

Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

Property 2102 N. 2nd St.
Description of work General Exterior Repairs; Remove Substitute Siding; New Wood Windows;
 New Two Car Garage Slab

Date issued 2/2/2007 **PTS ID** 34668 COA-General Exterior Repairs

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff.

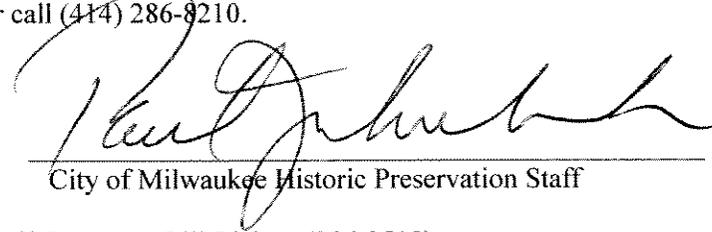
Replace lower front porch guardrails. Replace front porch steps & handrails. Rebuild the upper rear porch. Replace upper front porch railing. Seal downspouts to receivers, patch or replace gutters and downspouts on house as needed. Remove existing substitute siding and restore original wood, siding and trim beneath. **Following removal of substitute siding owner must contact HPC staff to determine the extent of missing trim and determine how it should be replaced.** Reopen historic piano windows on south elevation of first floor. Replacement windows if required shall be the same size and configuration of the existing windows. Replacement units must have thick sills (1-3/4") that are extended to accommodate a flat board, 5/4" thick trim that will match the width of the original trim boards, vinyl or aluminum clad windows are **not** allowed.

All finish wood must be smooth and free from knots and sapwood. All wood must be painted as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased. Seal around chimney to stop water leakage tuckpoint as needed. New mortar must match old in terms of color, texture and joint finish. Please note that mortar, which is too hard, is prone to premature failure. See "Good for Business" masonry chapter for a detailed explanation. No trim or other fixtures may be removed. Install a new two-car garage slab that must be in line with the side of the house or in back of it.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued.

Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows:
Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@mkedcd.org.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.



City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael McGee, Contractor Hamid Sarlati-NIDC Staff, Inspector Bill Richter (286-2518)

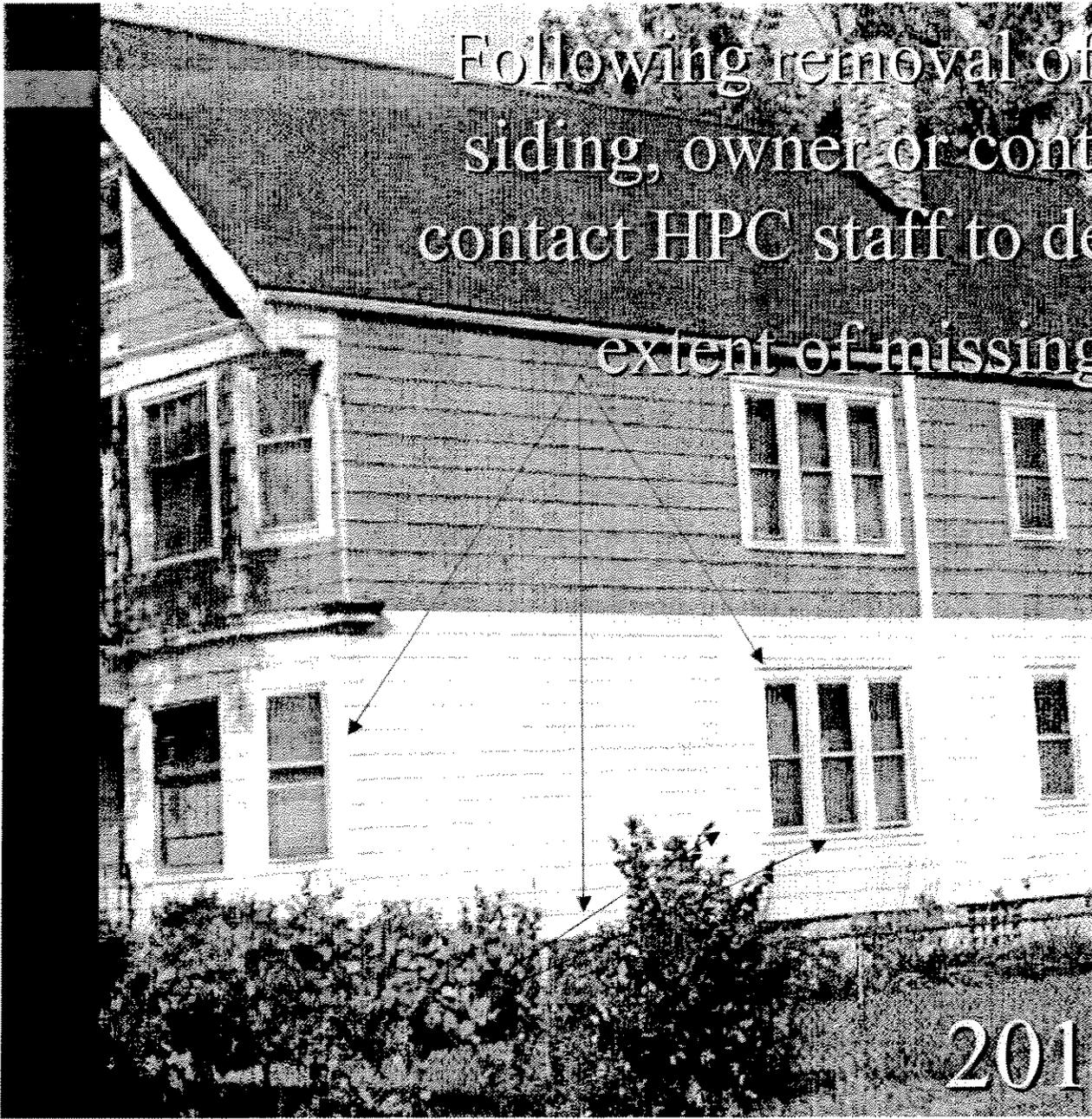
Remove existing substitute siding
and restore original wood siding
and trim beneath.

