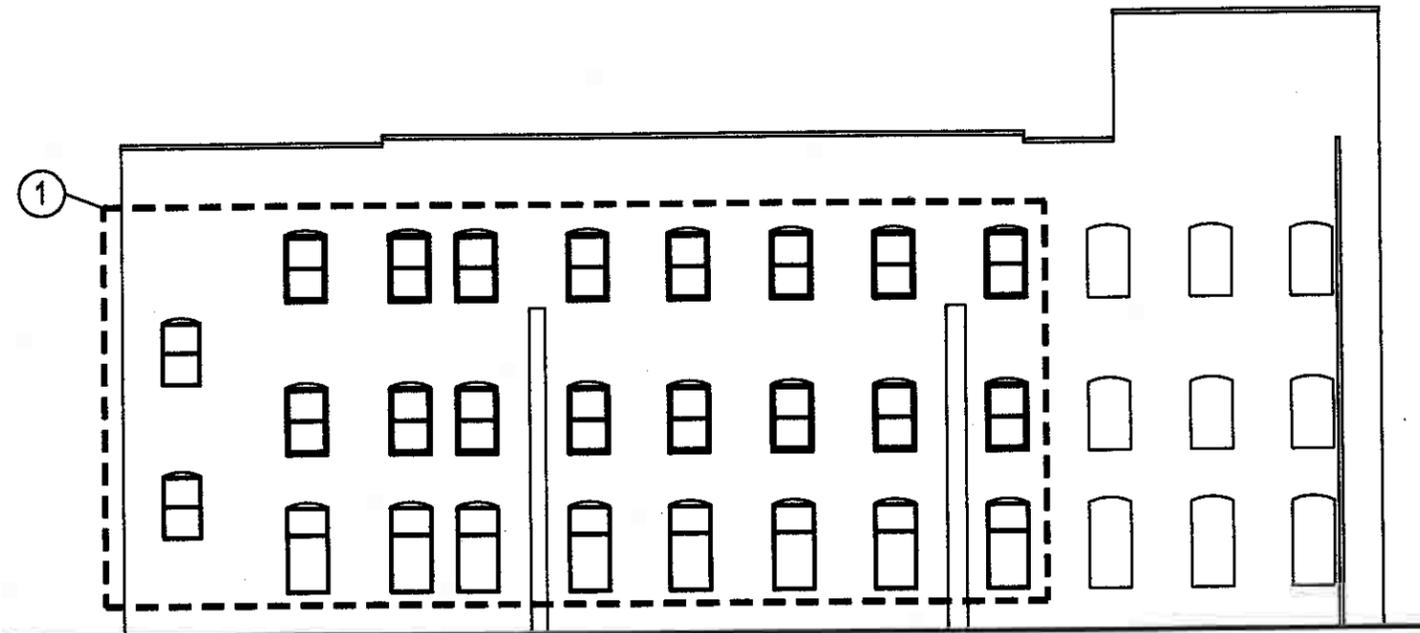


1 SOUTH ELEVATION
1/16" = 1'-0"

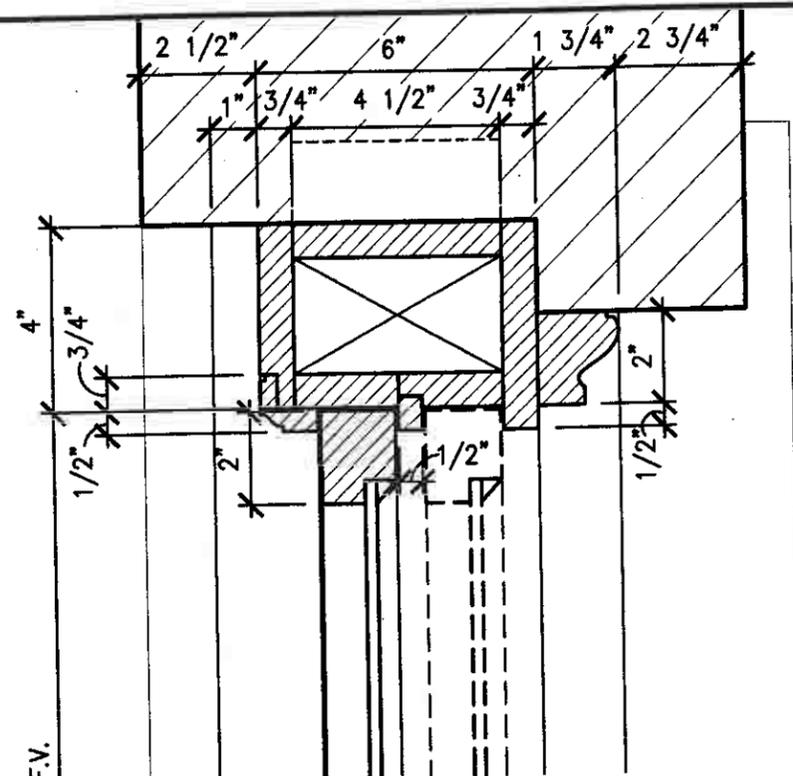
①: REPLACE EXISTING WOOD
 WINDOWS ON WEST ELEVATION
 FACING ALLEY WITH NEW
 ALUMINUM CLAD WOOD WINDOWS



