

North Point North



Certificate of Appropriateness

LIVING WITH HISTORY Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

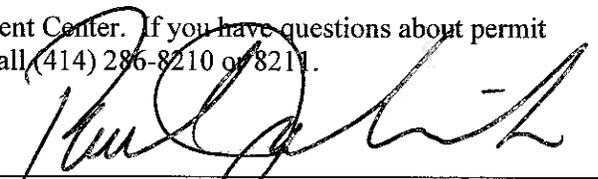
Property 2380 N. TERRACE AV.
Description of work Backyard wood deck, 13'-6" x 19'-0", 7-1/2" above the grade.
Date issued 11/15/2007 PTS ID 45847 COA, backyard deck
re-issue 5/7/08 PJ

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings.

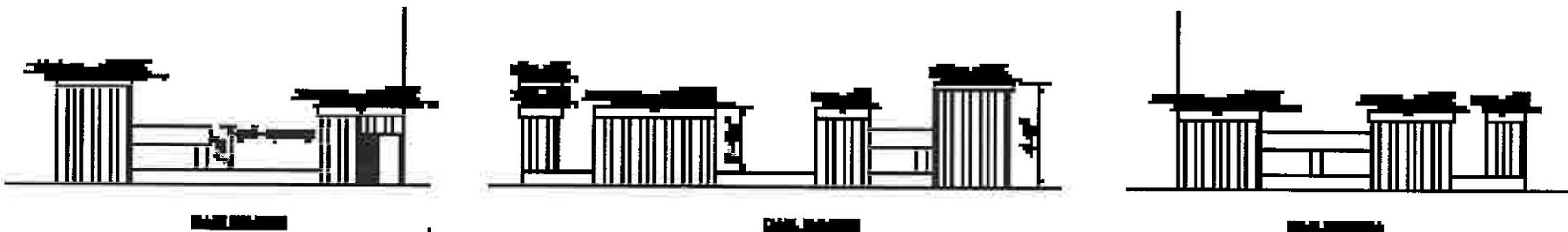
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.



