

North Point South



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2219 N. LAKE DR.
Description of work Demolish old one-car frame garage. Build new, two-car detached frame garage in same location in back yard.
Date issued 7/22/2008

PTS ID 51567 demo old garage; build new 2-car detached garage

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

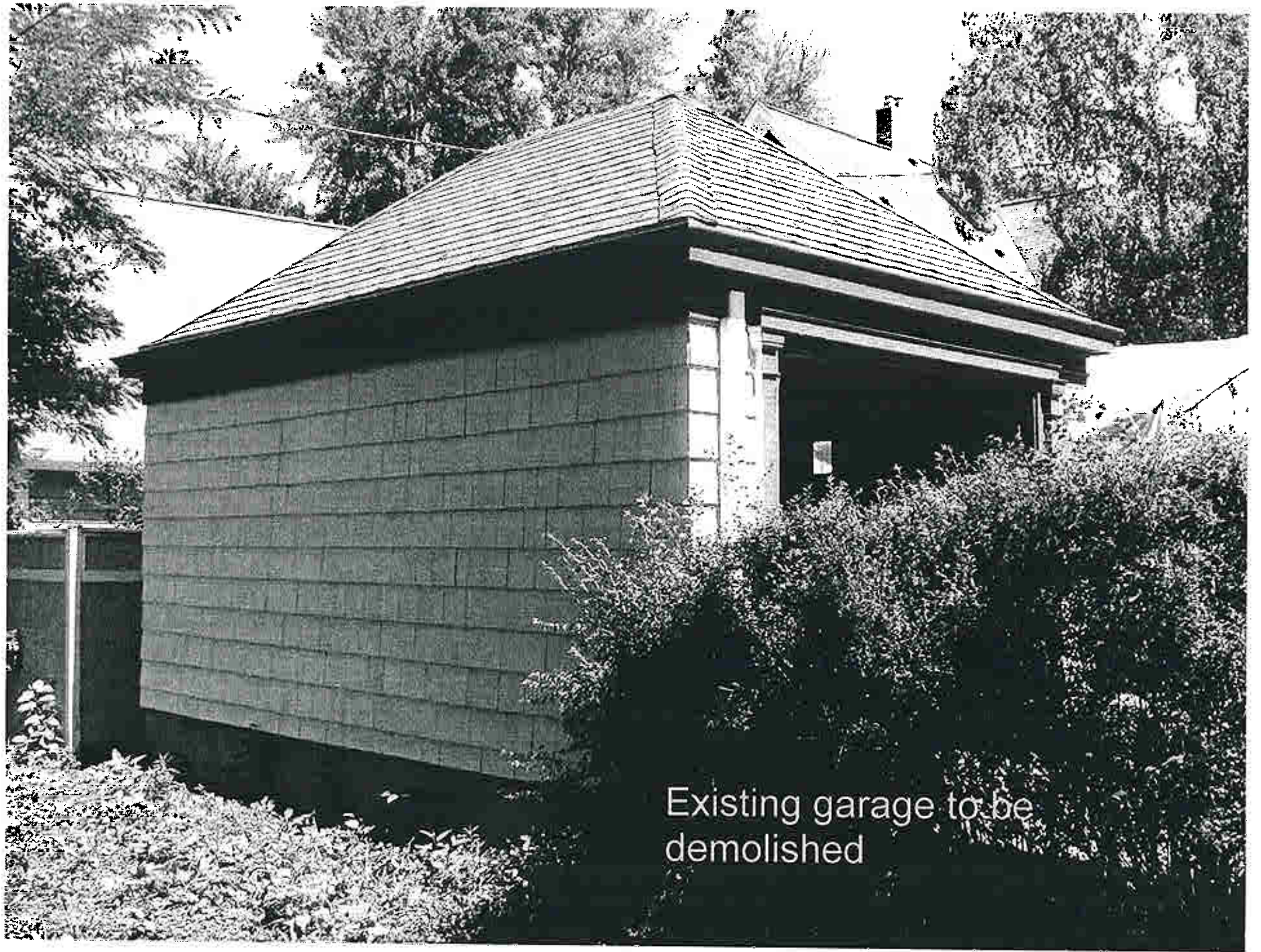
All work will be done according to attached drawings. New garage will be sided and trimmed with wood. Main overhead door can be made of steel, but must be painted and must resemble a sliding or swinging style door. HPC staff must review and approve final design for the overhead door. Service door can be a wood four-panel door or the existing service door on the old garage can be salvaged and installed in the new garage. All wood to be painted upon completion. Please note that research has shown that when new, bare wood is exposed to the outside elements for a period of only a week, the life of the paint job subsequently applied to it is likely to be decreased.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Contractor Don Gavic, Inspector Jim Friedrichs (286-5982)



Existing garage to be
demolished

New Garage

J.D. GRIFFITHS
Michael Mackintosh

PLAT OF SURVEY

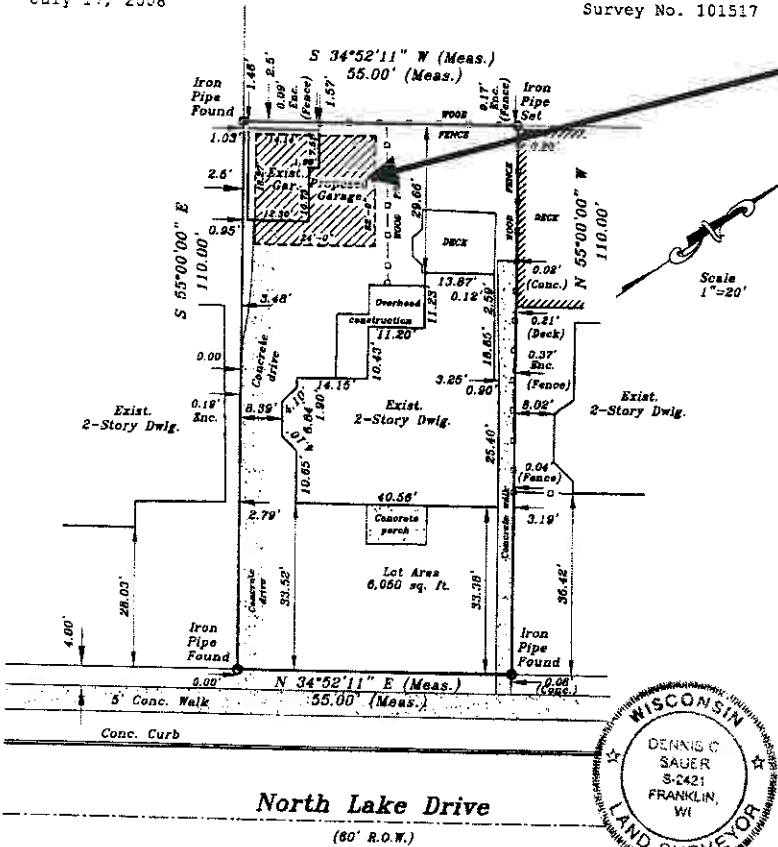
LOCATION: 2219 North Lake Drive, Milwaukee, Wisconsin