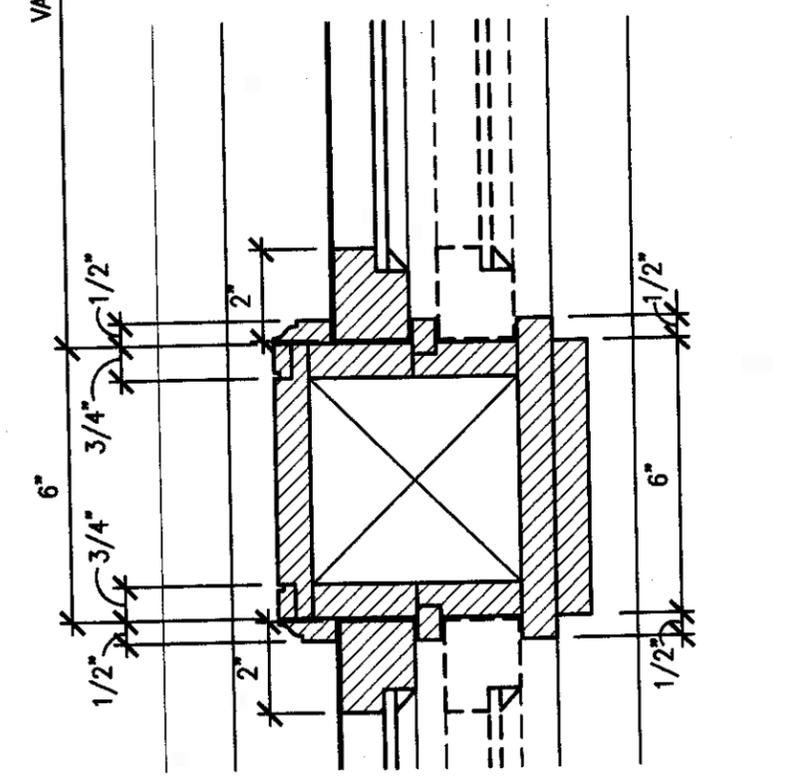
2 WEST ELEVATION - EXISTING



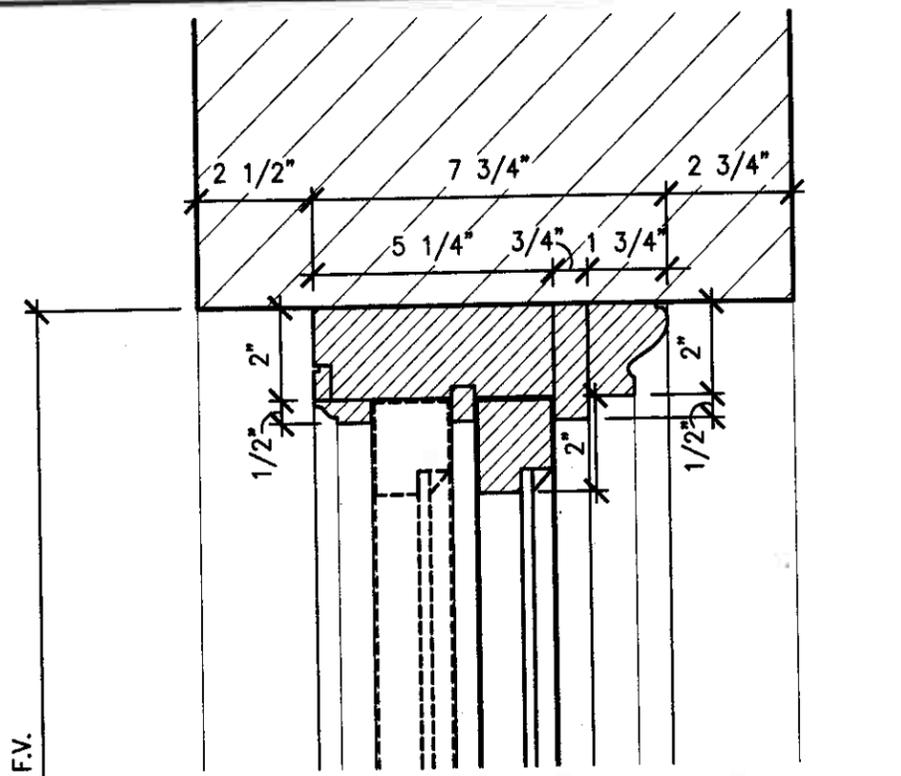
1 WEST ELEVATION
 1/16" = 1'-0"