New wood
railings on
porches

Reopen historic
piano winds

2012 N. 2nd





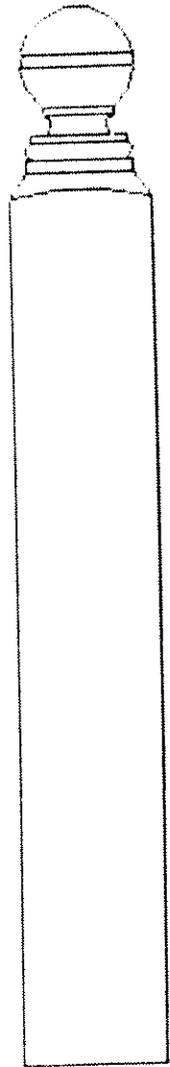
Following removal of substitute siding, owner or contractor will contact HPC staff to determine the extent of missing trim.

2012 N. 2nd



Windows:

Replacement units must have thick sills (1-3/4") that are extended to accommodate a flat board, 5/4" thick trim that will match the width of the original trim boards (new window unit shown here)



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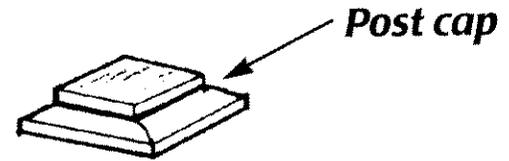
Newel Post Design

NEWEL POSTS FOR FRONT PORCH MAY BE EITHER THE SOLID TYPE SHOWN AT LEFT OR THE BUILT-UP BOX POST SHOWN AT RIGHT.

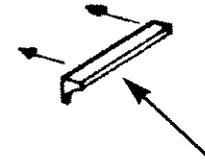
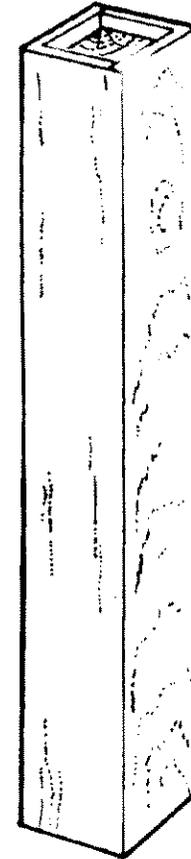
SOLID POSTS ARE 5-1/2" SQUARE AT THE BASE. THEY ARE AVAILABLE FROM WWW.CINDERWHIT.COM

SUBSTITUTIONS FOR THE SOLID POST MAY BE PERMITTED, BUT MUST FIRST BE APPROVED BY HPC STAFF. BOX POST MUST BE CONSTRUCTED EXACTLY AS SHOWN.

