

MAYER-DURNER BLDG.



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

**Property** 2002 N. MARTIN L KING JR DR.

**Description of work** Remove two, contemporary style, modern concrete block chimneys from roof of corner buildings. Restore roof shingles to match existing.

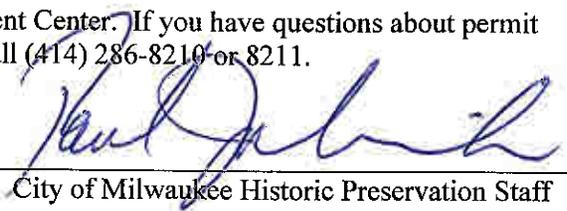
**Date issued** 1/8/2008 PTS ID 48198 COA, remove concrete block chimneys

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work to be done according to attached photo. replacement shingles must match existing. No other trim or ornamental features can be removed.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

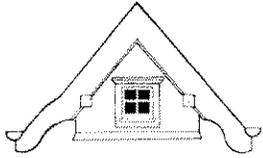
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210 or 8211.



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City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael McGee, Inspector Bill Richter (286-2518)





LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

**Property** 2002 N. MARTIN L KING JR DR.  
**Description of work** Rebuild street-level storefront on corner building.  
**Date issued** 9/28/2007 PTS ID 11931 COA, storefront for 2002 N. King

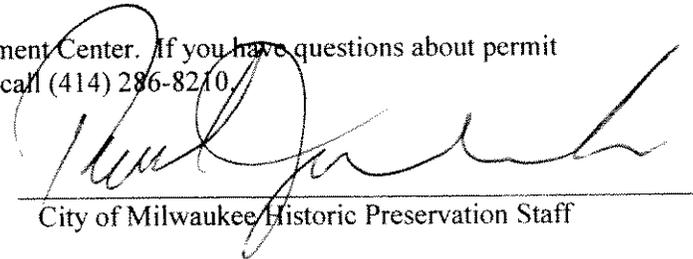
In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings. Original storefront entry door will be retained and rehabilitated. **No "low-e or tinted glass is allowed, clear glass only on street-level storefront. Six panel door to upper flat on front elevation is not permitted. See HPC staff for appropriate styles.** Contractor must meet with Historic Preservation Commission staff to review drawings prior to commencement of work.

All finish wood must be smooth and free from knots and sapwood. All wood must be painted as soon as possible to protect it from the weather. Please note that research has shown that when new bare wood is exposed to the elements for period of only a week or two, the life of the paint job applied to it is likely to be decreased.

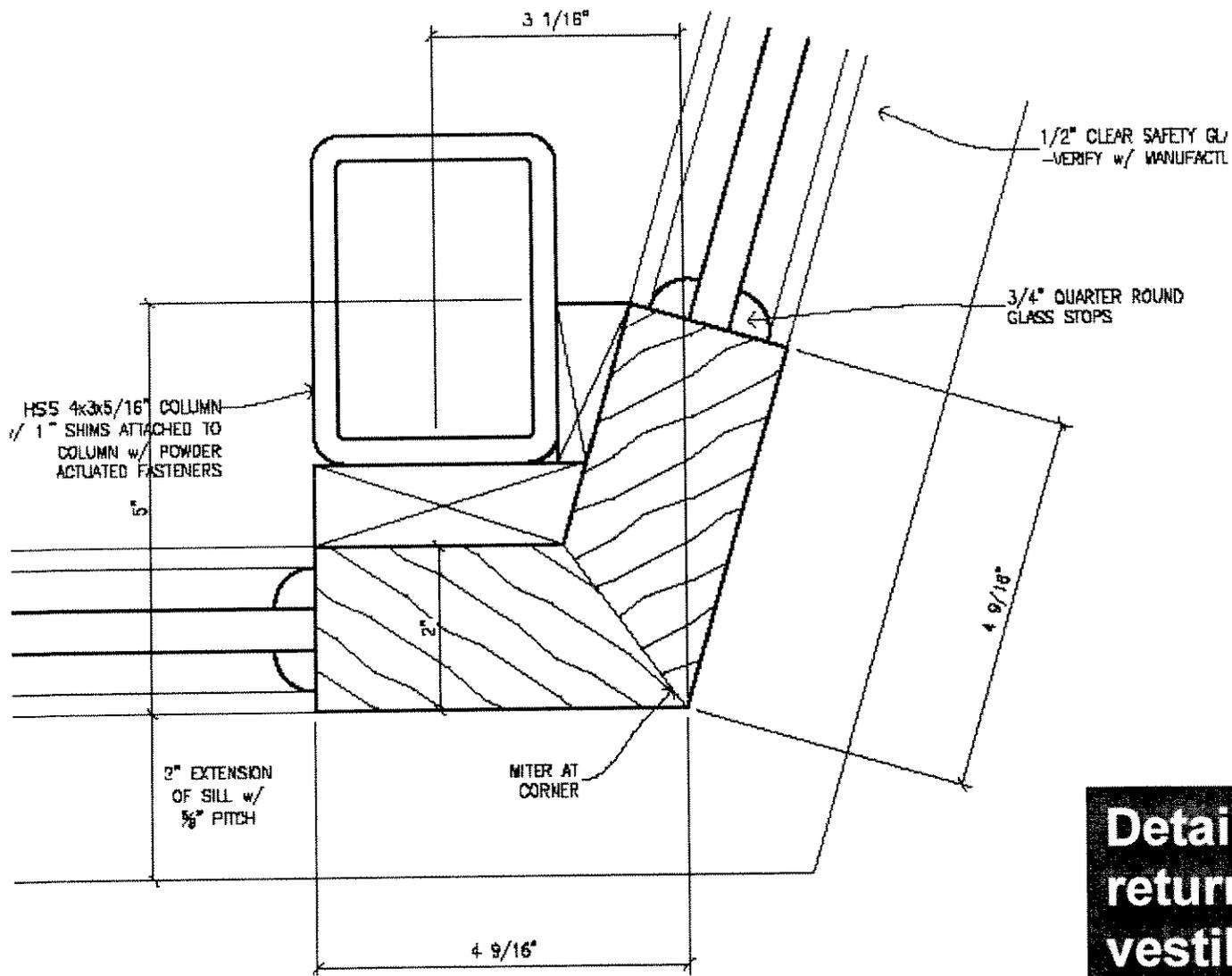
All work must be done in a craftsman-like manner, and must be completed within six months of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