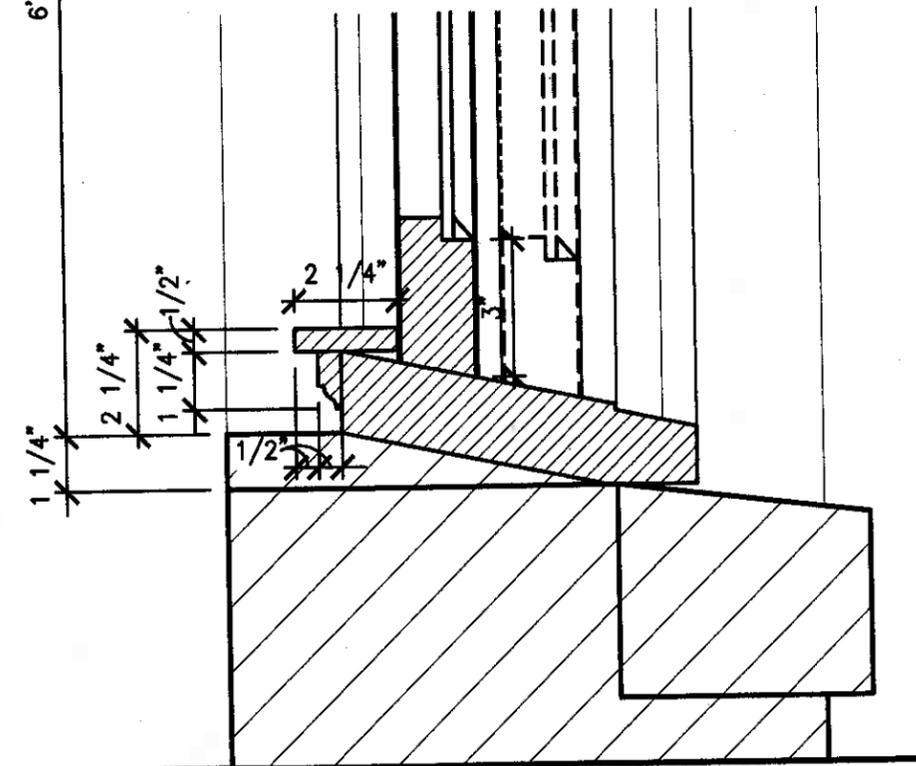
VARIES F.V.



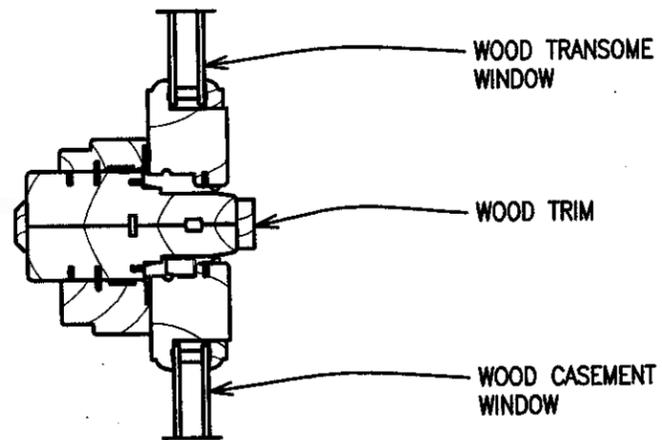
2 EXISTING JAMB & MULLION SECTION
3" = 1'-0"



