



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2018 N. 2ND ST.
Description of work Build 2-car frame garage at rear of property next to alley. Garage will follow typical setback from alley of 4 feet.
Date issued 5/18/2009

PTS ID 58608 COA, new 2 car frame garage

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings. All finish wood will be clear and free of knots. Garage will be painted upon completion. Please note that research has shown that when new, bare wood is exposed to the elements for period of only a week or so, the life of the paint job applied over it will be significantly decreased. Smooth cement board siding may be substituted for sidewall applications if desired. Other wise wood siding to be installed throughout. No vinyl vinyl-clad, aluminum or aluminum clad siding is permitted. Main, overhead door can be made of steel and painted and made to resemble a traditional sliding or swinging carriage barn door. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Milele Coggs, Contractor Brian Hollenbeck, Inspector Bill Richter (286-2518)

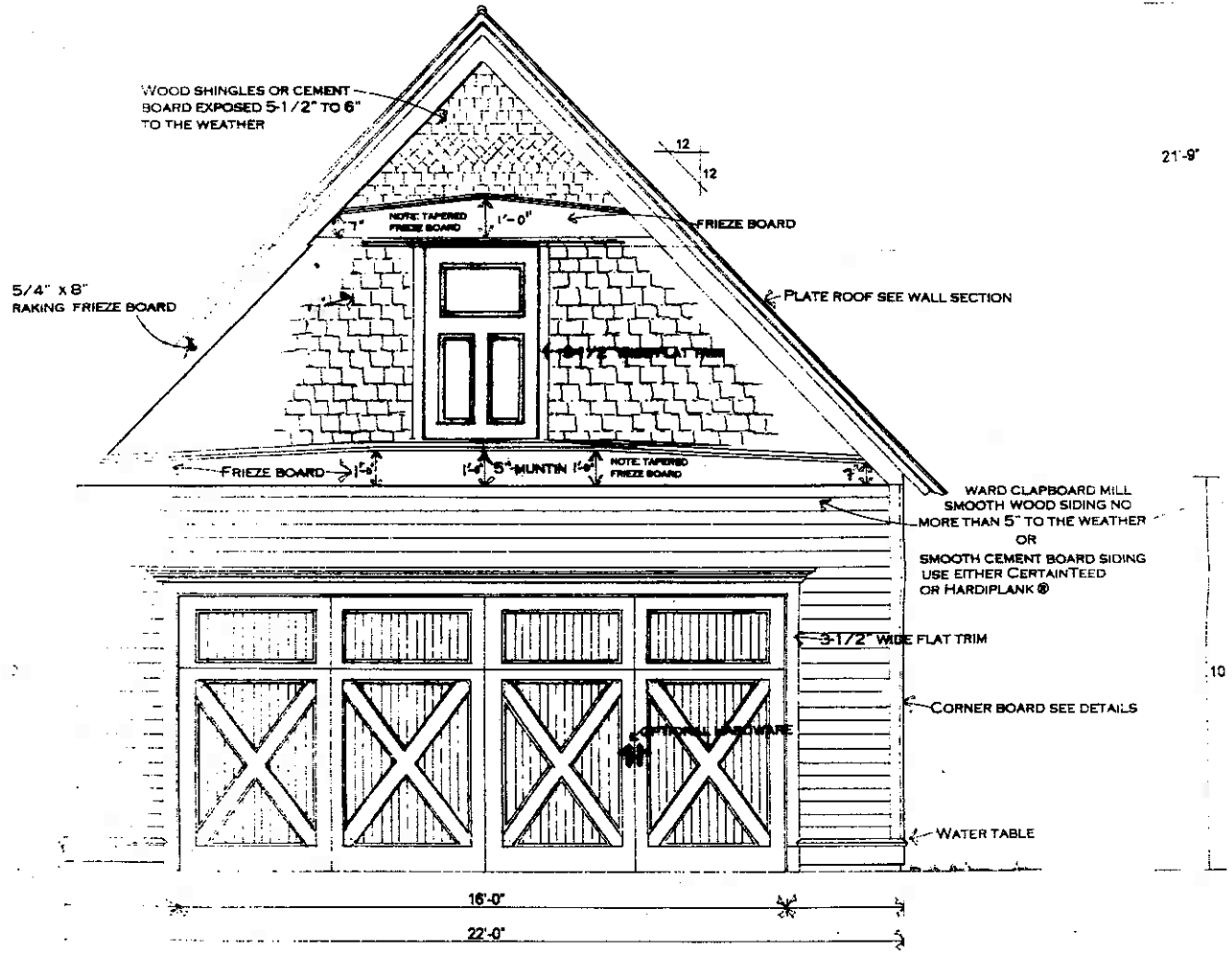
16'-0" x 7'-0"

C.H.I. OVERHEAD DOOR
CONTACT JIM ECKERT
ECKERT DOOR CO.
6510 W. STATE ST.
MILWAUKEE, WI 53213
(414) 453-9000

STYLE RECOMMENDED IS THE CARRIAGE HOUSE STYLE DOORS
WITHOUT WINDOWS AND STEEL IS RECOMMENDED INSTEAD OF
WOOD. DOOR HARDWARE AND HANDLES ARE OPTIONAL.
DRAWN IS THE 5400 DOOR AT A COST OF \$3000.00 INSTALLED
PRICE. THE 5216 DOOR STARTS AT \$1500.00 INSTALLED
PRICE.

NOTE: 8' TALL GARAGE DOOR AVAILABLE AT
SLIGHT UP CHARGE WILL ALLOW TALLER VEHICLES.

● ALL WINDOWS ARE NORCO PREMIUM
WITH THICK AZEK HISTORIC SILL AND
FLAT TRIM CORNER BOARDS



FRONT

ALL EXTERIOR TRIM TO BE MADE OF WOOD AND PAINT FROM THE WEATHER.