City of Milwaukee Historic Preservation Staff

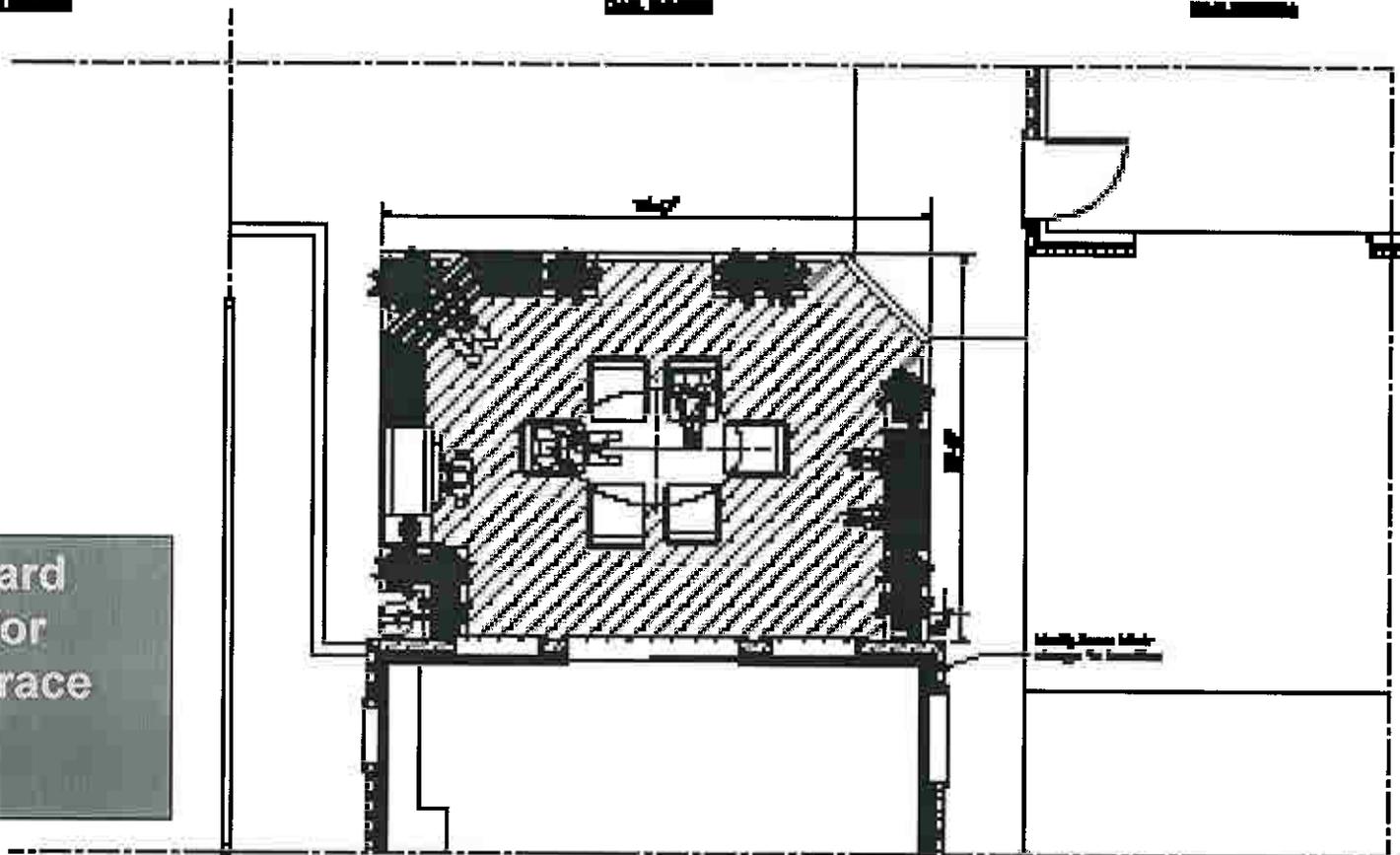
Copies to: Development Center, Ald. Michael D'Amato, Contractor B&E General, Inspector Jim Friedrichs (286-5982)



ELEVATION

ELEVATION

ELEVATION



**New Backyard
Deck Plan for
2380 N. Terrace
Ave.**

New Deck Plan
www.101-1.com

NORTH POINT NORTH



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Property 2380 N. TERRACE AV.
Description of work Install pvc vent for new heating equipment.
Replace existing A/C unit in same location behind existing fence.

Date issued 3/3/2008 PTS ID 48448 COA

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

New vent pipe for furnace if required should be located as far back as possible from front elevation and painted to match house. If pipe is stainless steel painting is not required. Install central A/C unit on grade in back of house next to foundation, not visible from street.

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Property

2380 N. TERRACE AVE. Carol and Mike Tarnoff, owners

Description of work

Construct new family room/master bedroom on rear of house. Add new entry canopy and porch stoop and wing walls. Install new window units in place of picture windows on front elevation. Add shutters to second floor windows on front elevation.

Date issued

10/16/2007

PTS ID 45847 COA - Home addition and remodeling

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The work must be done according to the attached drawings and/or photos; HPC staff must approve any changes. All new windows and doors will be made of wood, both inside and out (no clad, vinyl, aluminum, or fiberglass windows allowed) All finish wood must be smooth and free from knots and sapwood. All wood must be painted or stained as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased. New mortar must match old in terms of color, texture and joint finish. Please note that mortar, which is too hard, is prone to premature failure. See "As Good As New" masonry chapter for a detailed explanation. New stone must match the original in terms of type, finish, size, and pattern. A masonry test panel should be done and approved before general installation of stone.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov. If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkdedc.org/build, or call (414) 286-8210.