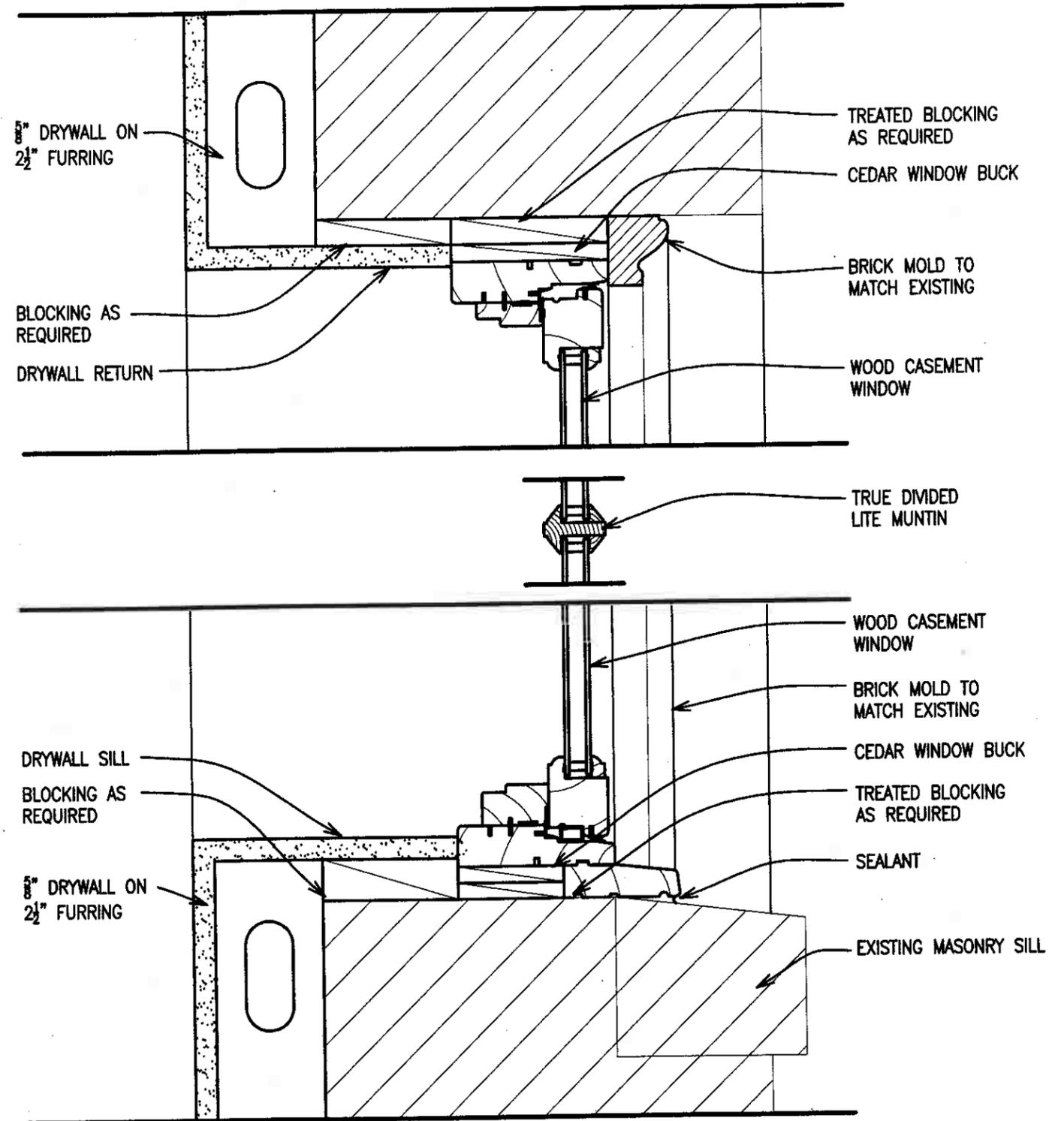
6'-0" ± F.V.



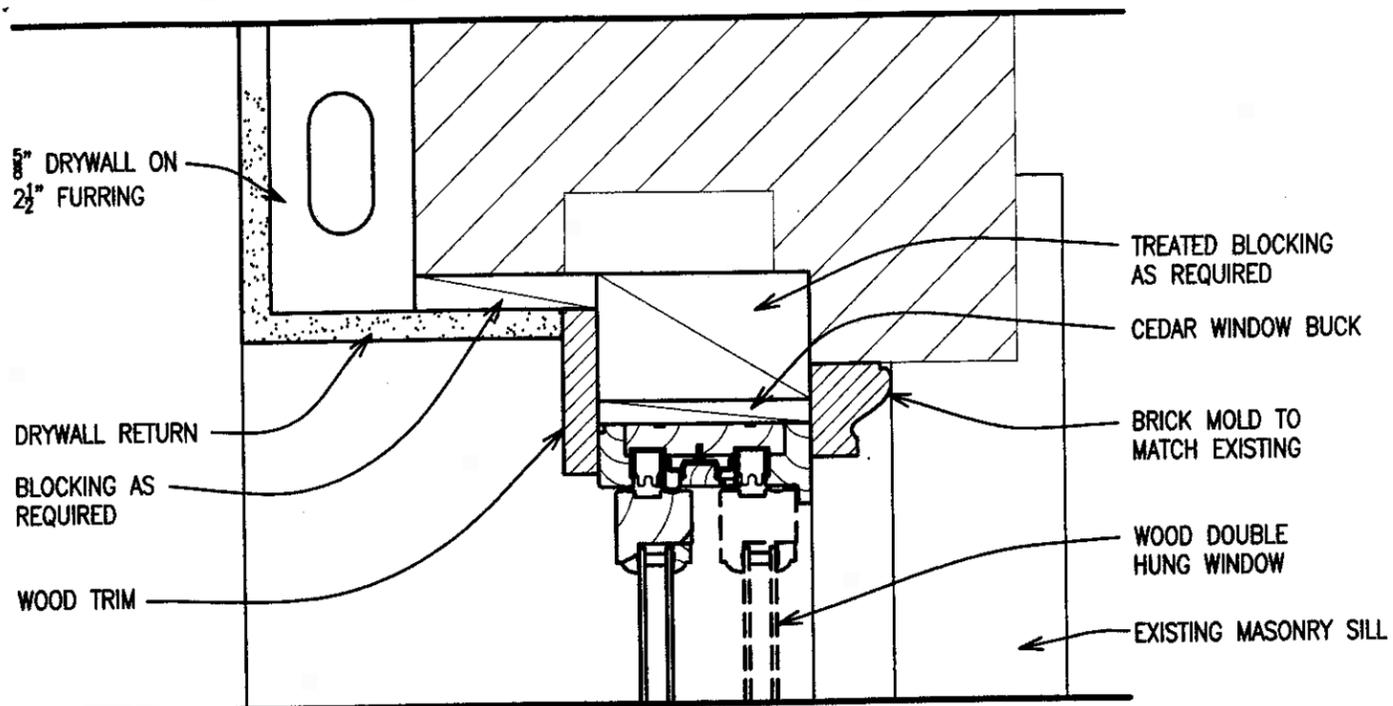
1 EXISTING HEAD & SILL SECTION
3" = 1'-0"



