



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2010 N. 2ND ST.
Description of work Construct a new garage at rear of property. The garage will be accessed from the alley.
Date issued 12/4/2009 PTS ID 62363 COA-garage construction

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Work shall be consistent with submitted drawings and photos. Garage will be 14'x22' and will be set back 9' from the alley and 3' from the side property lines. The garage will have an 8/12 roof pitch and the roof will be clad with asphalt shingles. There will be a ridge cap vent, and cement fiber clapboards with 4-1/2 inch exposure. Details will include frieze boards on the east and west elevations, one barn sash window on the north and south elevation, one 6-panel steel pedestrian door on the west elevation, and a paneled, steel overhead garage door on the east elevation with the trim details executed in wood.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. **Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations.** If you require technical assistance, please contact Carlen Hatala of the Historic Preservation staff as follows: Phone: (414) 286-5722 Fax: (414) 286-0232 E-mail: chatal@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Carlen Hatala
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Milele Coggs, Hollenbeck Home Improvement, Inspector Bill Richter (286-2518)

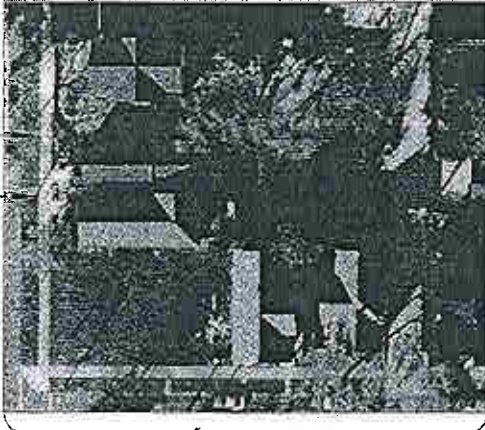
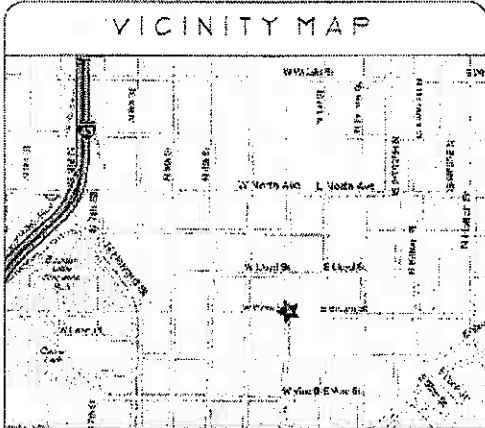
2010 N. 2nd Street



LONG RESIDENCE

2010 N. 2ND STREET MILWAUKEE, WI 53212

VICINITY MAP



PROJECT CONTACT INFO

OWNER:

BETH LONG
2010 N. 2ND STREET
MILWAUKEE, WISCONSIN 53212

GENERAL CONTRACTOR/ CONSTRUCTION MANAGER:

HOLLENBECK HOME IMPROVEMENTS, LLC
4786 N. BERKELEY BLVD
WHITEFISH BAY, WI 53121
Tele: 414.617.2667
CONTACT: BRIAN HOLLENBECK
EMAIL: HOLLENBECK_H@YAHOO.COM

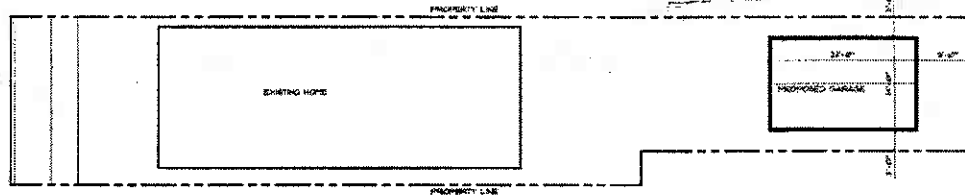
DRAWING INDEX

DESIGN DOCUMENTS:

T	TITLE SHEET AND SITE PLAN	1/22/09
AD	FLOOR AND RAISING PLAN	1/22/09
AE	ELEVATIONS AND SECTION	1/22/09
AD	DETAILS	1/22/09

BUILDING INFO

PROPOSED ADDITION OF A 14'-0" x 27'-0" DETACHED GARAGE



SITE PLAN IS FOR REFERENCE ONLY. INFORMATION GATHERED FROM SEVERAL SOURCES. ALL DIMENSIONS ARE APPROXIMATE. REFER TO CERTIFIED SURVEY FOR ALL EXACT LOCATIONS AND DIMENSIONS. TYPICAL.