2018 N. 2nd St.

①

THE MILWAUKEE
INDEPENDENT
PORTLAND
CEMENT
PLANT
MILWAUKEE, WISCONSIN
53102-1000

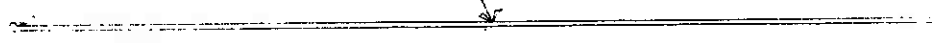
Walkers Main Garage

REPRODUCTION OF THIS
PERMISSION REQUIRED

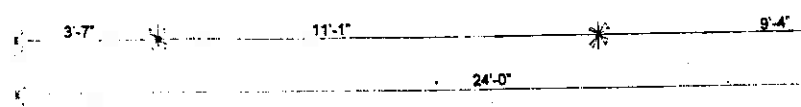
Elevation

Scale: 1/2" = 1'-0"

ROLLED RIDGE CAP CAN BE FOUND
AT W.F. NORMAN
WWW.WFNORMAN.COM
(800) 641-4038
OR INSTALL
CONTINUOUS RIDGE VENT



0'-0"



NOTED TO PROTECT IT

RIGHT

②

*ALL TRIM SHOULD BE CLEAR, SMOOTH WOOD THAT IS FREE OF SAPWOOD AND OF A NATURALLY DECAY RESISTANT SPECIES INCLUDING RED CEDAR, WHITE CEDAR, REDWOOD, CYPRESS, WHITE OAK AND MAHOGANY.

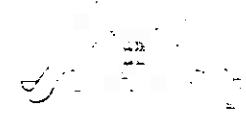
*IF PINE IS USED IT SHOULD BE CLEAR, SMOOTH EASTERN WHITE PINE, WHICH HAS MODERATE DECAY RESISTANCE. WESTERN PINES ARE NOT RECOMMENDED BECAUSE THEY ARE HIGHLY SUSCEPTIBLE TO EARLY DECAY IN AN OUTDOOR INSTALLATION.

*FLAT TRIM AROUND WINDOWS AND DOORS, THE CORNER BOARDS, FRIeze BOARDS, AND RAISING CORNICE BOARDS ARE ALL 5/4" THICK.

*PLEASE NOTE THAT QUARTER-SAWN WOOD WILL LAY FLATTER, HOLD PAINT BETTER AND GENERALLY LAST LONGER THAN PLAIN SAWN WOOD OF THE SAME SPECIES.

*RADIALLY SAWN (A TYPE OF QUARTER SAWN) EASTERN WHITE PINE OR SPRUCE CLAPBOARDS ARE RECOMMENDED.

*RESEARCH HAS SHOWN THAT WHEN NEW, BARE WOOD IS LEFT EXPOSED TO THE EXTERIOR ELEMENTS FOR A PERIOD ONLY A WEEK OR TWO, THE LIFE OF THE PAINT JOB APPLIED TO IT IS LIKELY TO BE DECREASED. PRIMING AND PAINTING WOOD PRIOR TO INSTALLATION CAN INCREASE THE LIFE OF THE WOOD AND THE FINAL PAINT JOB.



THE MILWAUKEE PRESERVATION PORTFOLIO

MILWAUKEE HISTORIC PRESERVATION BOARD
608 N. CHELSEA
MILWAUKEE, WI 53212
312-224-5108

Walkers Point Garage

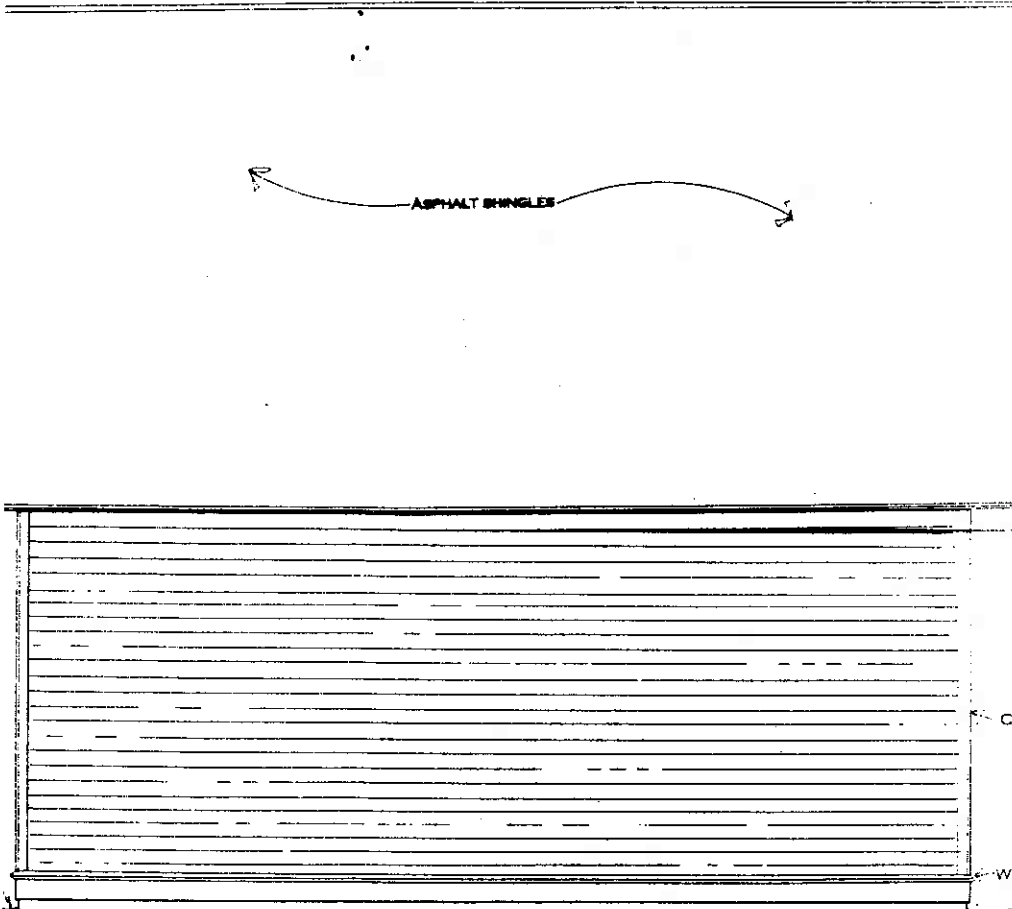
REPRODUCTION WITHOUT PERMISSION PROHIBITED