7-1/2"



Post cap



Corner molding

Newel post

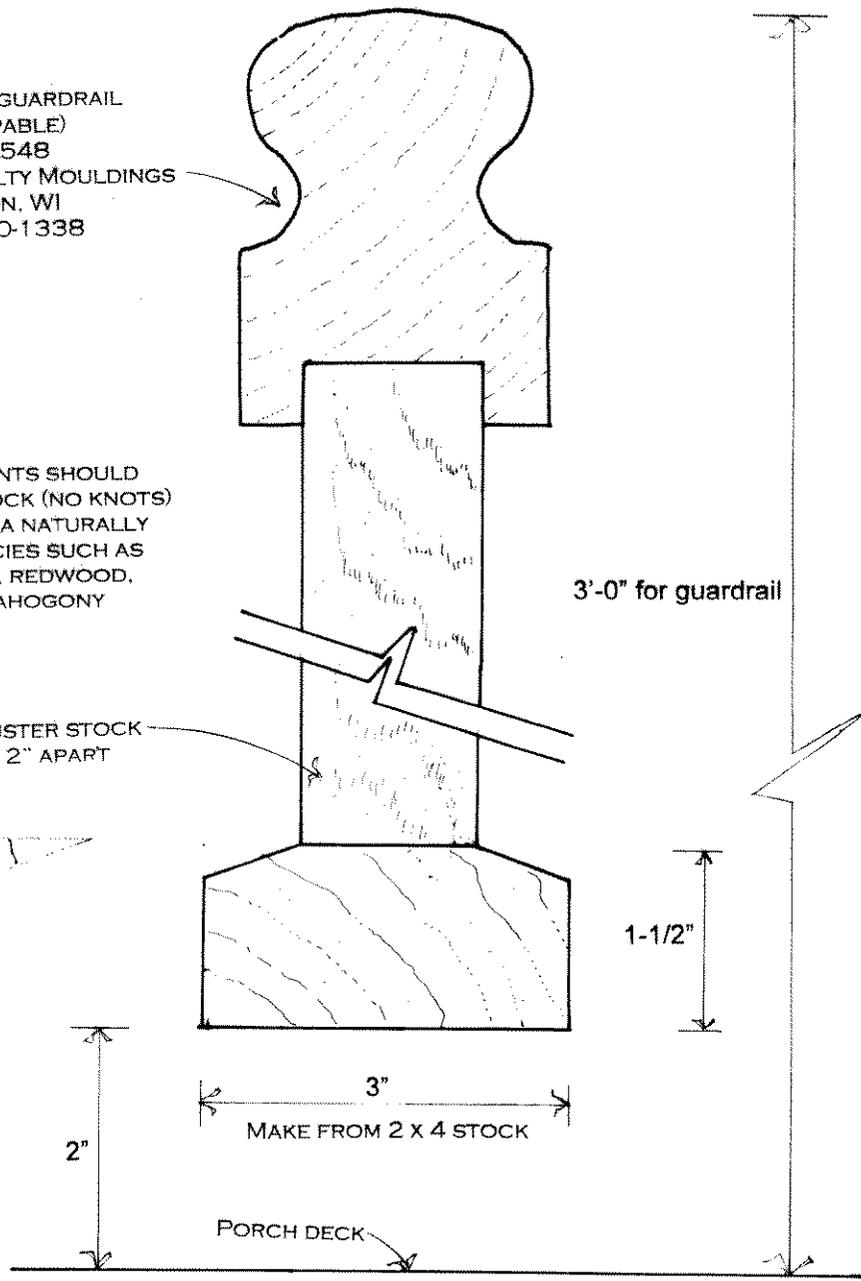
5"