LEGAL DESCRIPTION: The Southwesterly 55 feet of the Southeasterly 110 feet of Lot 7, in Block 13, in GLIDDEN & LOCKWOOD'S ADDITION of Lots 1 and 2, in the Northwest 1/4 of Section 22, Township 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

July 17, 2008

Survey No. 101517

New 2-car garage to be built in the southwest corner of lot according to drawing



METROPOLITAN SURVEY SERVICE, INC.

REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
5307 S. 92ND STREET, SUITE 140, HALES CORNERS, WI 53130
PH (414) 528-5380 FAX (414) 528-8787
email address: survey@mswlr.com

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

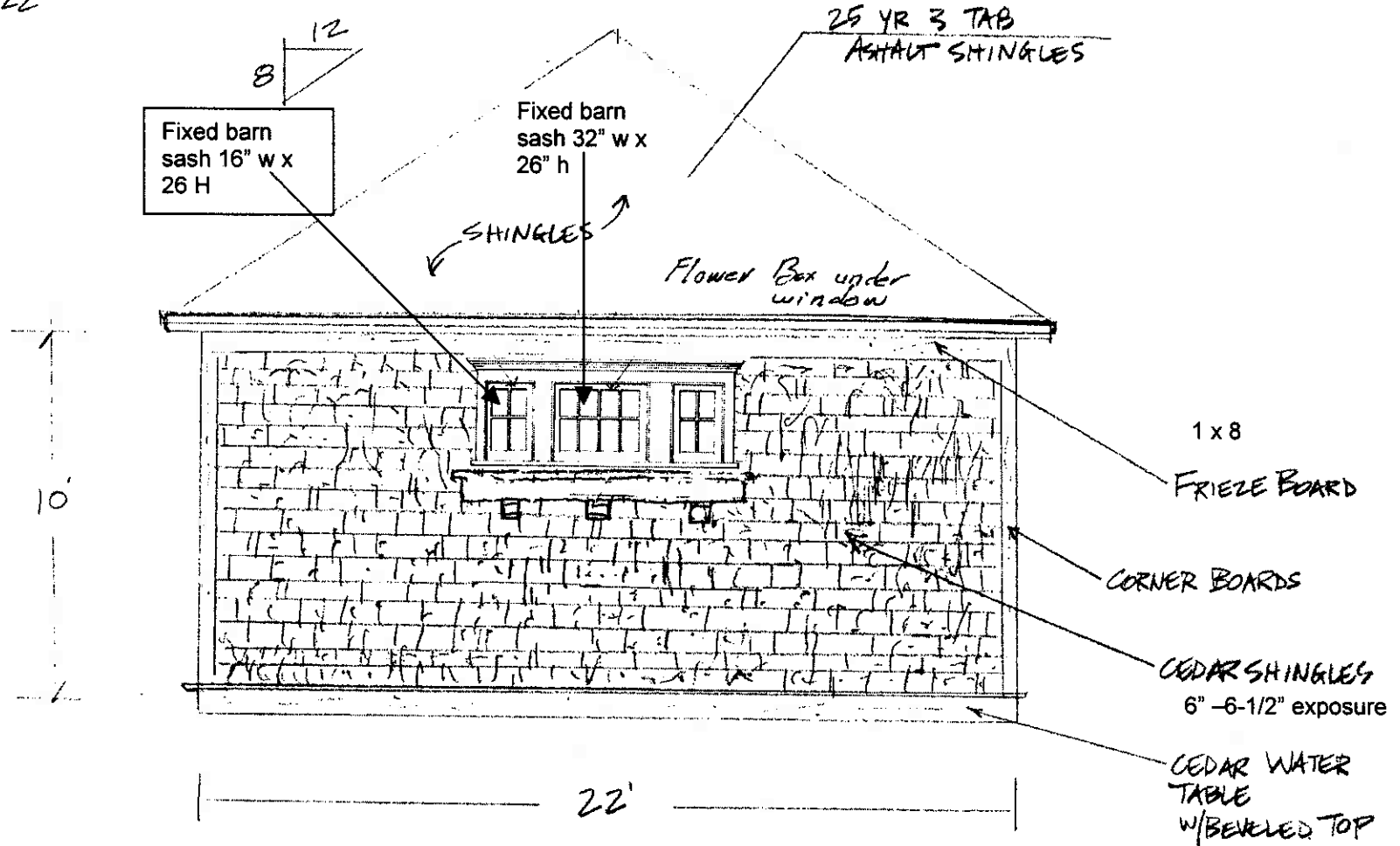
THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

