



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

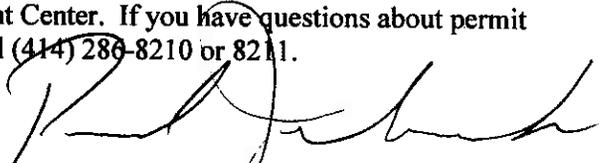
Property 2026 N. 1ST ST.
Description of work Rebuild lower portion of brick front porch. All work to reuse existing brick and copy original mortar joint width, texture finish and color.
Date issued 5/29/2009 PTS ID 59094 COA, rebuild front brick porch

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photos. Original brick will be salvaged and reused. Mortar must match original in terms of joint width, texture, finish and hardness. Porch must be built to exact same design and design as original.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

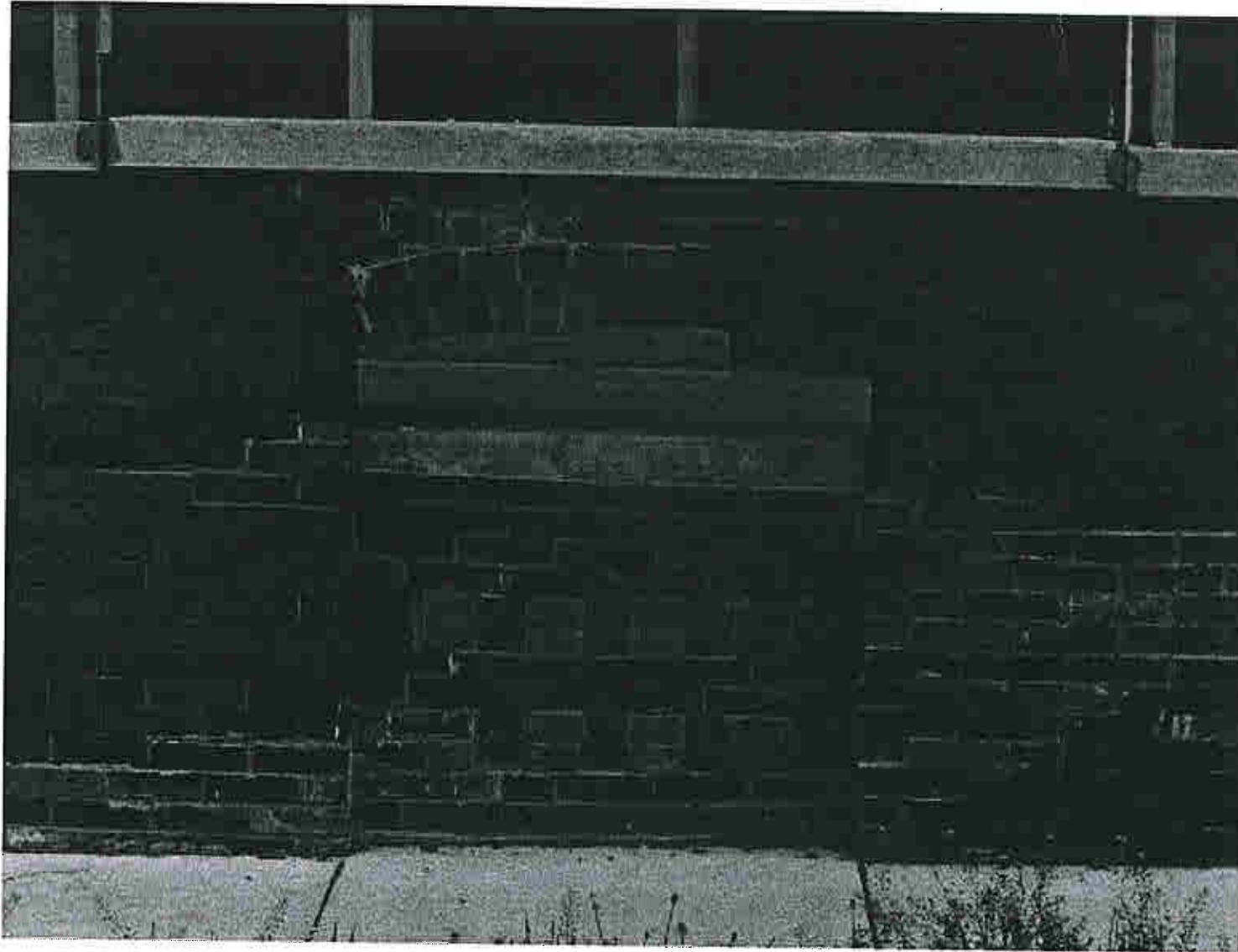


Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Milele Coggs, Inspector Bill Richter (286-2518)



Portions of the brick front porch walls will be rebuilt using original mortar color texture, joint width and finish. Any new brick must match original in terms of color, texture and size. Use of new brick will be minimized because original brick on house will salvaged and reused.



This portion of porch to be rebuilt. Using salvaged brick form porch. Design must match original. All mortar must match original in terms of texture, color, joint width and joint finish.



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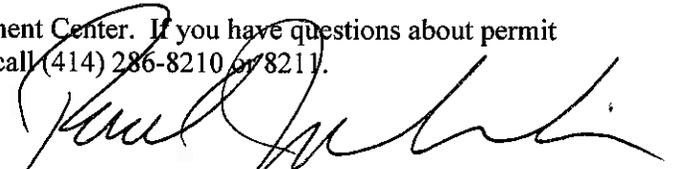
Property 2026 N. 1ST ST.
Description of work Build new wood railings and guardrails on side stairway of rear house.
Date issued 11/24/2008 PTS ID 55313 COA, rear house guard rail on side porch

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Railings will match exactly the wood balusters and bread loaf style railings used on the front porch of the front house. Wood will be painted to protect it from the weather. Please note that research has shown that when new, bare wood is left exposed to the elements for a period of only a week or two, the life of the paint job applied to it will be decreased.

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 City of Milwaukee Historic Preservation Staff

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Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2026 N. 1ST ST.