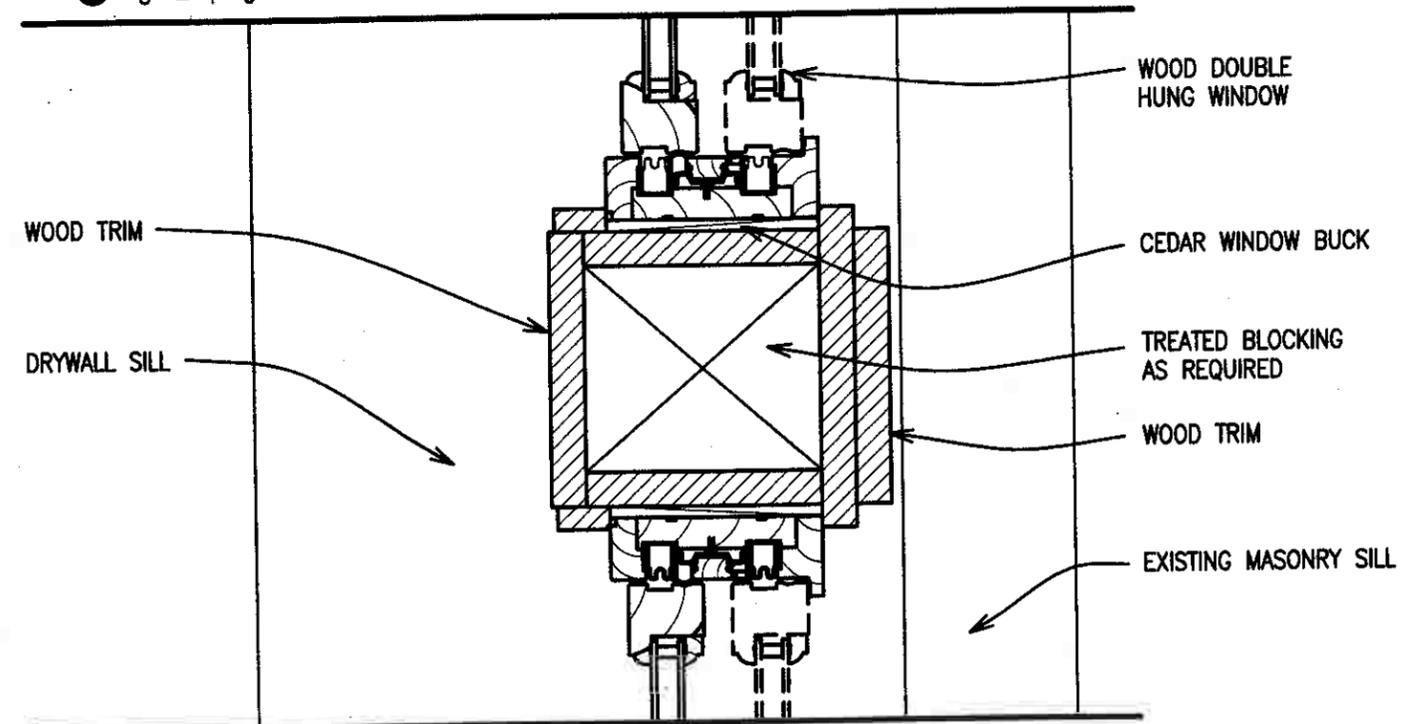
2 NEW MULLION SECTION @ TRANSOME WINDOW
 3" = 1'-0"