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Front elevation showing new porch hood, door, sidelites, wing walls, second story shutters (operable) and new first story windows



Proposed Right Elevation

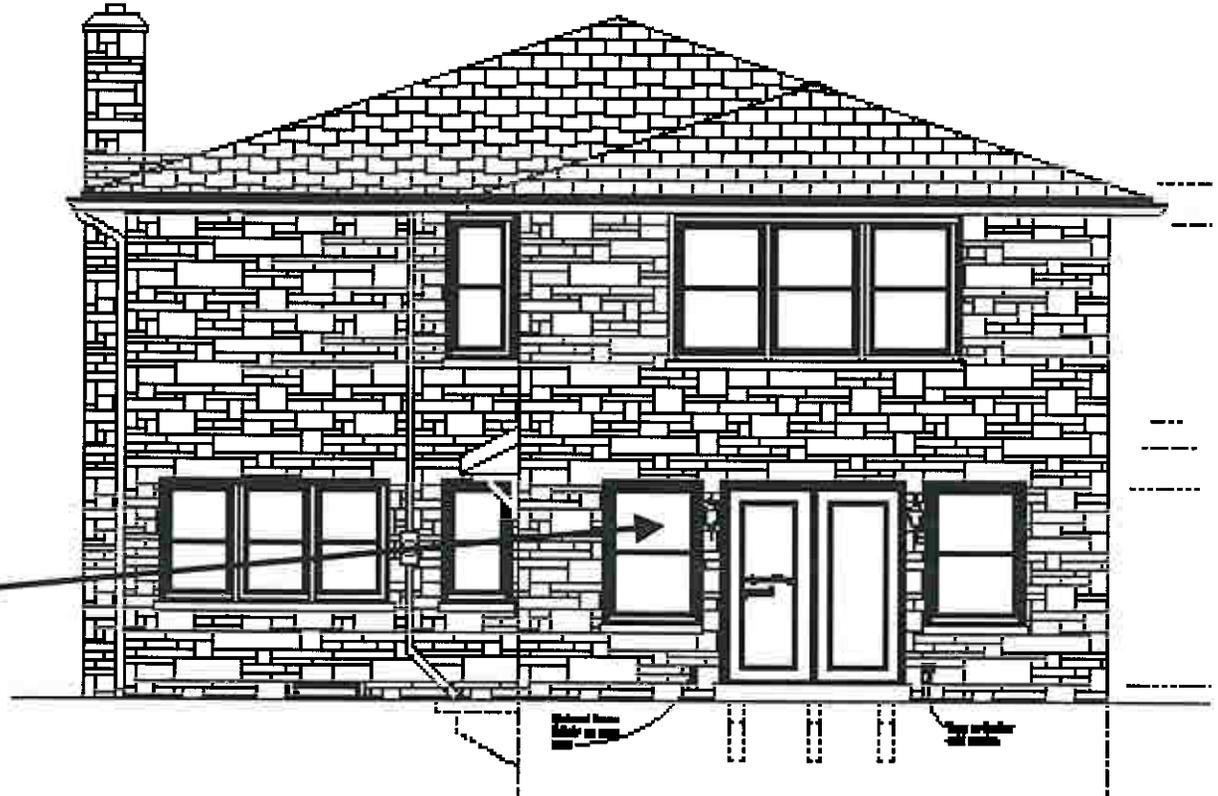
**South elevation
showing new
addition**