Dennis C. Sauer
SIGNER
Dennis C. Sauer
Registered Land Surveyor S-2421

J.D. Griffiths

8401 W. CALUMET RD.
MILW, WI. 53224
(414) 362-7222

OWNER: MIKE MACKINTOSH
ADDRESS: 2219 N LAKE DR.
SALES REP. JERRY FIEFER



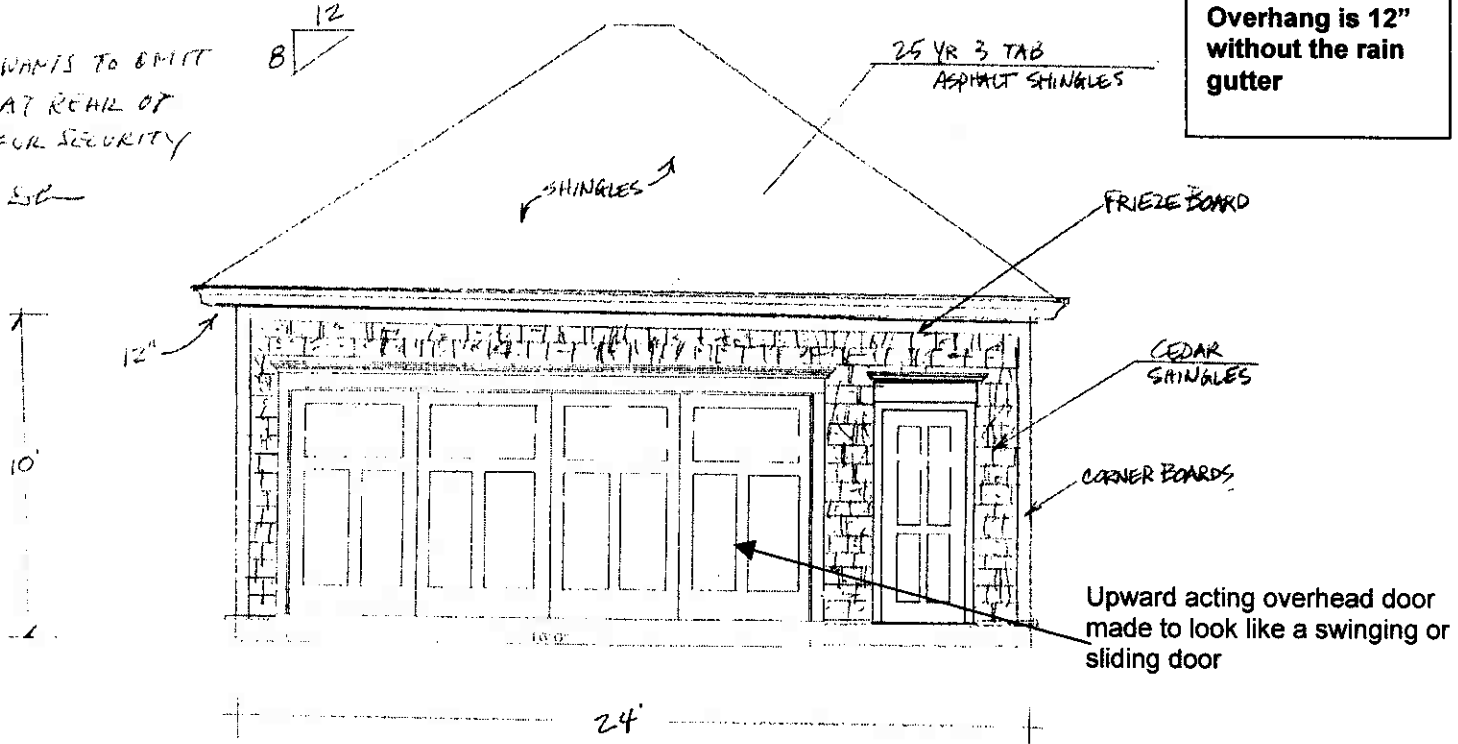
LEFT AND RIGHT ELEVATION