SITE PLAN
K-1-09

Revisions:
Owner Review
11/03/09
PC/Permit Set
11/04/09

HOLLENBECK HOME IMPROVEMENTS, LLC
"Quality Service At A Fair Price"

4786 N. Berkeley Blvd Whitefish Bay, WI 414.617.2667

DETACHED GARAGE FOR
LONG RESIDENCE
2010 N. 2ND STREET
MILWAUKEE, WI 53212

SHEET TITLE:
TITLE SHEET

Date: 11/04/09

Scale:

Drawn:

Job:

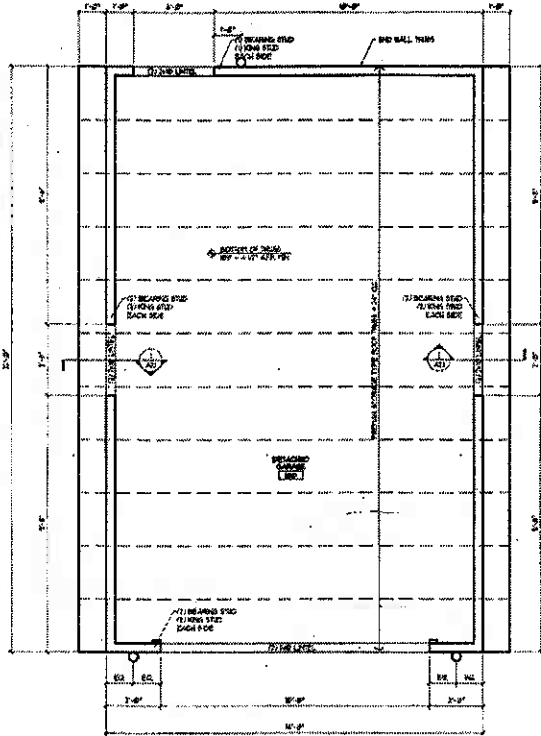
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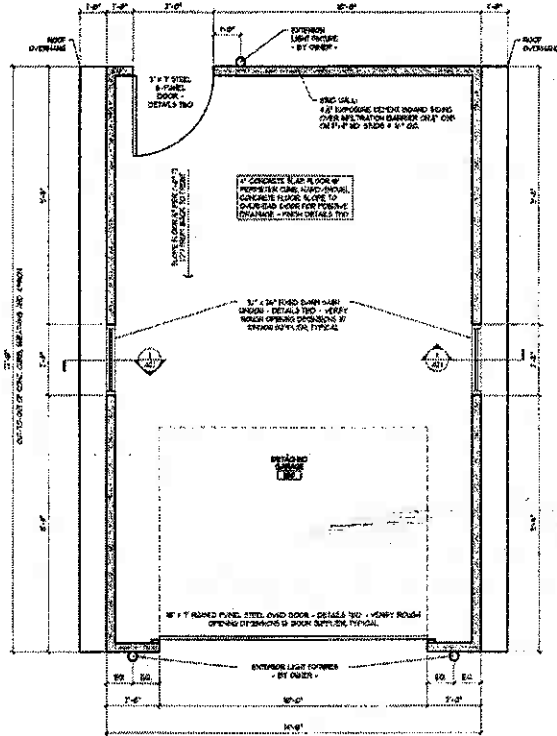
HALF
SCALE
PLOT

CONSTRUCTION SET -
FOR HOLLENBECK HOME IMPROVEMENTS, LLC USE ONLY

ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF HOLLENBECK HOME IMPROVEMENTS, LLC. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HOLLENBECK HOME IMPROVEMENTS, LLC.