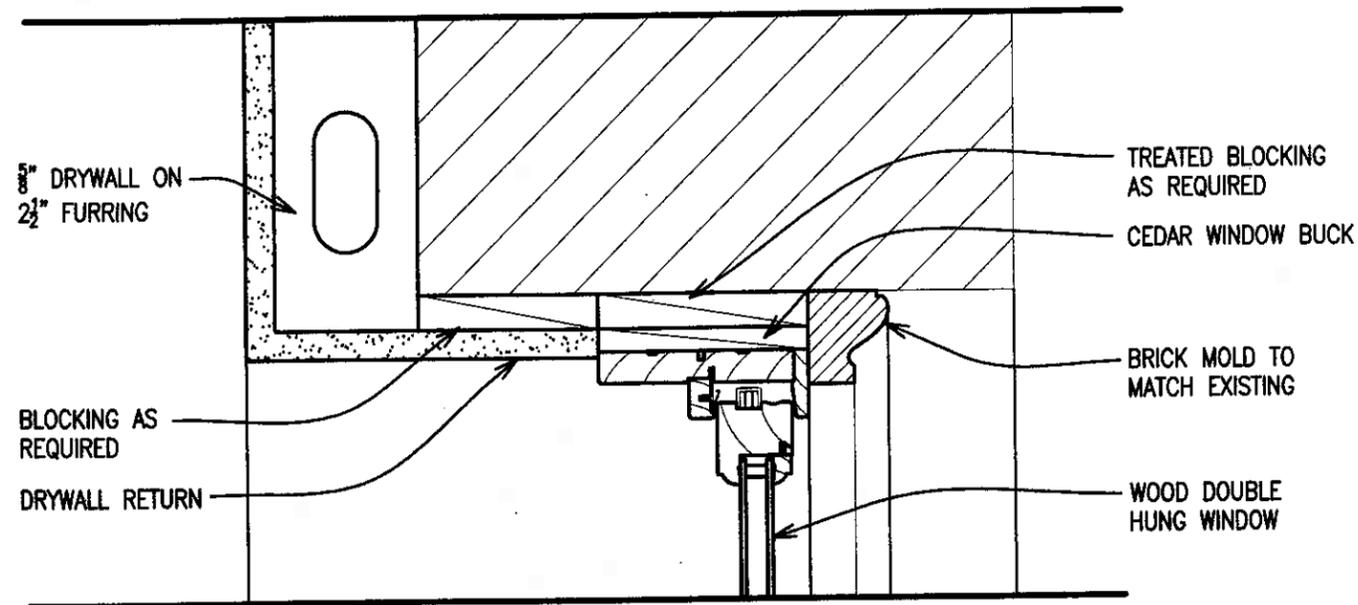
1 NEW SILL SECTION
 3" = 1'-0"



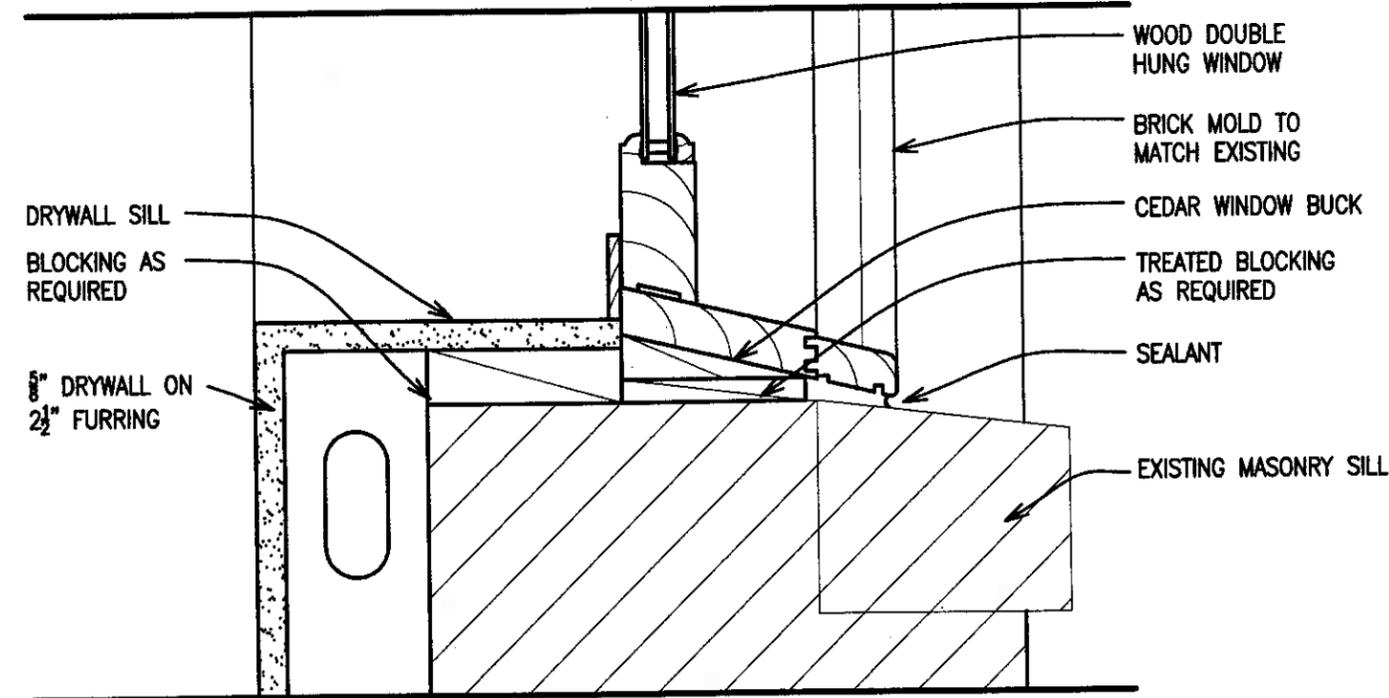
3 NEW JAMB SECTION
3" = 1'-0"