J.D. Griffino

8401 W. CALUMET RD.
MILW, WI. 53224
(414) 362-7222

ADDRESS: 2219 N. LAKE DR - MILW.
SALES REP. JERRY KIEFER

OWNER WANTS TO OMIT
WINDOW AT REAR OF
GARAGE FOR SECURITY
REASONS.
SC



Overhang is 12"
without the rain
gutter

10'

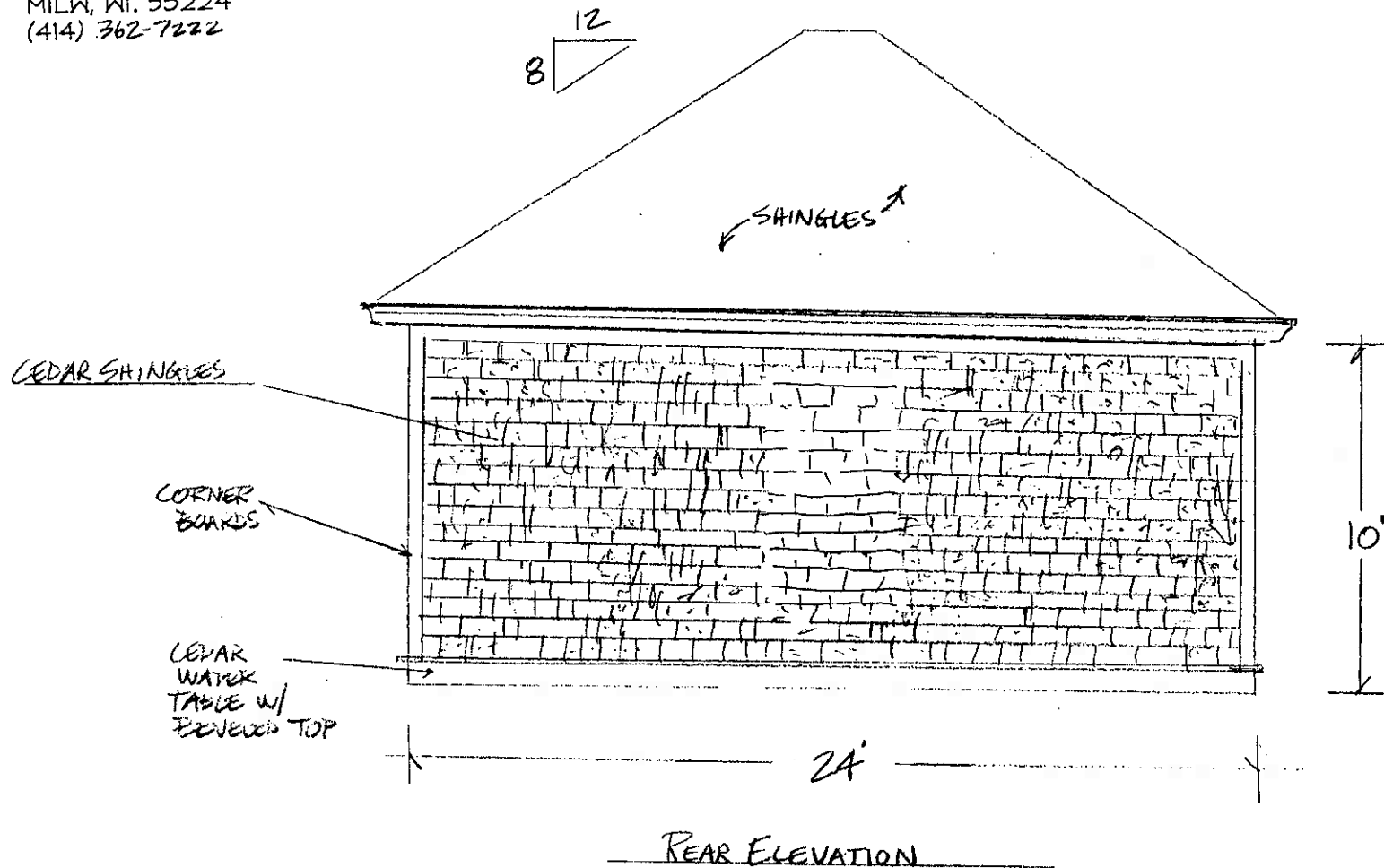
24'