ROOF FRAMING PLAN
R-10-09 2



FLOOR PLAN
R-10-09 1

Revisions:
Owner Review
10.08.09
PO/Permit Set
10.08.09

HOLLENBECK HOME IMPROVEMENTS, LLC
"Quality Service At A Fair Price"
4788 N. Berkeley Blvd Whitefish Bay, WI 53191
414.672.6687

CONSTRUCTION SET
FOR HOLLENBECK HOME IMPROVEMENTS, LLC USE ONLY

DETAILED CHANGE FOR
LONG RESIDENCE
2816 N. 2ND STREET
MILWAUKEE, WI 53211

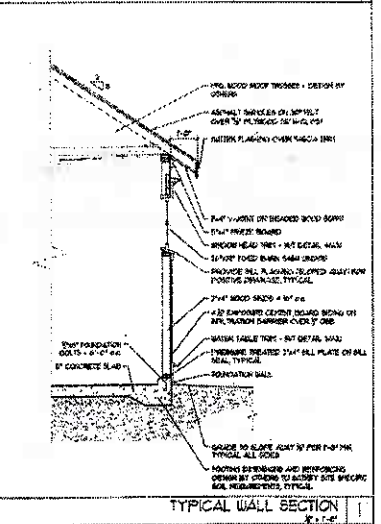
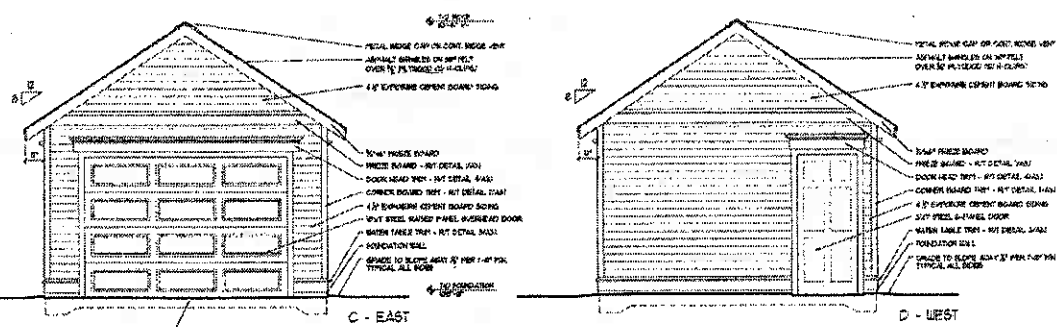
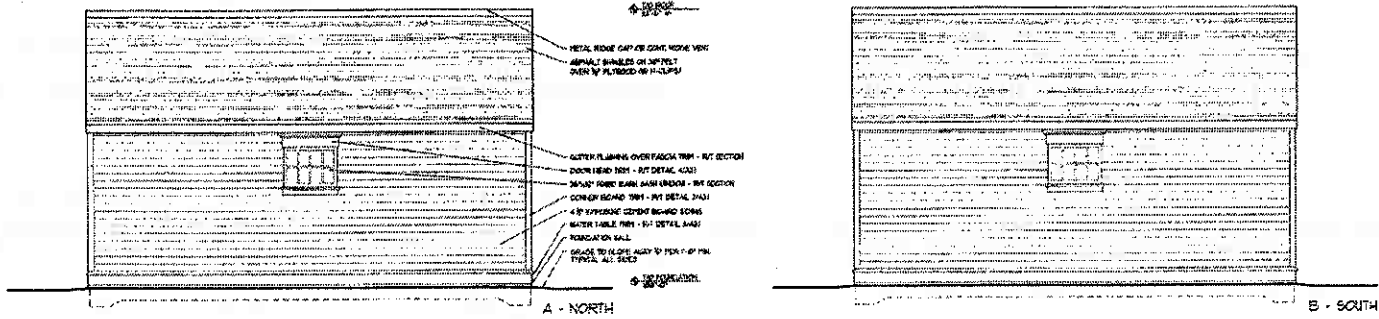
SHEET TITLE
FLOOR PLAN
& FRAMING
PLAN