Elevation

Scale: 1/2" = 1'-0"

METAL RIDGE CAP OR CONTINUOUS RIDGE VENT

ASPHALT SHINGLES



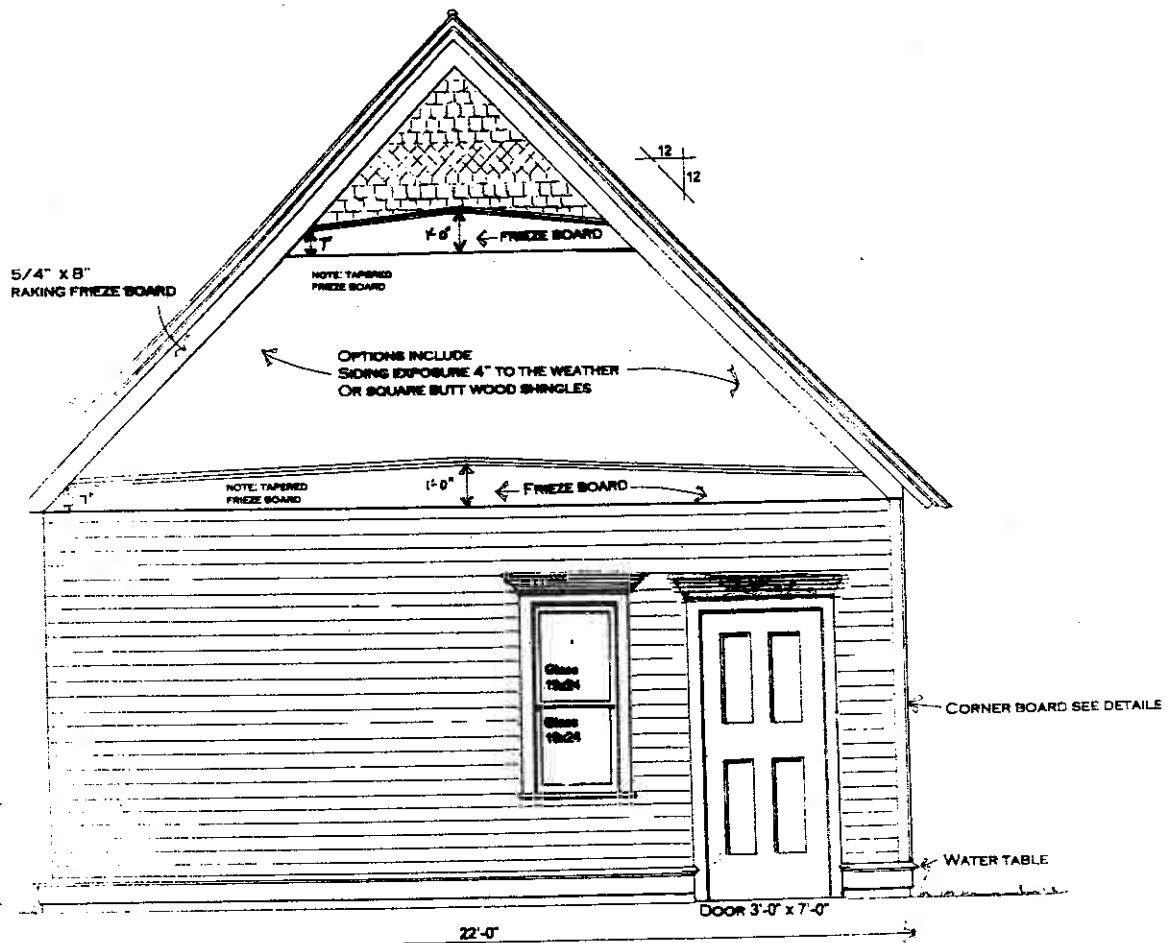
CORNER BOARD

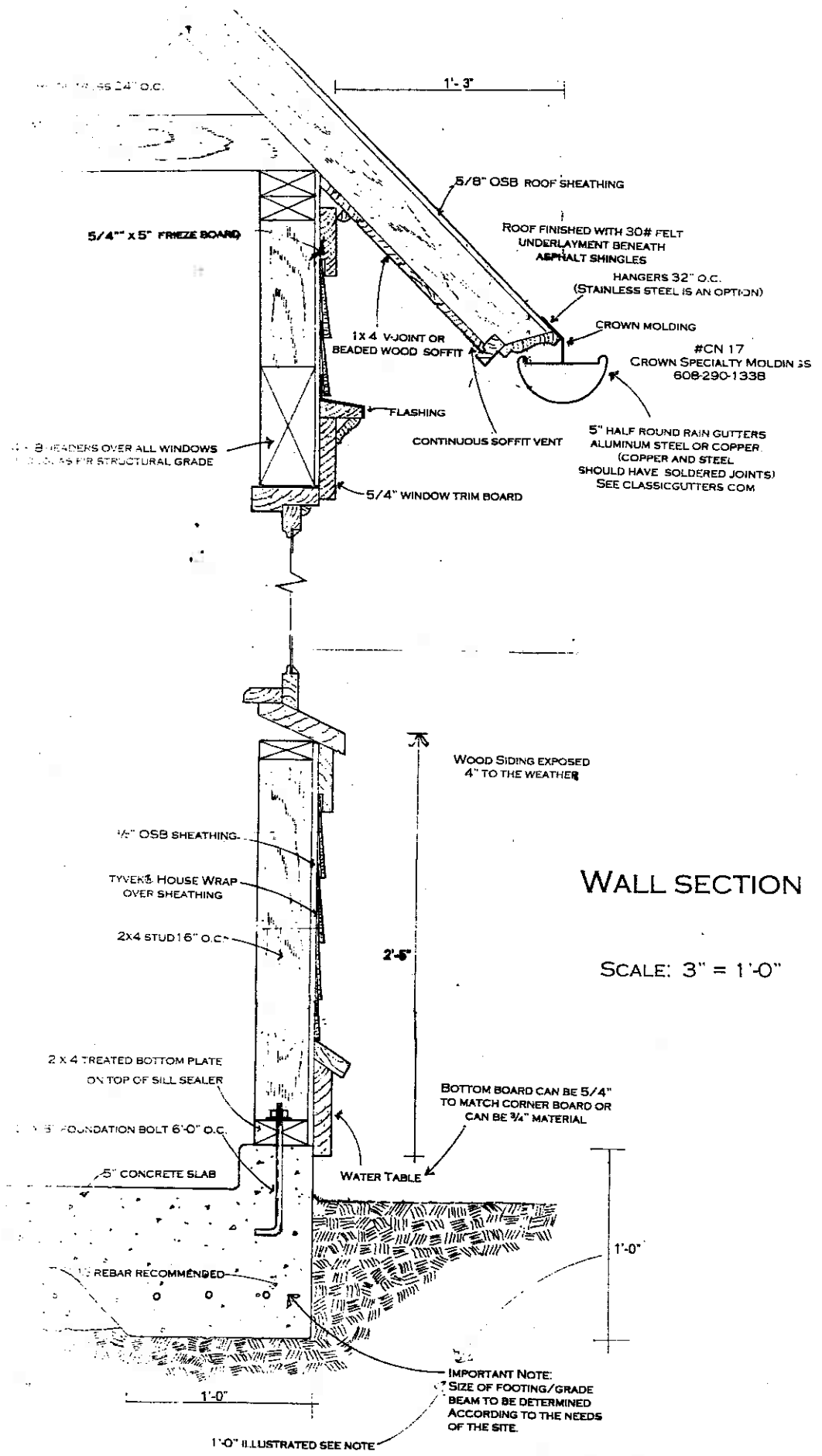
WATER TABLE

24'-0"

LEFT

3





WALL SECTION

SCALE: 3" = 1'-0"

WOOD SIDING EXPOSED
4" TO THE WEATHER

BOTTOM BOARD CAN BE 5/4"
TO MATCH CORNER BOARD OR