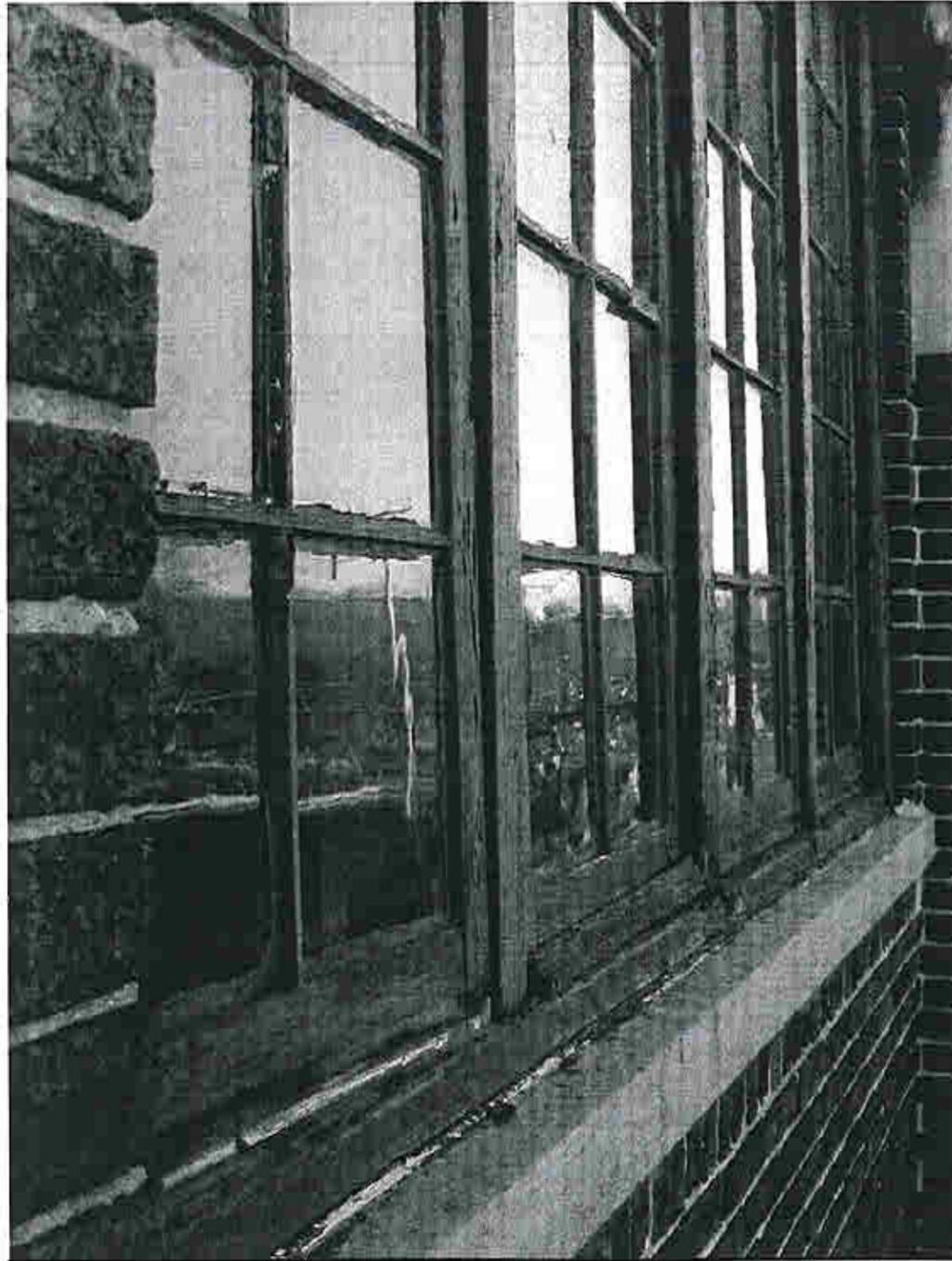
4 NEW VERTICAL MULLION SECTION
3" = 1'-0"