Date: 10.08.09
Scale: 1/2"=1'-0"
Drawn:
Job:
Sheet

A11

HALF
SCALE
PLOT

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ELEVATIONS 2

TYPICAL WALL SECTION 11

Revision:
 Owner Review
 10/20/09
 PC/Permit Set
 10/20/09

HOLLENBECK HOME IMPROVEMENTS, LLC
 "Quality Service At A Fair Price"
 4768 N. Berkeley Blvd. Whitefish Bay, WI 53191-2667
 414-871-2667

FOR HOLLENBECK HOME IMPROVEMENT, LLC USE ONLY
 CONSTRUCTION SET

DETACHED GARAGE FOR
LONG RESIDENCE
 2600 N. AND STREET
 FISHKILL, NY 12524

SHEET TITLE
ELEVATIONS & SECTION

Date: 10/20/09

Revisions: NOTED

Drawn:

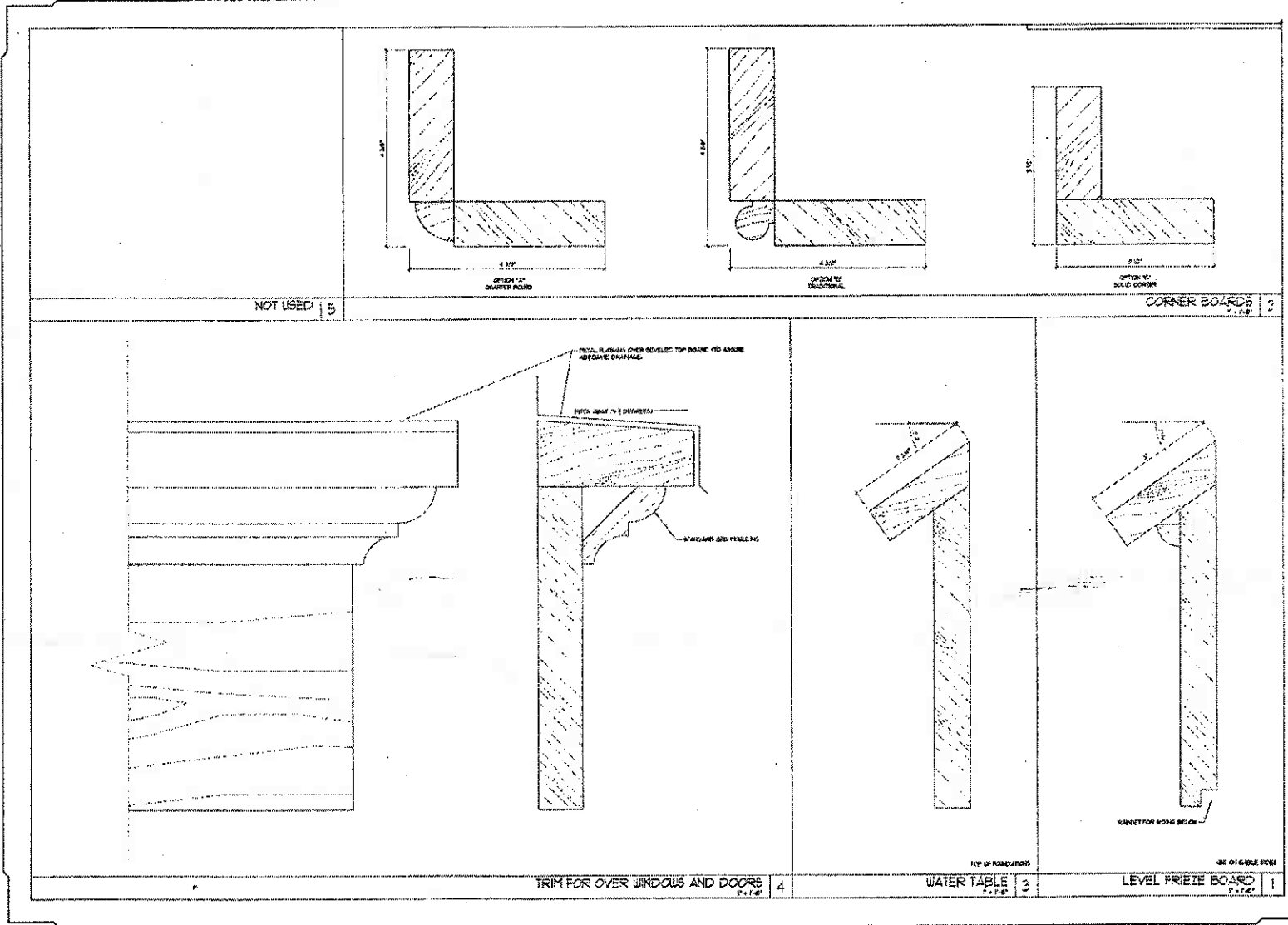
Job:

Block:

A21

HALF SCALE PLOT

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CUSTOMER: HOLLOWAY LANE, PLYMOUTH, WISCONSIN 53075. PROJECT: 1000 N. 3RD STREET, MILWAUKEE, WI 53233. DATE: 10/15/2010. DRAWN BY: J. H. HOLLERBECK. CHECKED BY: J. H. HOLLERBECK. SCALE: 1/8" = 1'-0". SHEET NO.: 104409.

Revisions:
 Owner Review
 10/20/10
 PO Permit Set
 10/20/10

HOLLENBECK HOME IMPROVEMENTS, LLC
 "Quality Service At A Fair Price"
 4788 N. Berkeley Blvd Whitefish Bay, WI 414.617.2667

DETACHED GARAGE FOR
 LONG RESIDENCE
 2000 N. 3RD STREET
 MILWAUKEE, WI 53233

SHEET TITLE:
 TRIM DETAILS

Date: 10/20/10
 Scale: 1/8" = 1'-0"
 Drawn: J.H.H.
 Job:

Sheet:
A31

CONSTRUCTION SET
 FOR HOLLENBECK HOME IMPROVEMENT, LLC. USE ONLY

HALF
 SCALE
 PLOT



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2010 N. 2ND ST.
Description of work Pour a 14'x22'concrete slab for future garage
Date issued 11/6/2009 PTS ID 62363 COA concrete slab for future garage

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

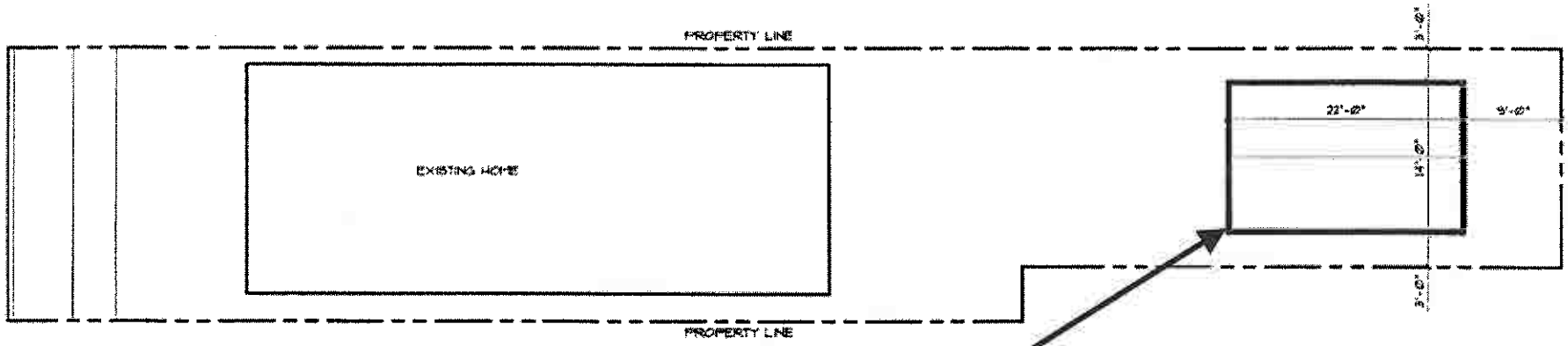
All work shall coincide with submitted and approved specifications.

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City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Milele Coggs, Contractor, Inspector Bill Richter (286-2518)



CONCRETE SLAB LOCATION