CAN BE 3/4" MATERIAL

IMPORTANT NOTE:
* SIZE OF FOOTING/GRADE
BEAM TO BE DETERMINED
ACCORDING TO THE NEEDS
OF THE SITE.

1'-0" ILLUSTRATED SEE NOTE

⑤

THE MILWAUKEE
 PRESERVATION
 PORTFOLIO

MILWAUKEE
 PRESERVATION
 333 N. DEARBORN
 MILWAUKEE, WI 53233
 414.224.2200

GROUND LEVEL PLAN

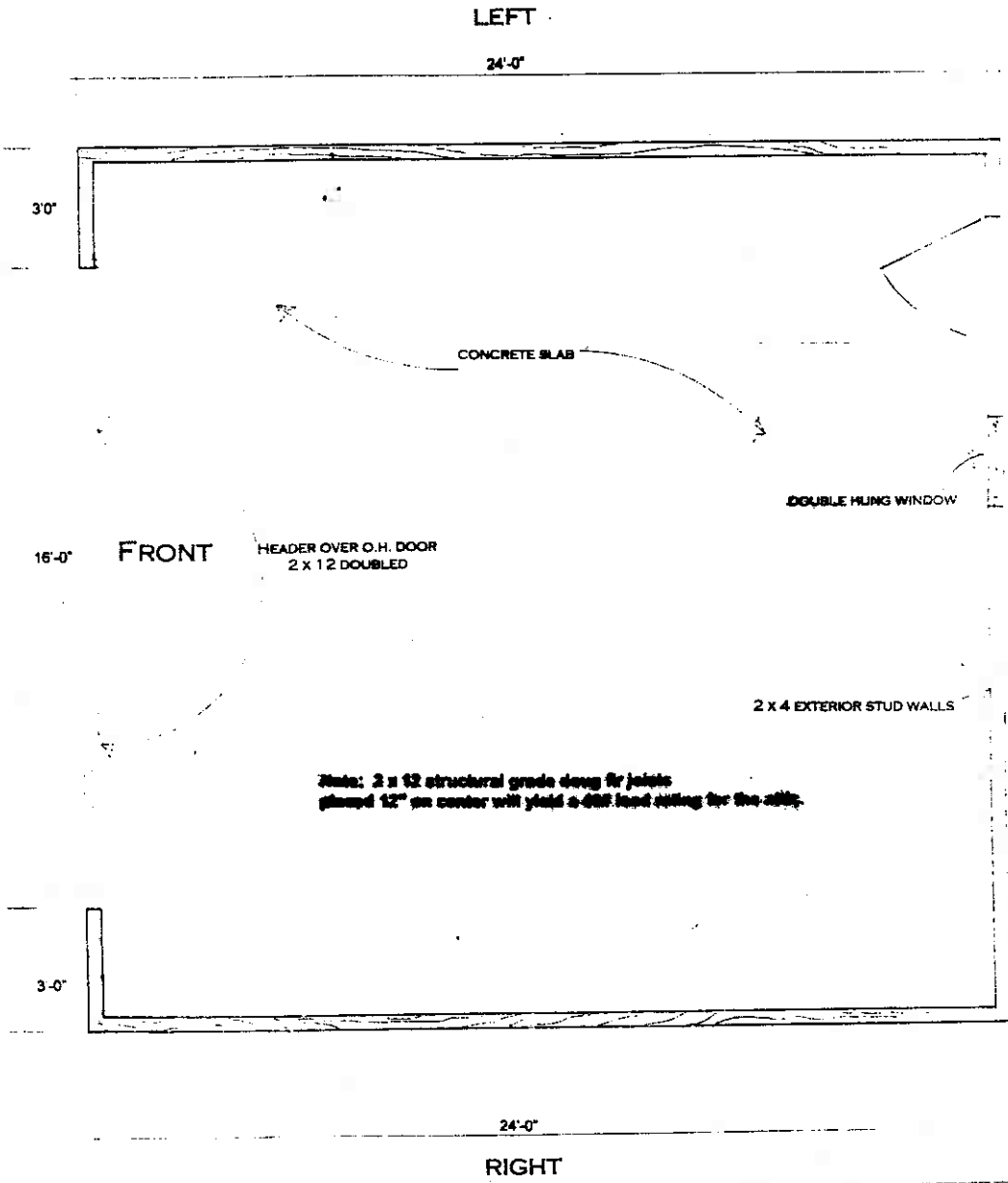
Scale: 1/2" = 1'-0"