Description of work Repair to south side bay window trim on front of house. Paint to match, with all finish wood to be smooth and free from knots and sapwood.

Date issued 7/24/2007 PTS ID 44355 COA - Bay Window Repair

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff. Repair south side bay window trim on front of house. Paint to match. All finish wood must be smooth and free from knots and sapwood. All wood must be painted or stained as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased.

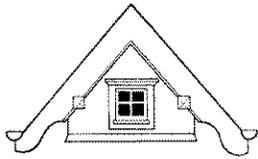
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B.D. Hibray

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Milele Coggs, Radovan Stojanovich, Inspector Bill Richter (286-2518)



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

Property

2026 N. 1ST ST. (two houses on one lot)

Description of work

Front House: Rebuild wood porch guardrails on side porch facing south. Repair defective trim boards on side porch. Repair defective rain gutters and trim boards on first floor of front porch. Replace broken basement windows panes and replace missing glazing compound as needed.

Rear House: remove mortar stains from brick on alley side. Replace missing mortar and defective bricks in foundation wall as needed (spot repair only)

Date issued

4/4/2007

PTS ID 41679 COA, code violation repairs

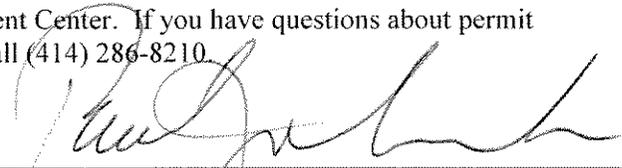
In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All tuck pointing in foundation must be done so that the new mortar matches the old exactly in terms of hardness, color, texture and joint finish. Please note that mortar is too hard will fail prematurely (see masonry chapters in As Good as New and Good for Business). All tuck-pointing must be done in a neat, workmanlike manner. All mortar stains or smears must be removed.

Side porch guardrail will be constructed according to attached drawings and will be made from clear wood (No knots or sapwood) all wood must be painted upon installation. Please note that research has shown that when new bare wood is exposed to the elements for a period of only week or two, the life of the paint job applied to it will likely be decreased.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-5712 E-mail: pjakub@milwaukee.gov.

