

North Point North HD



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2426 N. TERRACE AV.
Description of work Remove front concrete steps/stoop, repair foundation wall beneath; replace stoop/steps
Date issued 6/25/2008 PTS ID 51790 COA, stoop and foundation repair

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Work to be done according to attached specifications. Above ground work limited to new concrete steps/stoop which will match originals in terms of size, design and configuration. **Note:** This work may be eligible for Wisconsin state income tax credits because the property is a contributing structure in a national register historic district. Application for the credits must be made through the state historical society. Please call Jim Sewell at 608-264-6490 for more information. The work requires prior approval.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

A handwritten signature in blue ink, appearing to read "Paul Jakubovich".

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Contractor Basement Specialists, Inc., Inspector Jim Friedrichs (286-5982)



Basement Specialists, Inc.

4335 South 114th Street . Greenfield, WI 53228

Foundation Repairs

414.425.0600 . Fax: 414.425.0670

CONTRACT

May 2, 2008

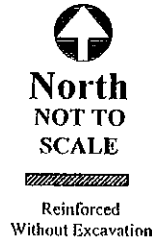
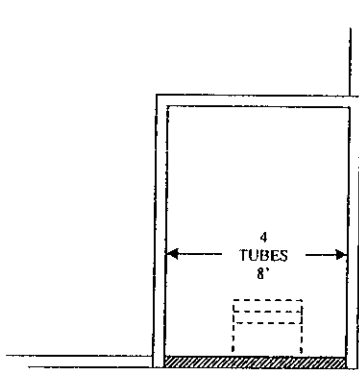
~~Mr. and Mrs. Steve Hinkle~~ *Dr. Stephen Hinkle, Dr. Margie Boyles*
2426 N. Terrace Avenue
Milwaukee WI 53211
(414) 964-7037

RE: Foundation Repairs
I/A: 2426 N. Terrace Avenue, Milwaukee 53211

See Engineers Report

Reinforced Without Excavation

1. Remove concrete step.
2. Repour section of floor under steps as necessary.
3. Reinforce wall with steel tubes. Tubes will be 2" X 5" X 3/16" steel tubes placed on the inside face of walls. Place tubes approximately every 32" as shown in diagram.
4. Tuck point inside as needed.
5. Remove all debris.
6. Sweep clean.
7. Obtain permit.



- Owner will obtain updated engineers report that approves reinforcing of wall without excavation.

TERMS AND GUARANTEE


This proposal may be withdrawn if not accepted within thirty (30) days from the date of proposal.

Any alterations or deviations from specifications involving extra costs will be executed only upon written consent.

Contractor is covered by workers' compensation and public liability insurance. Certificates of Insurance will be furnished upon request.

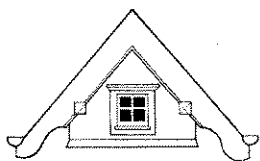
Buyer represents that he is in fact the legal owner of the premises on which labor and materials are to be performed.

All verbal agreements between contractor and buyer are void unless written and signed by both parties on this contract.

 **PAID**
CF 175499
6/11/08 150.00

Initial X MB

Initial _____



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

Property 2426 N. TERRACE AV.
Description of work Remove all storm/screen windows. Replace with new wood combination storm/screen windows.
Date issued 5/7/2007

PTS ID 25801 COA-Window replacements.

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Prime windows to remain intact. All finish wood must be smooth and free from knots and sapwood. All wood must be painted as soon as possible to protect from weather. Staff suggests wood be of a naturally decay resistant variety. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased. Replacement windows shall be the same size and configuration of the original windows. No trim or other fixtures may be removed

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 City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)