**Walker Point
 Garage**

REPRODUCTION WITHOUT
 PERMISSION PROHIBITED

**Wall Section
 Ground Level Plan**

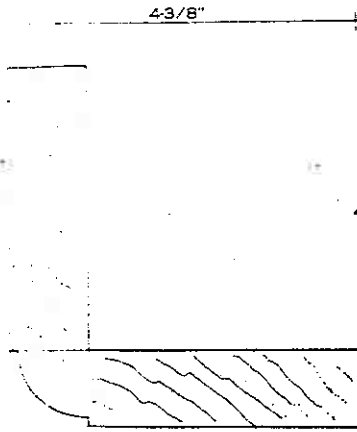
Scale: 3/8" = 1'-0"



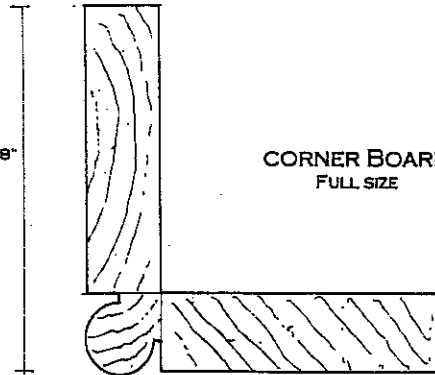
**Note: 2 x 12 structural grade along fr joints
 spaced 12" on center will yield a 400' load rating for the slab.**

6

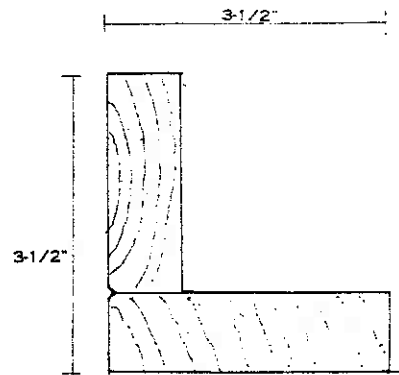
NOTE: OPTIONS A AND B
GENERALLY SPEED CONSTRUCTION
AND PRODUCE A BETTER FINISHED APPEARANCE