HANDRAIL/GUARDRAIL
(GRASPABLE)
#HR 548
CROWN SPECIALTY MOULDINGS
MILTON, WI
608-290-1338

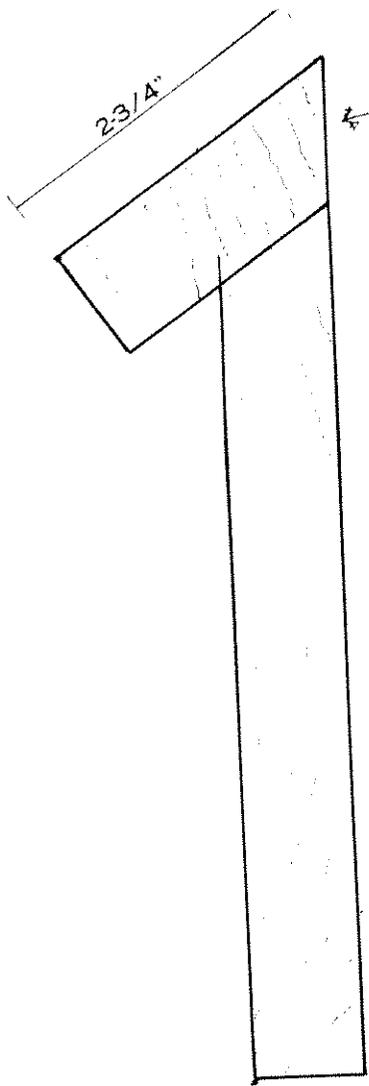
ALL RAILING COMPONENTS SHOULD
BE MADE FROM CLEAR STOCK (NO KNOTS)
AND PREFERABLY FROM A NATURALLY
DECAY-RESISTANT SPECIES SUCH AS
RED CEDAR, CYPRESS, REDWOOD,
SPANISH CEDAR, MAHOGONY

2 x 2 BALUSTER STOCK
SPACED 2" APART

20° bevel

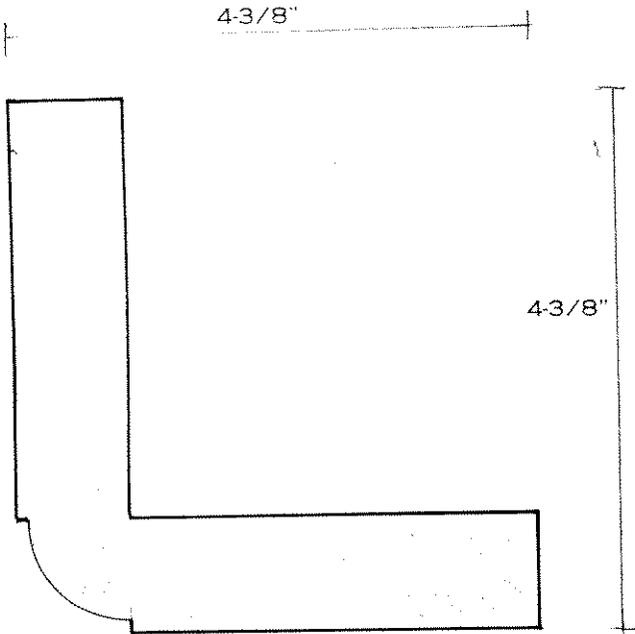


HANDRAIL/GUARDRAIL SECTION
FULL SIZE

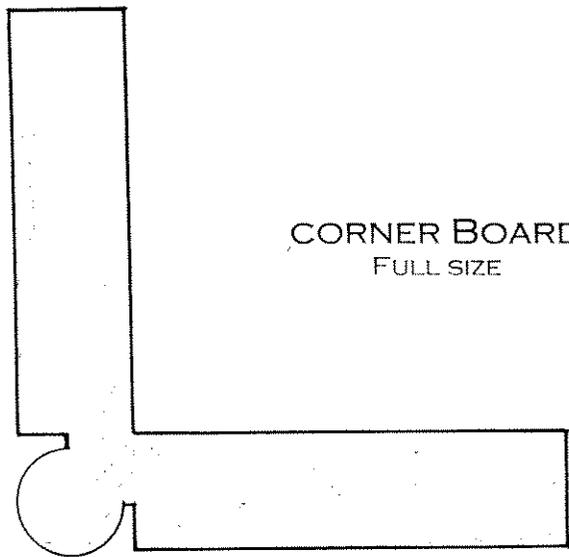


NOTE: 13/16" OR 3/4" MATERIAL
MAY BE USED FOR ANGLED BOARD

WATER TABLE
AT TOP OF FOUNDATION



OPTION A
QUARTER ROUND



CORNER BOARD:
FULL SIZE

OPTION B
TRADITIONAL

N. 2nd Street

New 2-
car
garage
slab here

Slab for
garage must
be in line with
the side of the
house or in
back of it.

House
2012 N. 2nd St.



north

W. Lloyd Street