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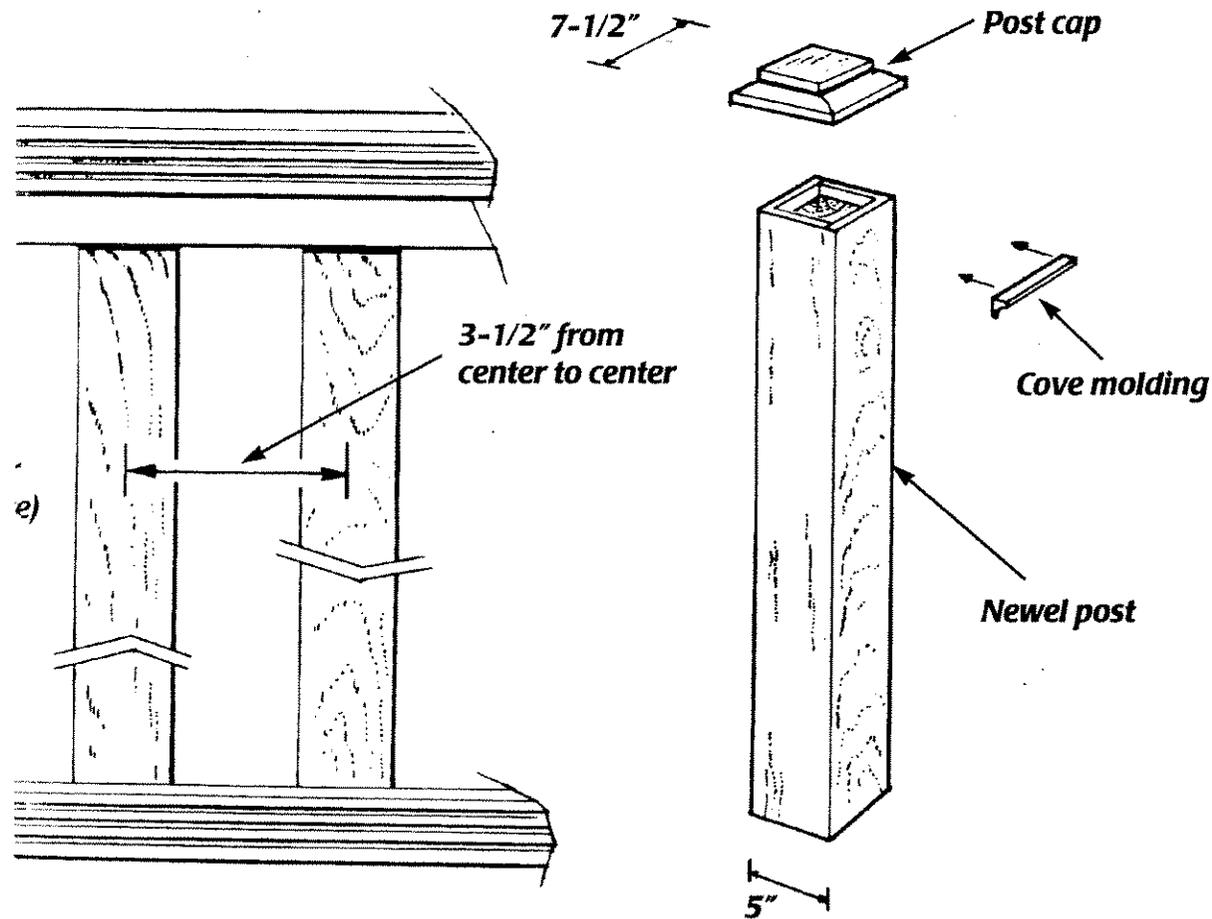