OPTION A
QUARTER ROUND

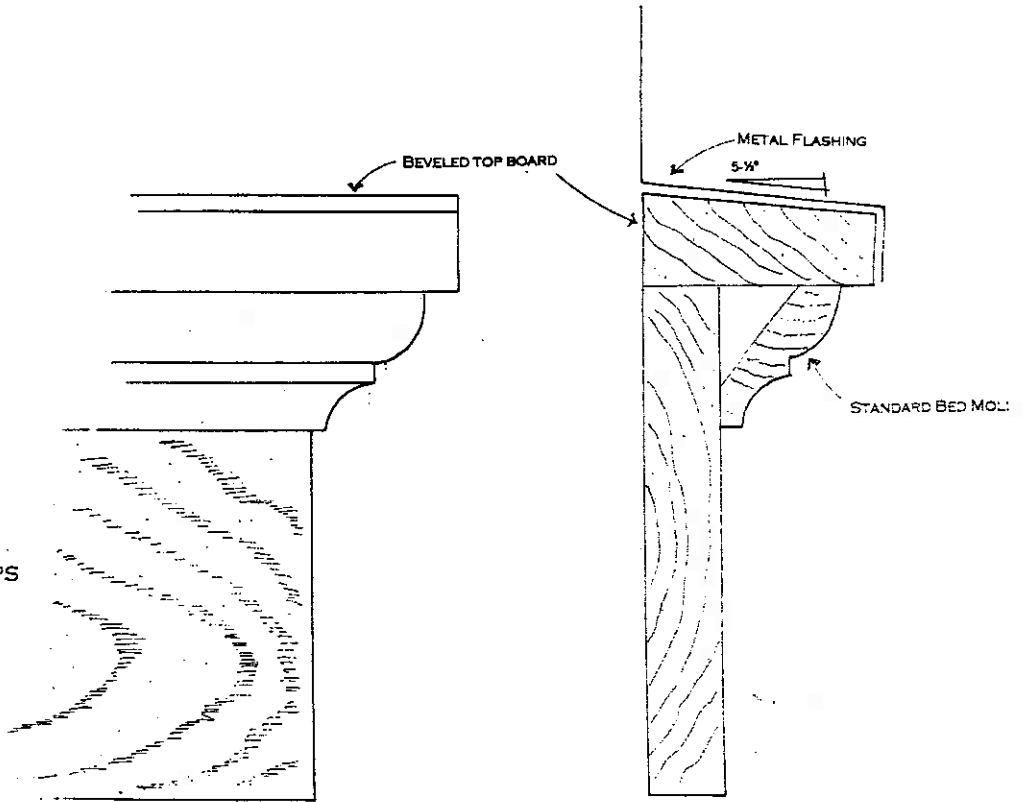


OPTION B
TRADITIONAL



OPTION C
SOLID CORNER

WINDOWS AND DOOR TOPS
FULL SIZE



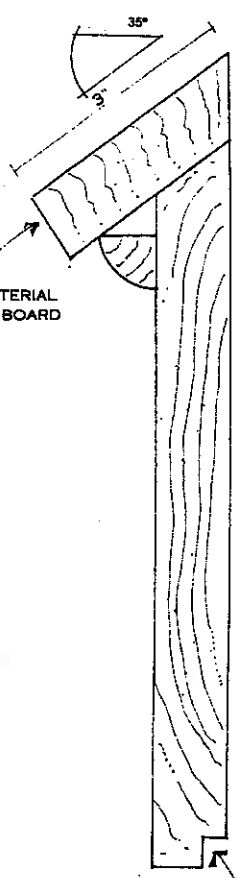
**Walkers Point
Garage**

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Details

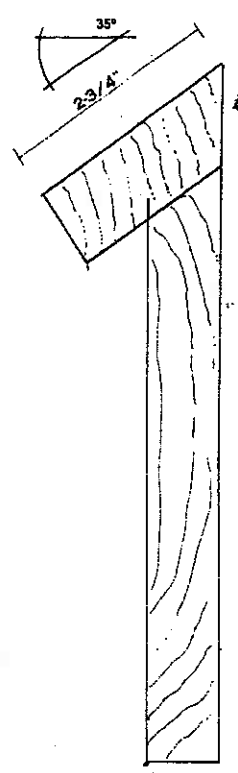
Scale: Full Size

NOTE: 13/16" OR 3/4" MATERIAL
MAY BE USED FOR ANGLED BOARD



**LEVEL FRIEZE BOARD
IN FRONT AND REAR GABLES
FULL SIZE**

RABBET FOR SIDING BELOW



NOTE: 13/16" OR 3/4" MATERIAL
MAY BE USED FOR ANGLED BOARD

**WATER TABLE
AT TOP OF FOUNDATION**

Brewers Hill/Harambee
hist. dist.



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Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2018 N. 2ND ST.
Description of work Install new central air conditioning unit on grade in back of house next to the foundation. Unit will not be visible form the street.
Date issued 8/13/2008

PTS ID 53001 COA, central air conditioning unit

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Unit will not be visible form the street.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Paul Jakubovich
City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Milele Coggs, Contractor Major Systems, Inspector Bill Richter (286-2518)



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

Property 2018 N. 2ND ST.
Description of work Build new two-story frame house and rear parking pad.
Date issued 5/9/2008 PTS ID 15733 COA, new house

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

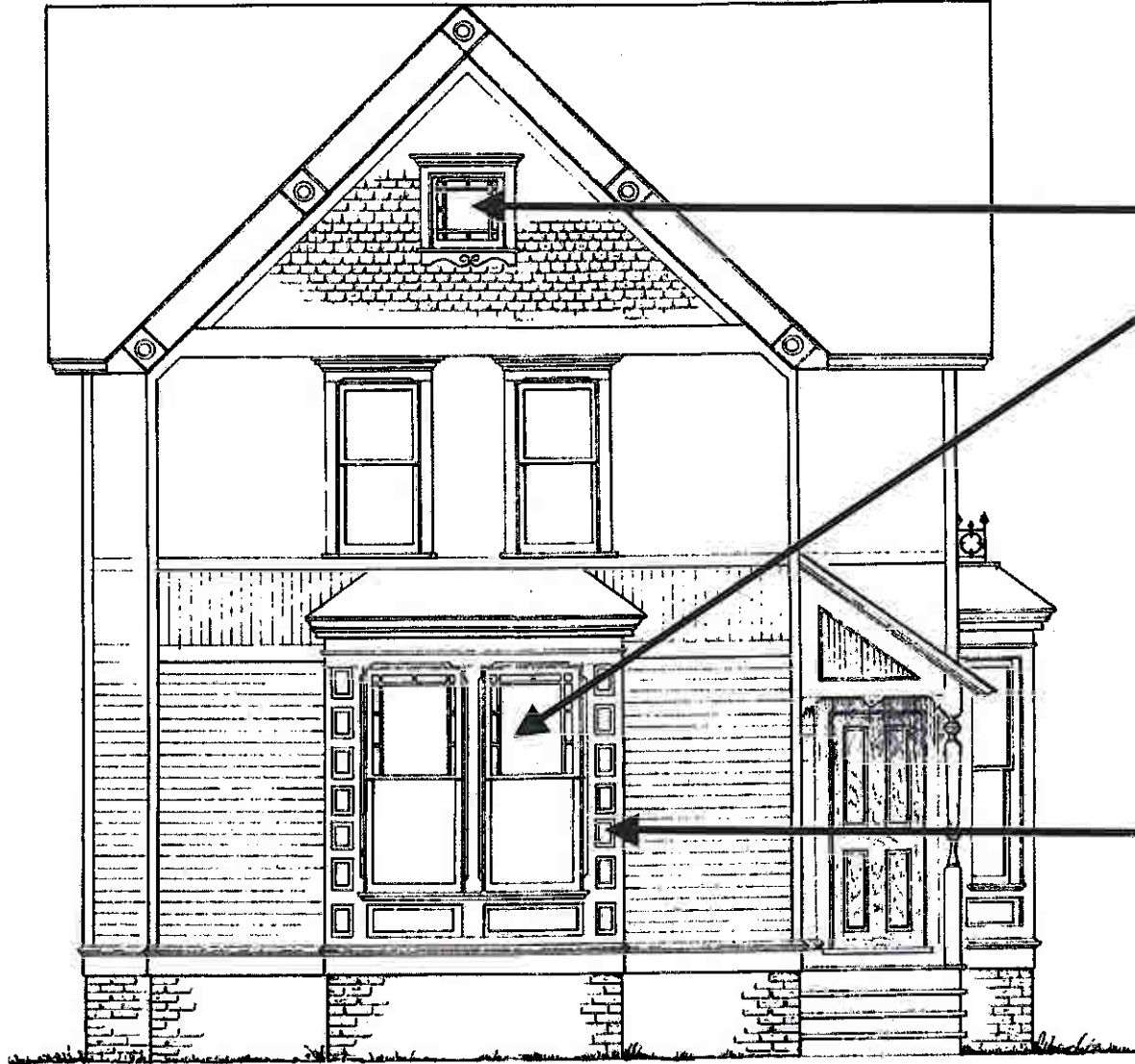
House will be built according to attached drawings. All exterior siding, trim, windows, and doors will be made completely of wood. No substitute materials will be allowed. Raised basement will be made of poured concrete with a brick pattern. Building must be constructed exactly according to attached drawings and details. Front bay windows will be finished with raised panels. Queen Anne windows on front, side, and rear elevations will be true muntin windows. Snap-in grids or glued-in-place muntins on exterior of glass will not be allowed. Rear parking pad must be paved with asphalt or concrete. Gutters will be half-round style. Owner will submit shingle sample for staff approval before installation. Owner and contractor will review construction progress periodically with staff to ensure consistency with original design. Owner will review all exterior finish details prior to their construction with staff.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakobovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@mkedcd.org.