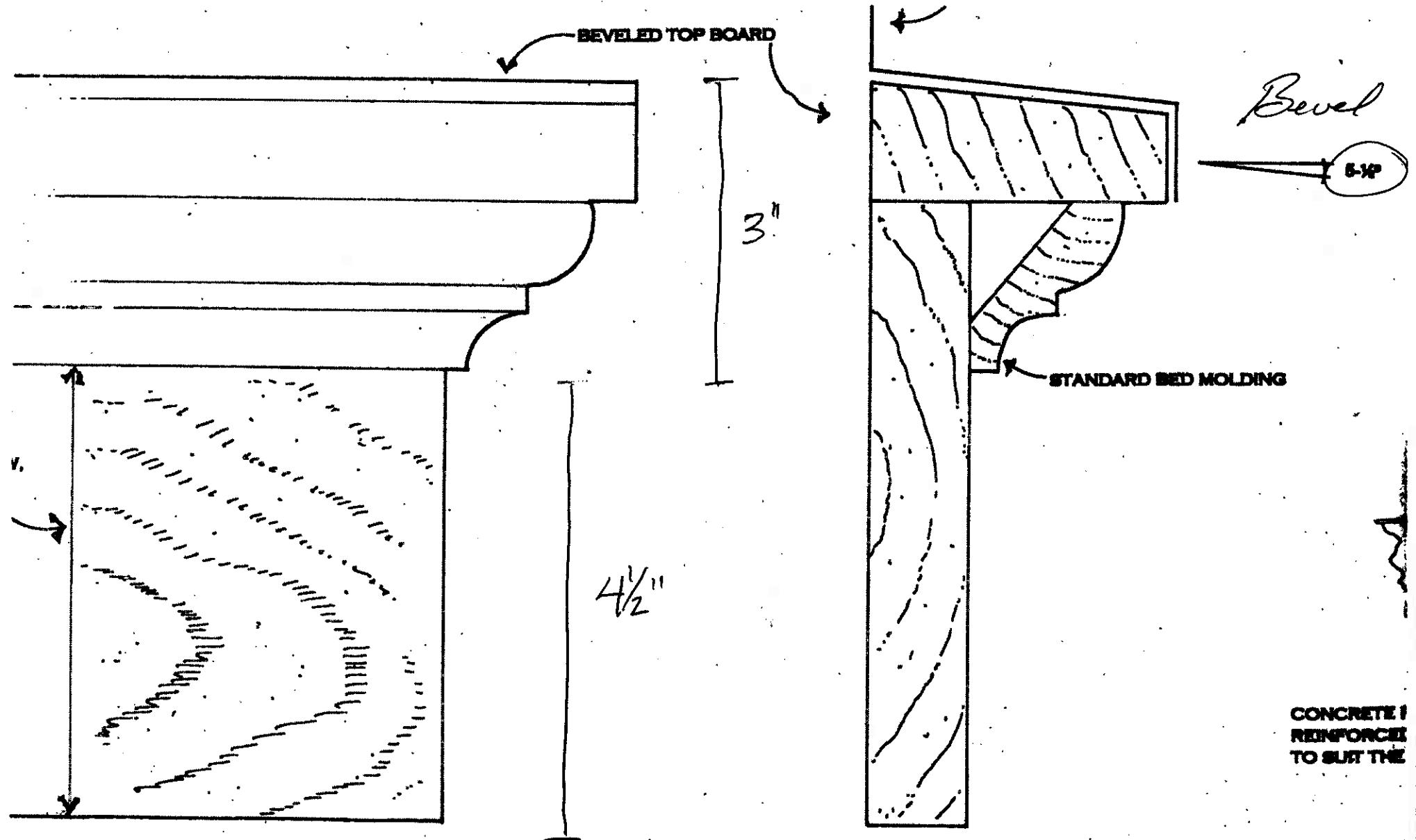
FRONT ELEVATION

J.D. Griffiths

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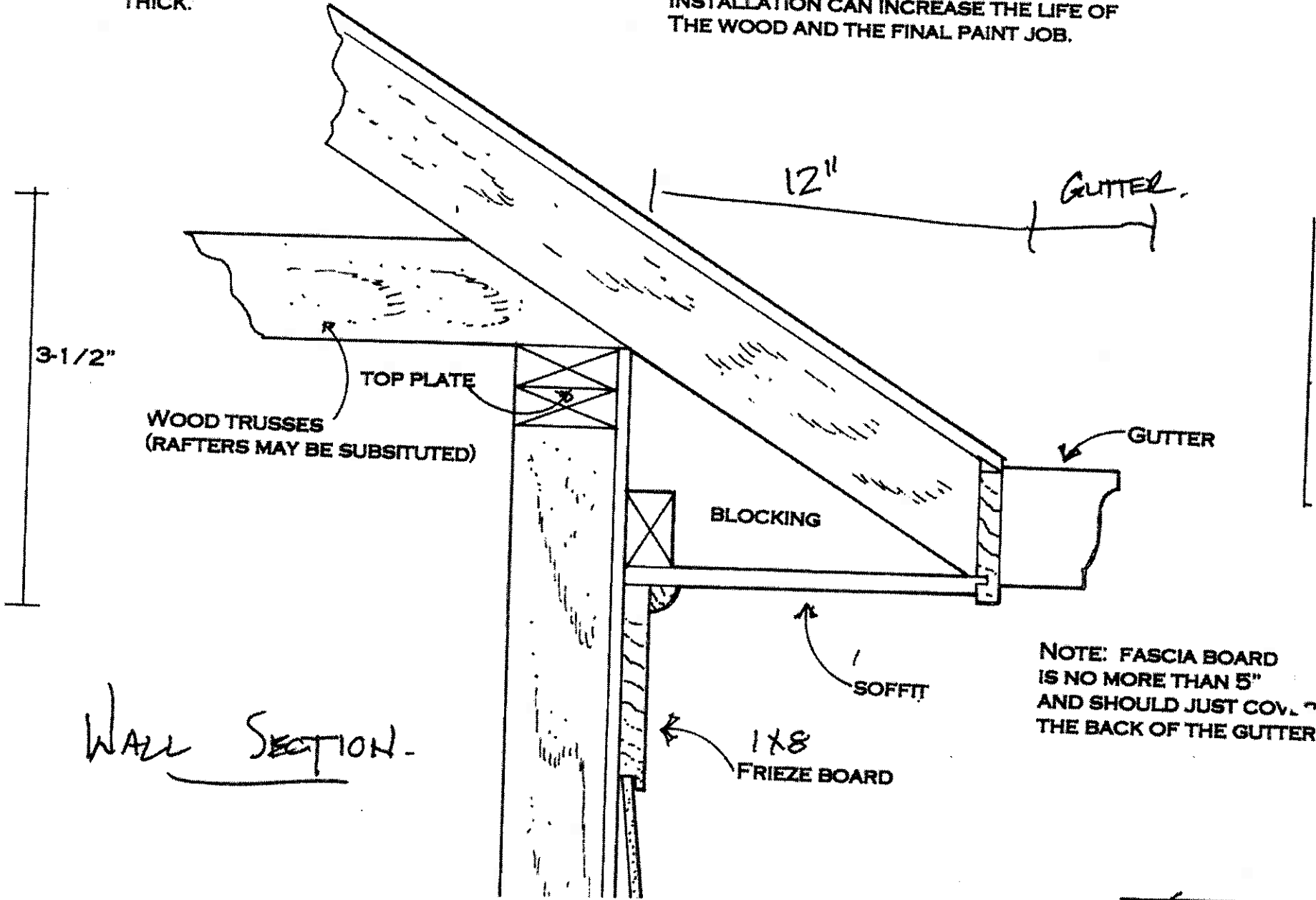




Tops Above Windows & Doors

THE CORNER BOARDS, FRIEZE BOARDS, AND RAKING CORNICE BOARDS ARE ALL 5/4" THICK.

APPLIED TO IT IS LIKELY TO BE DECREASED. PRIMING AND PAINTING WOOD PRIOR TO INSTALLATION CAN INCREASE THE LIFE OF THE WOOD AND THE FINAL PAINT JOB.