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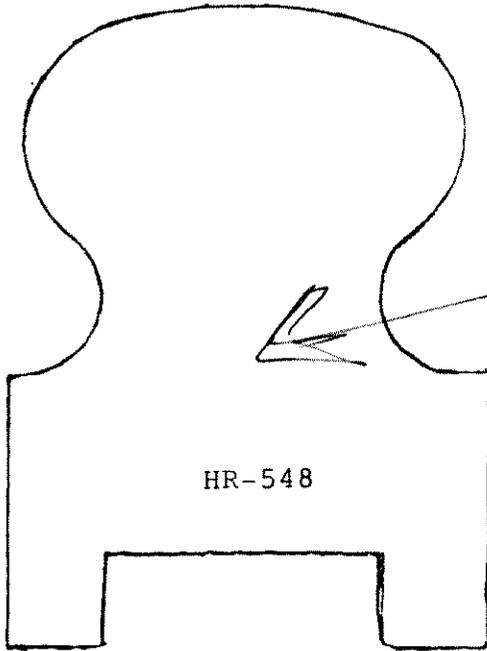
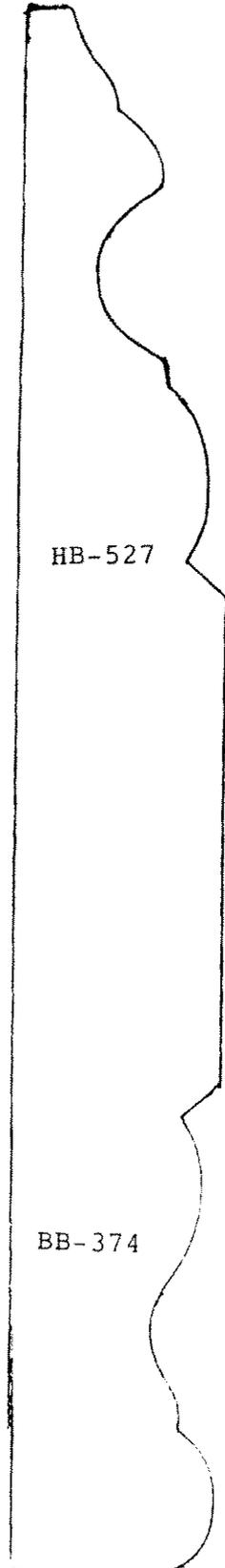
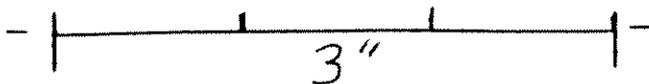
c Railing and Newel Post Design



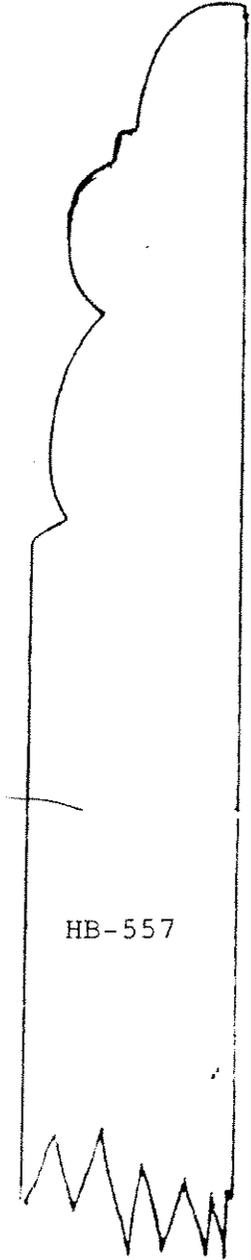
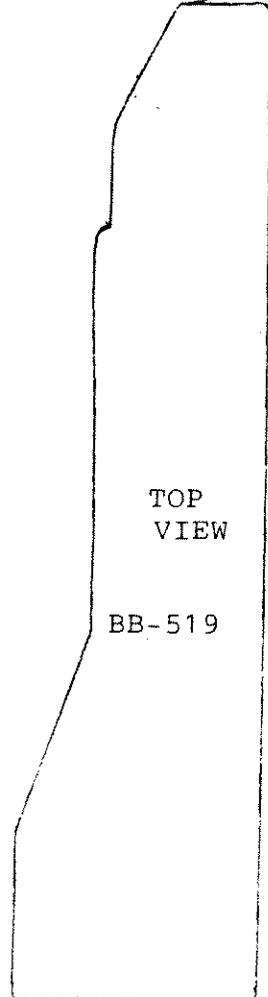
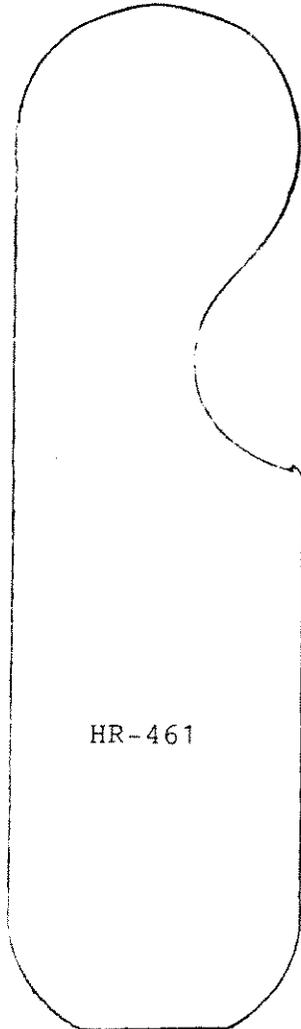
Handrail and newel post designs is literally endless. The above design is for many houses built before 1940 and would be approved by the Building Commission for most homes.