Existing East elevation



Existing East Elevation

East elevation showing new addition



Existing East Elevation

New Addition

Existing north elevation



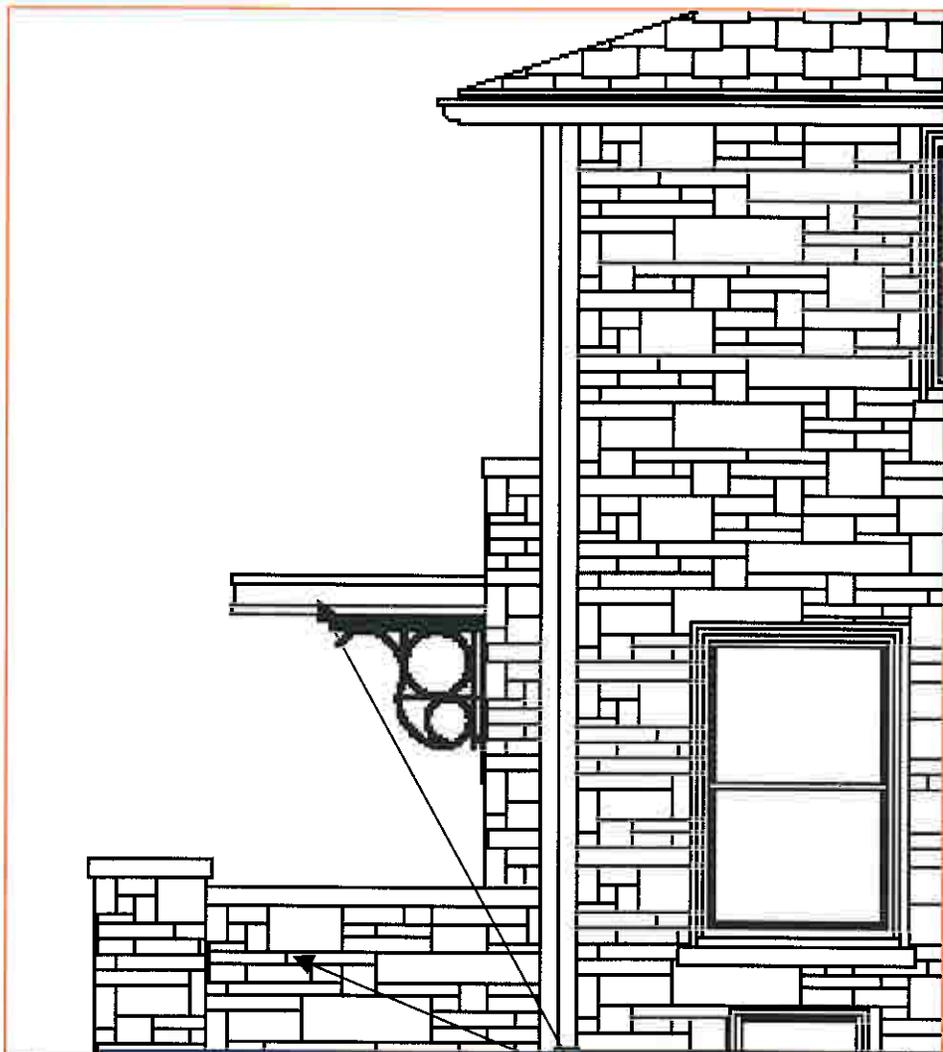
Existing north elevation



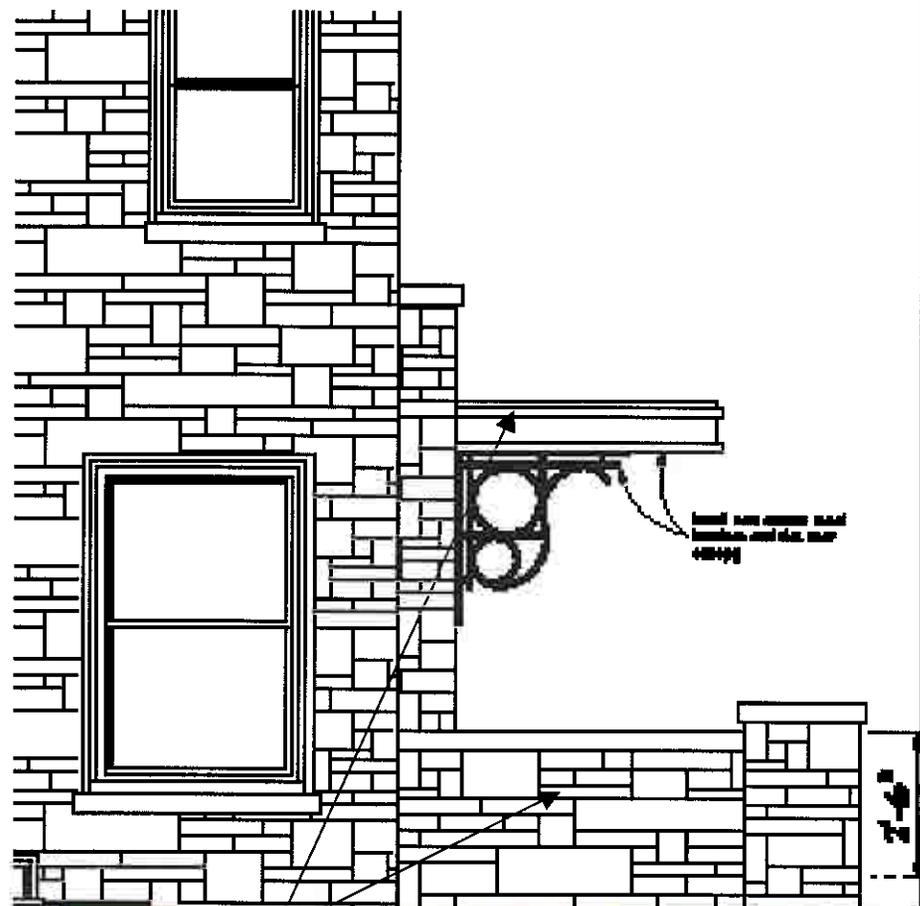
North elevation showing new addition

New north elevation

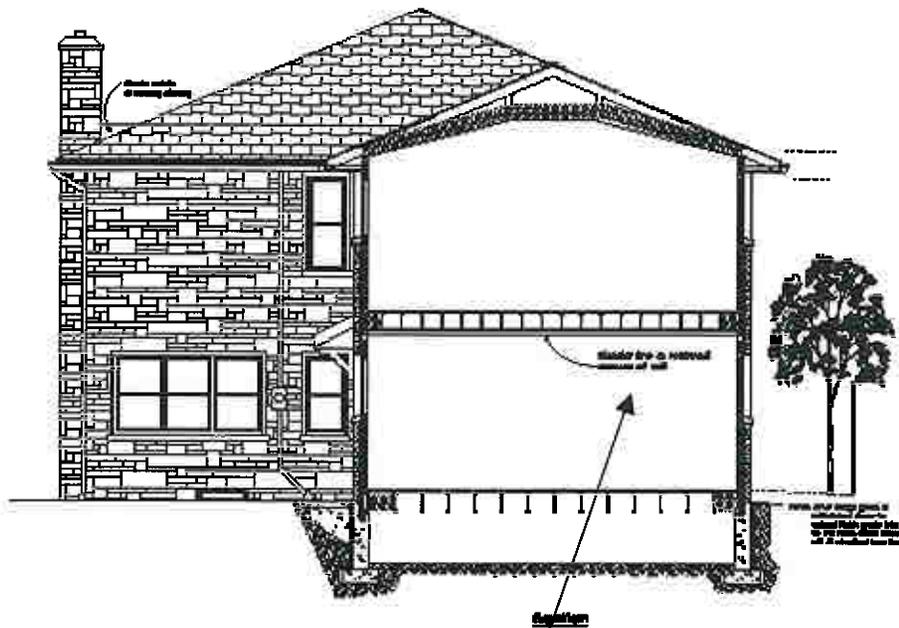
Architectural drawing of the north elevation showing a new addition on the right side.



South elevation showing new front porch, wing walls, porch hood



North elevation showing new front porch, wing walls, porch hood



Section showing that eaves, gutters and roof line of the addition will match exactly the existing structure