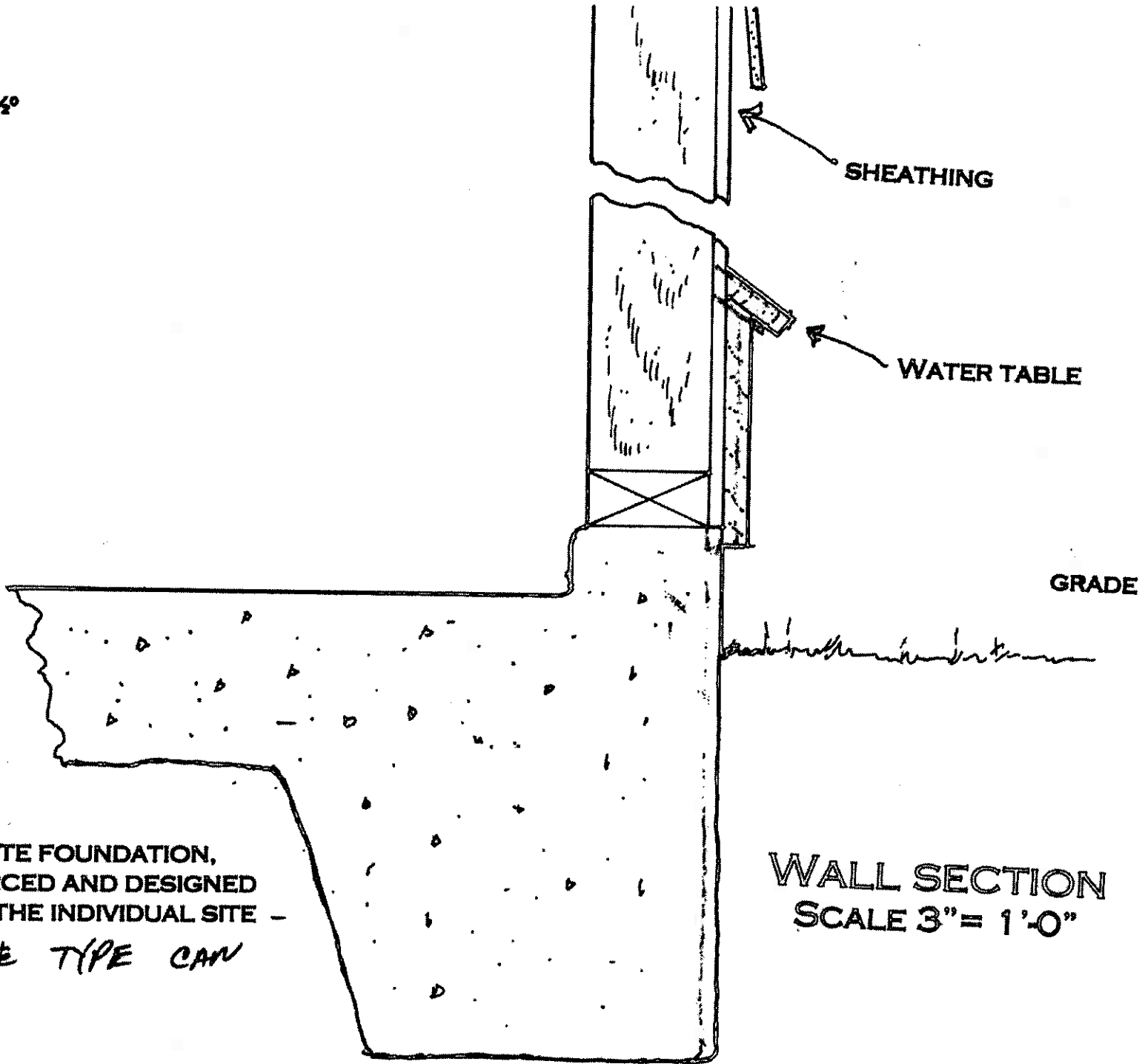


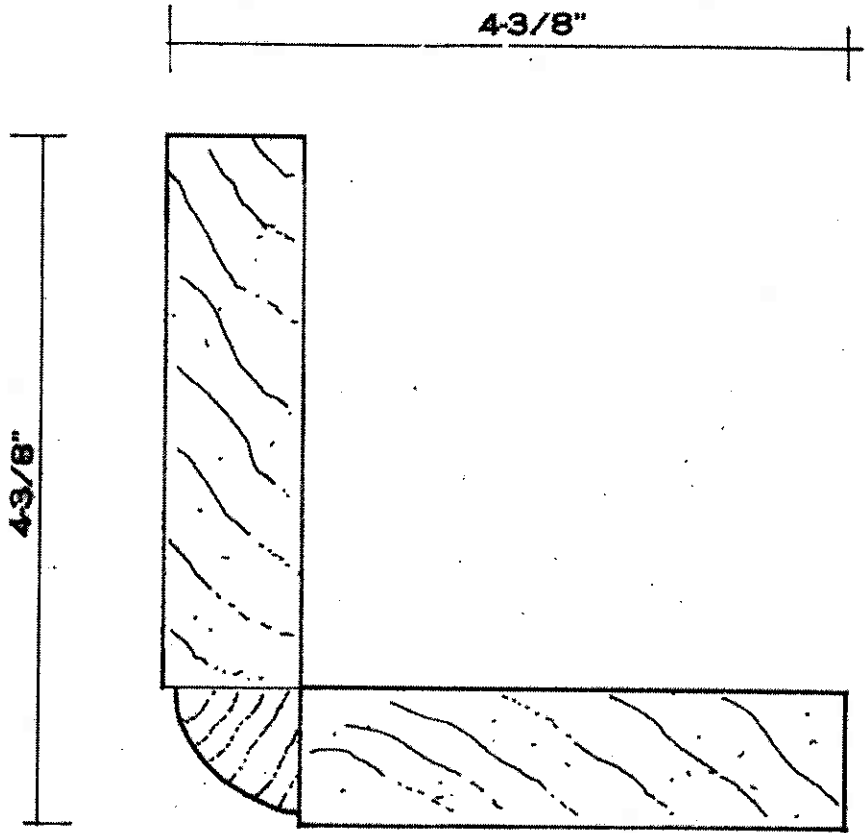
WALL SECTION.