PROFILES SHOWN ACTUAL SIZE,
ALTHOUGH MOST MAY BE VARIED
TO MATCH YOUR SPECS.



APPROXED
PREAD
LOAF
STYLE
HANDRAIL

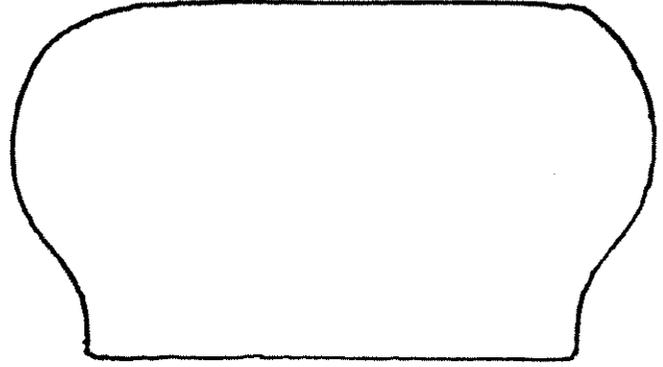


ARTICLES SHOWN NOTED ELSEWHERE, ALTHOUGH MOST MAY BE VARIED TO MATCH YOUR SPECS.

CROWN MOULDINGS CO.

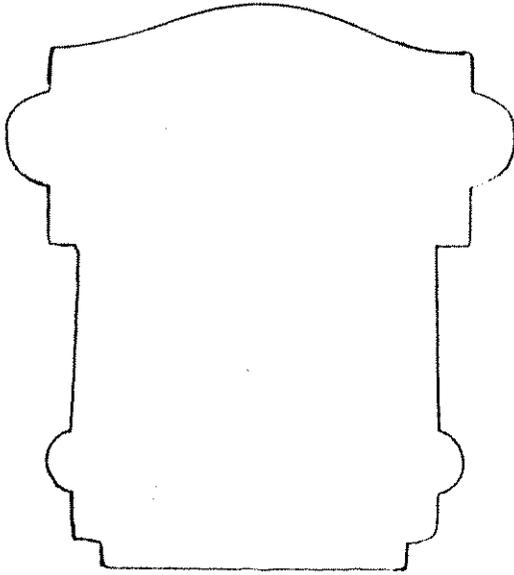


HR 440

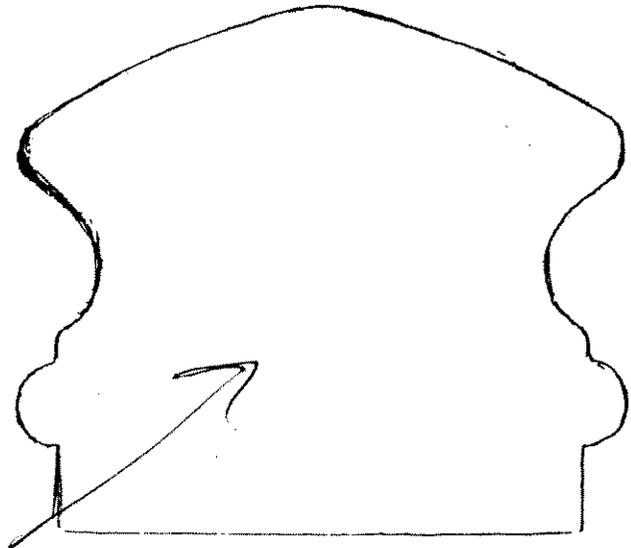


HR 441

608.290.1338



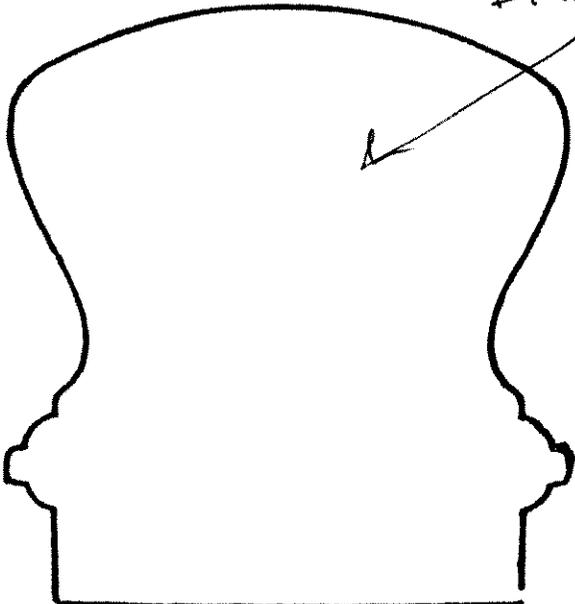
HR 442



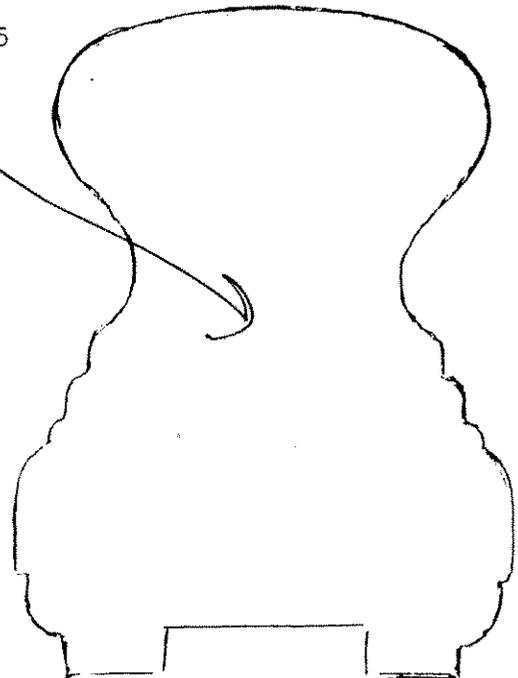
HR 443

HR 444

APPROVED
BREAD LOAF
STYLE
TOP
RAILS

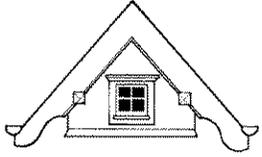


HR 445



D-9

2"



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Property 2026 N. 1ST ST.
Description of work Install new wood combination storm/screen windows.
Date issued 10/9/2006 PTS ID 37975 COA - Window replacement

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Storm/screen windows shall be the same size and configuration of the existing windows. No trim or other fixtures may be removed. Clad or vinyl windows are not permitted. All finish wood must be smooth and free from knots and sapwood. All wood must be painted as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-5712 E-mail: pjakub@mkedcd.org.

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