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City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Milele Coggs, Inspector Bill Richter (286-2518)

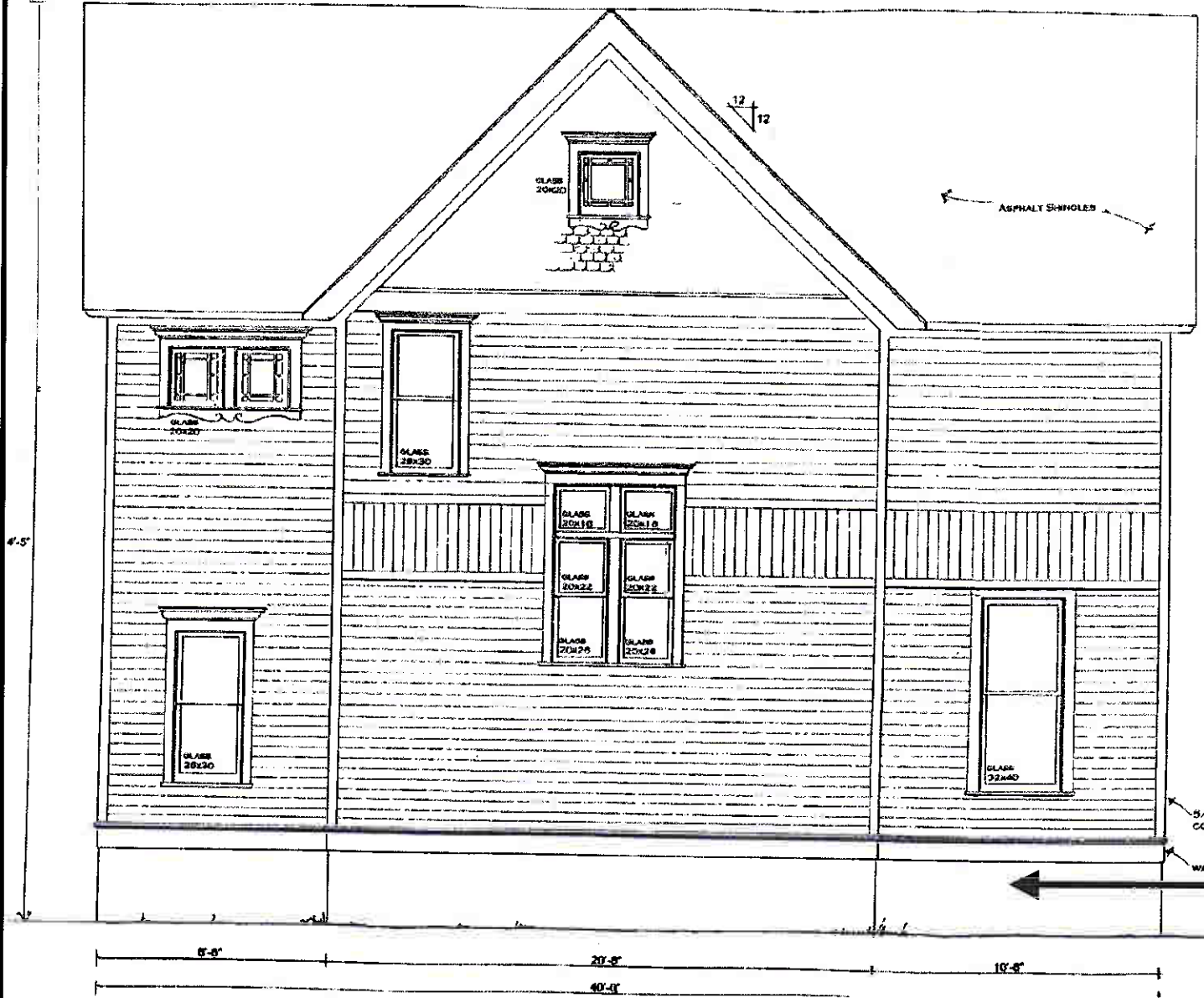


Queen Anne windows on all elevations will be true muntin windows – no snap-in grids or glued-in-place muntins will be allowed.

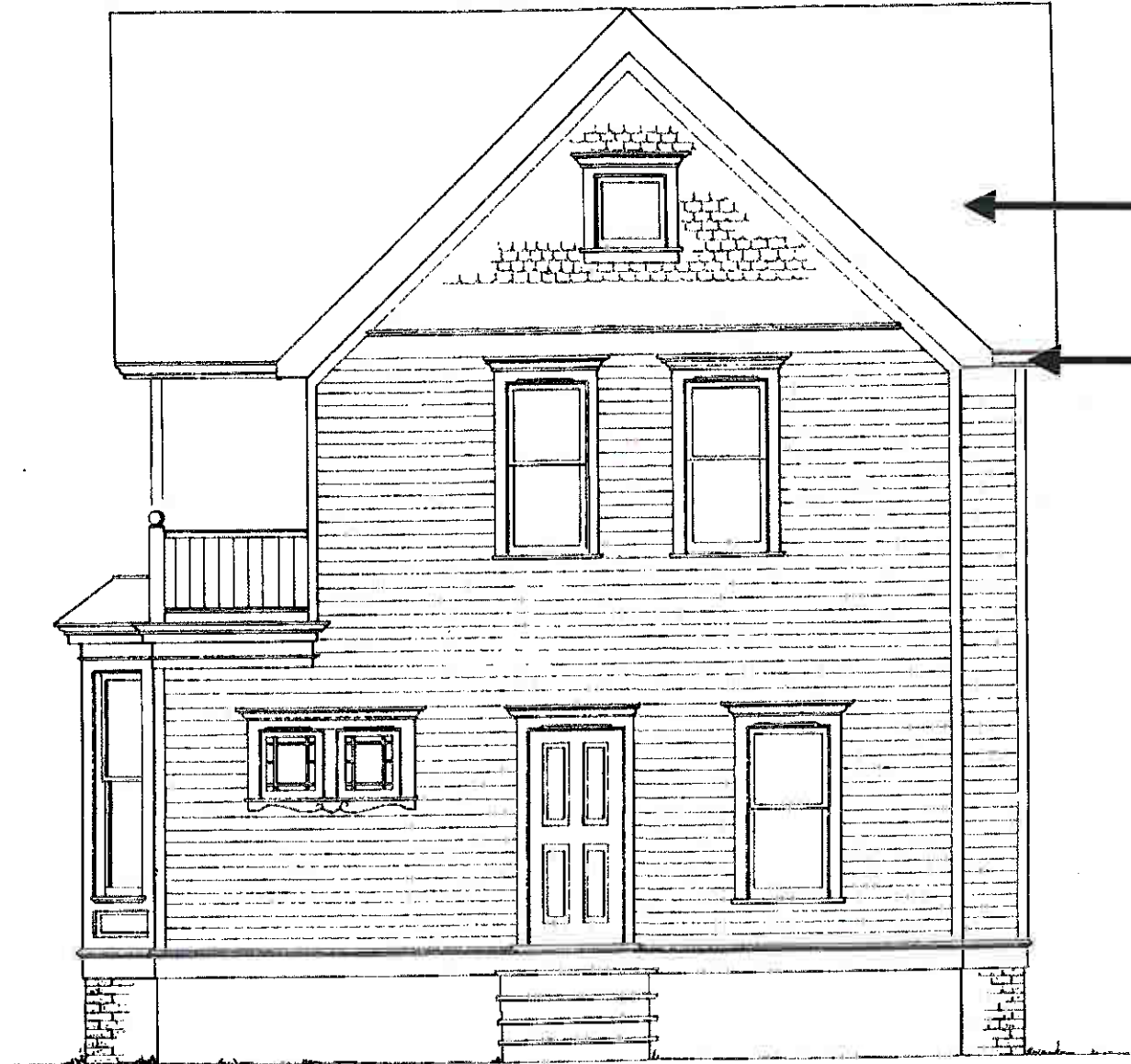
Front bay window will be finished with raised panels.