NOTE: FASCIA BOARD IS NO MORE THAN 5" AND SHOULD JUST COVER THE BACK OF THE GUTTER

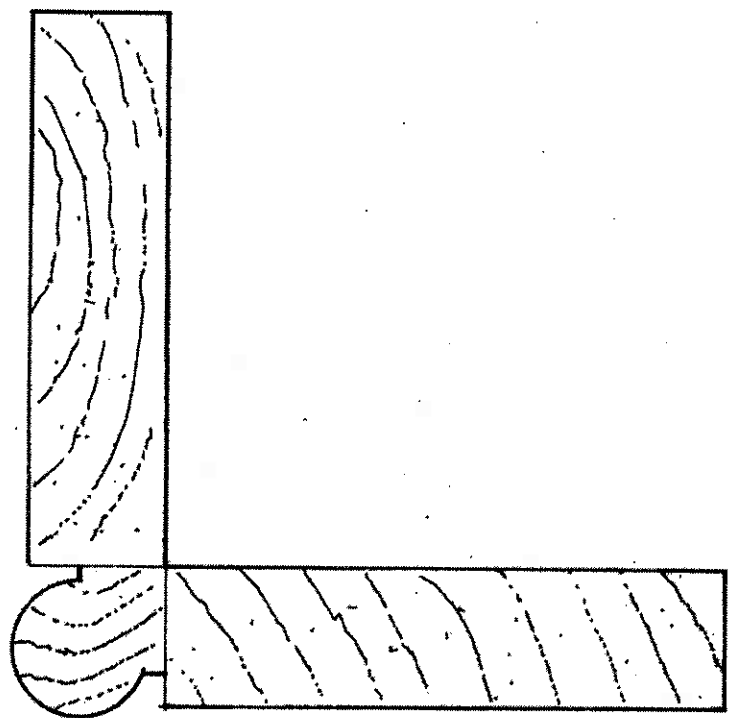
5-1/2°

VG



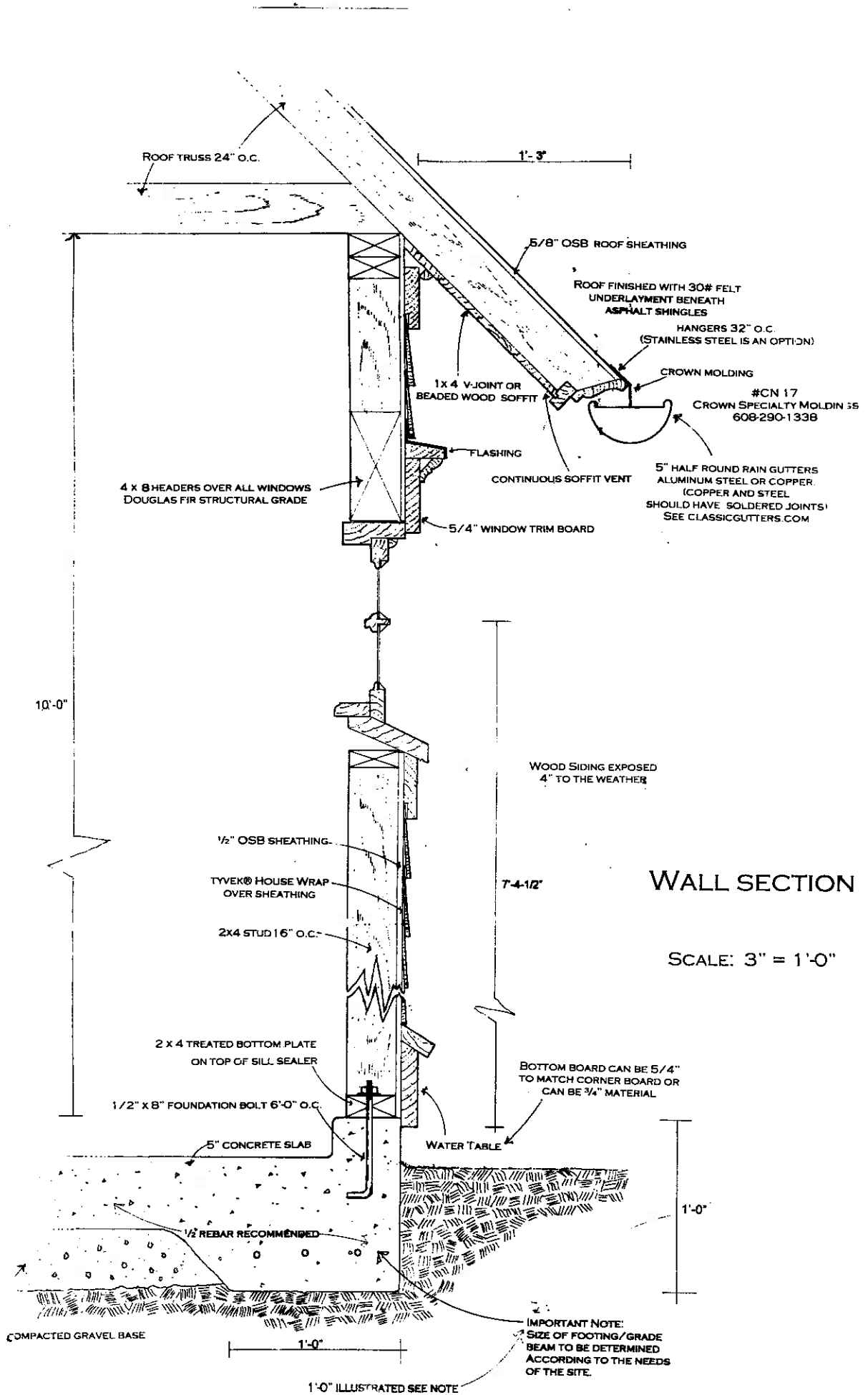


OPTION A
QUARTER ROUND



OPTION B
TRADITIONAL

CORNER BOARD
DETAILS -
Choose (1)



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Property 2219 N. LAKE DR. Mike and Rebecca Mackintosh, owners
Description of work Rebuild rear porch and roof.
Date issued 7/3/2008

PTS ID 51566 Rear Porch Rebuild

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings. All finish wood will be clear and free of knots. No windows or doors will be changed or altered. Please note that research has shown that when new, bare wood is left exposed to the elements for a period of even a week or two, the life of the paint job applied to it will be decreased.

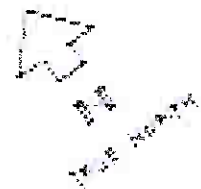
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Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Contractor Don Gavic, Inspector Jim Friedrichs (286-5982)

B PLAN
SCALE 1/4" = 1'-0"