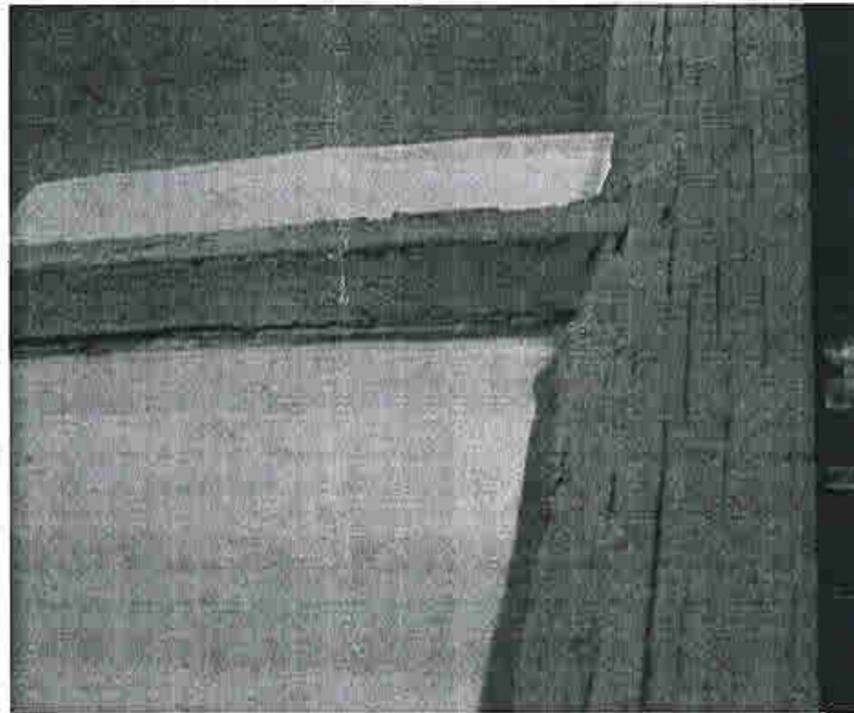
1 NEW HEAD SECTION
3" = 1'-0"



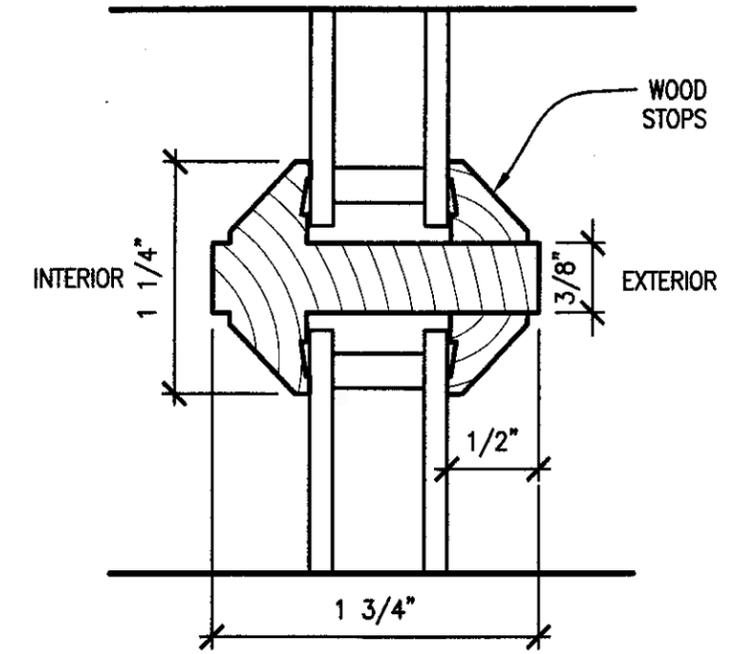
2 NEW SILL SECTION
3" = 1'-0"



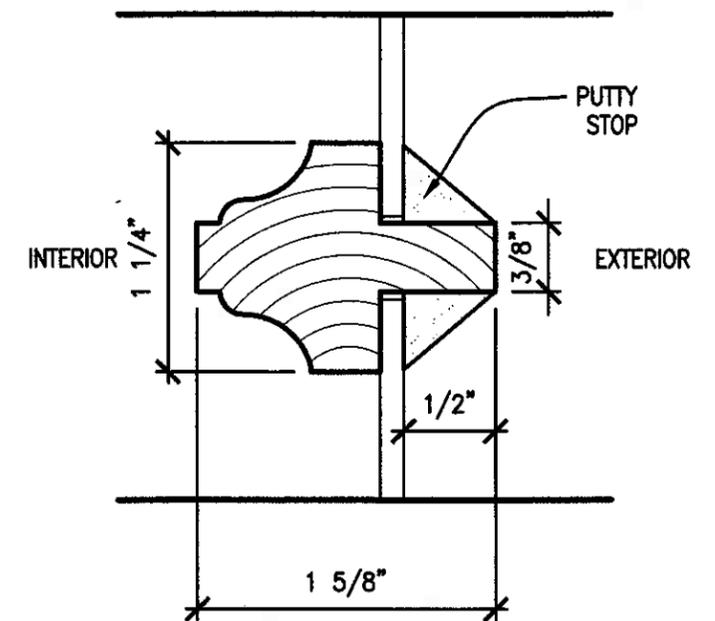
4 CASEMENT WINDOWS - EXISTING



3 DIVIDED LIGHT PROFILE - EXISTING



2 NEW MUNTIN PROFILE
1'-0" = 1'-0"



1 EXISTING MUNTIN PROFILE
1'-0" = 1'-0"