All exterior siding, trim, windows, and doors will be made completely of wood. No substitute materials will be allowed.

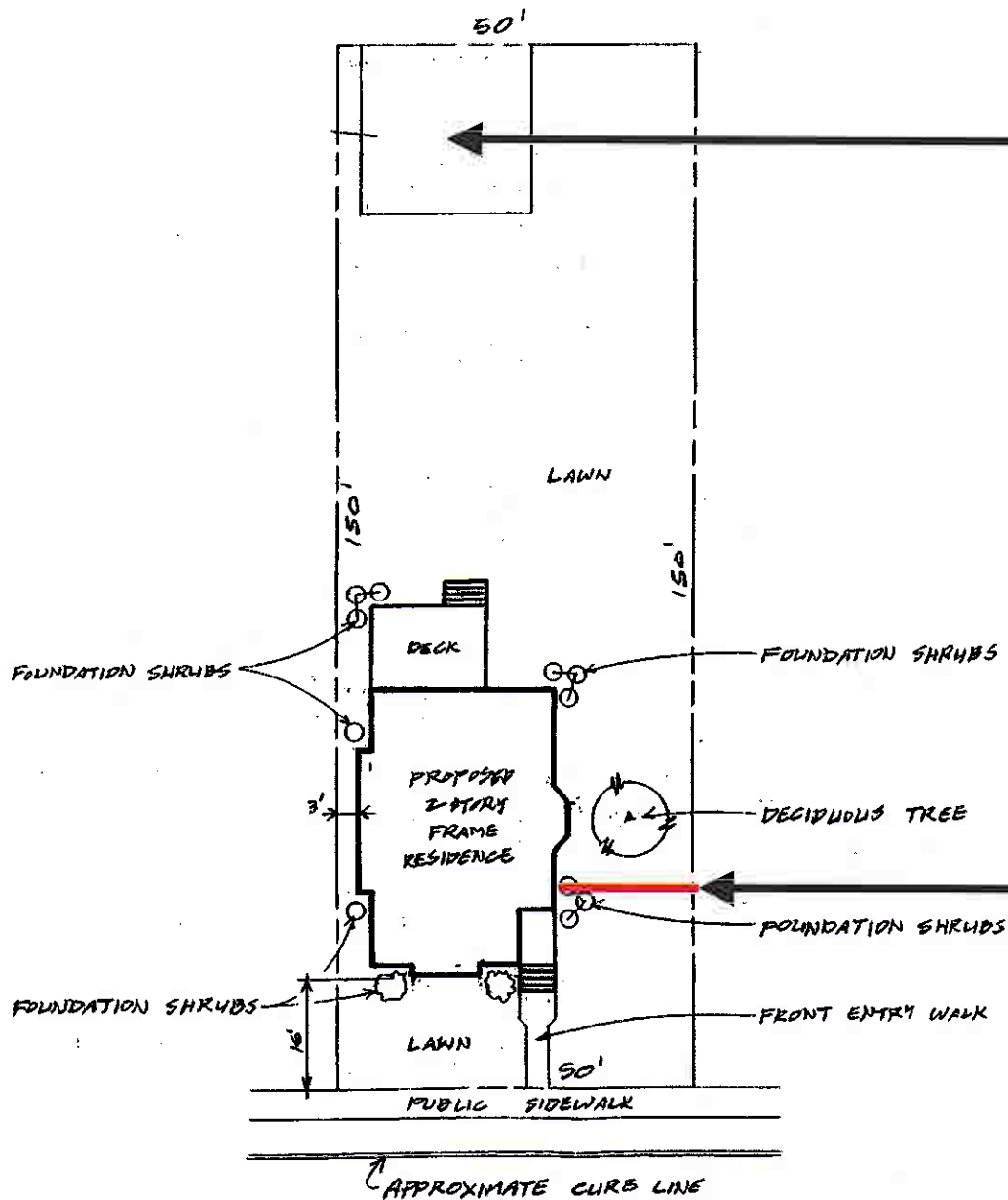


Raised basement will be made of poured concrete with a brick pattern.



Before installation of shingles, a shingle sample will be submitted for staff approval.

Gutters will be half-round style.



Install asphalt or concrete parking pad here.

Another COA will be issued for the fence, which will be installed here.

NORTH SECOND STREET