ADDED HEIGHT

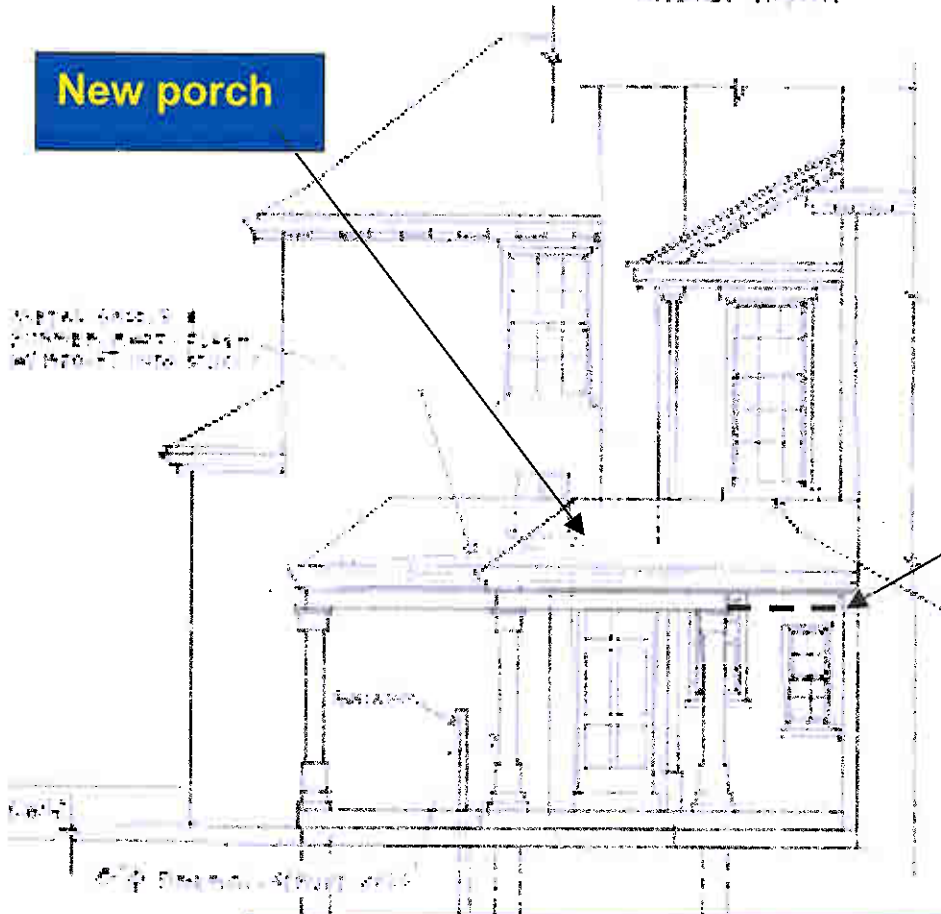
New porch

Note: frieze must be continuous

VERTICAL AND HORIZONTAL DIMENSIONS TO BE SHOWN ON ALL ELEVATIONS

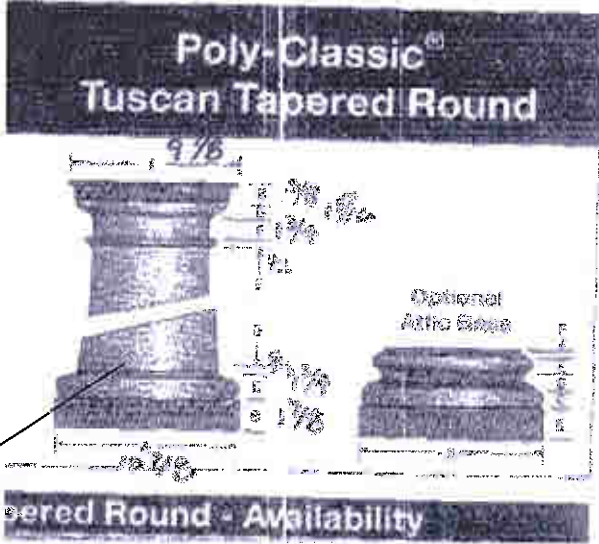
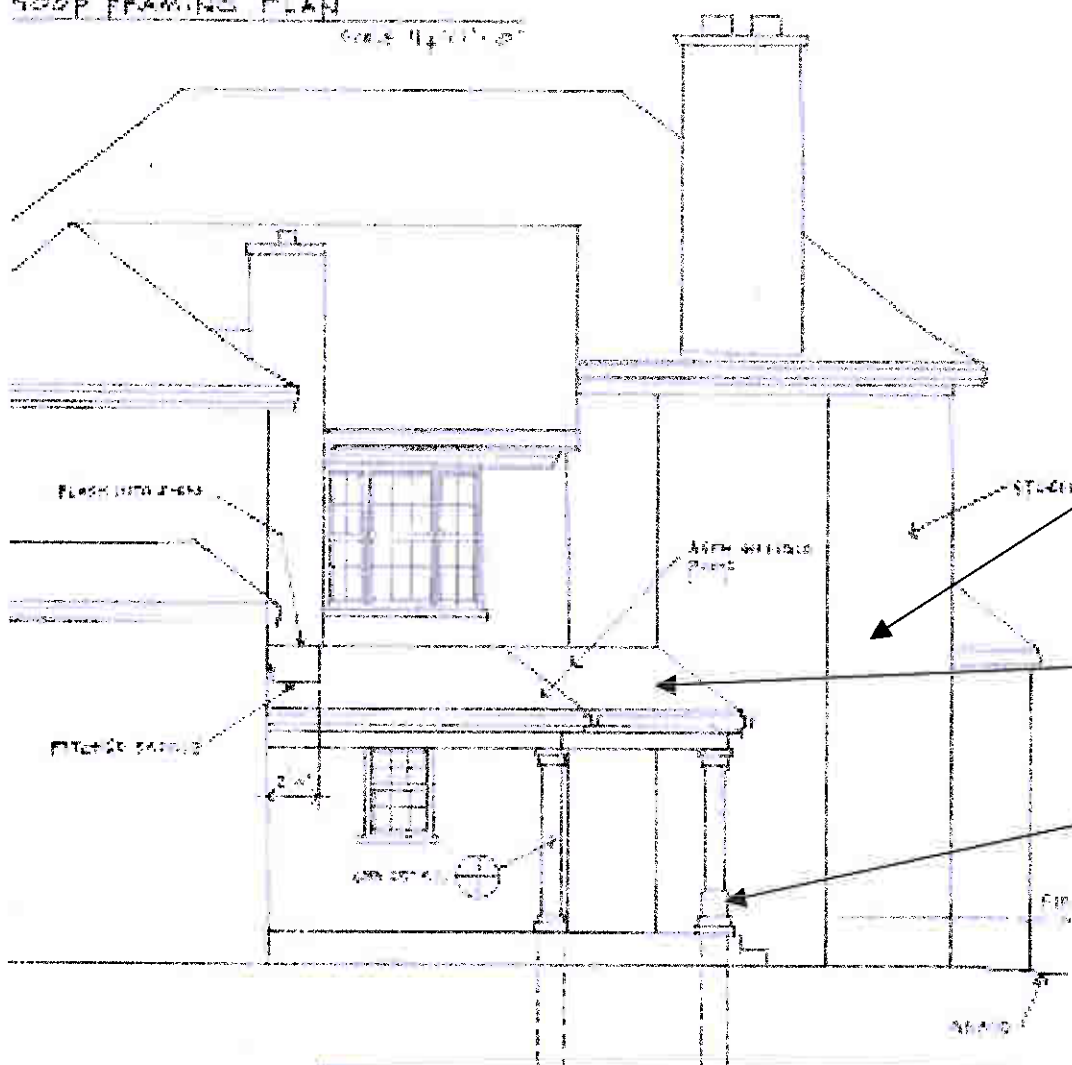
VERTICAL AND HORIZONTAL DIMENSIONS TO BE SHOWN ON ALL ELEVATIONS

South Elevation



NOOP FRAMING PLAN

SCALE 1/4" = 1'-0"



West Elevation

New rear porch. Trim to be clear wood and painted.

Note: See detail for exact form and type of column.