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City of Milwaukee Historic Preservation Staff

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**Detail for corner  
return into  
vestibule**

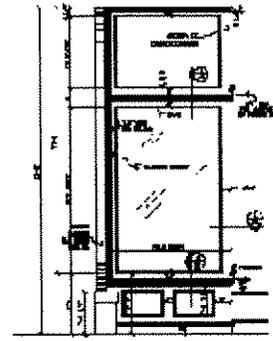
**ENLARGED DETAIL**

SCALE: 8"=1'-0"

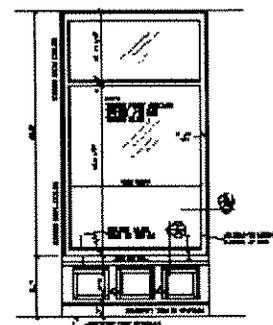
2  
A2



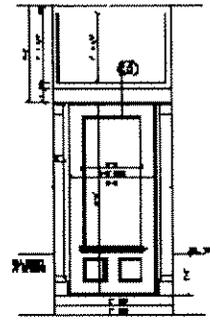
Six panel door not permitted. See HPC staff for appropriate styles.



PARTIAL ENLARGED ELEVATION C  
see 1251d



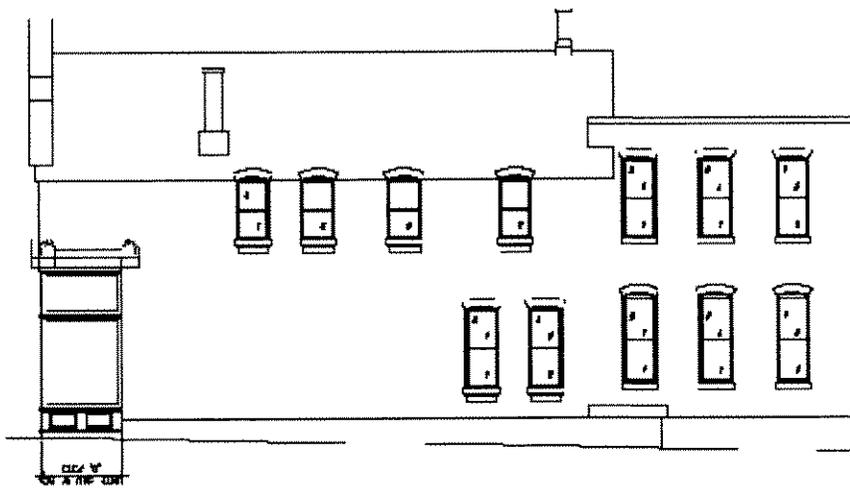
PARTIAL ENLARGED ELEVATION B  
see 1251d



PARTIAL ENLARGED ELEVATION X  
see 1251d

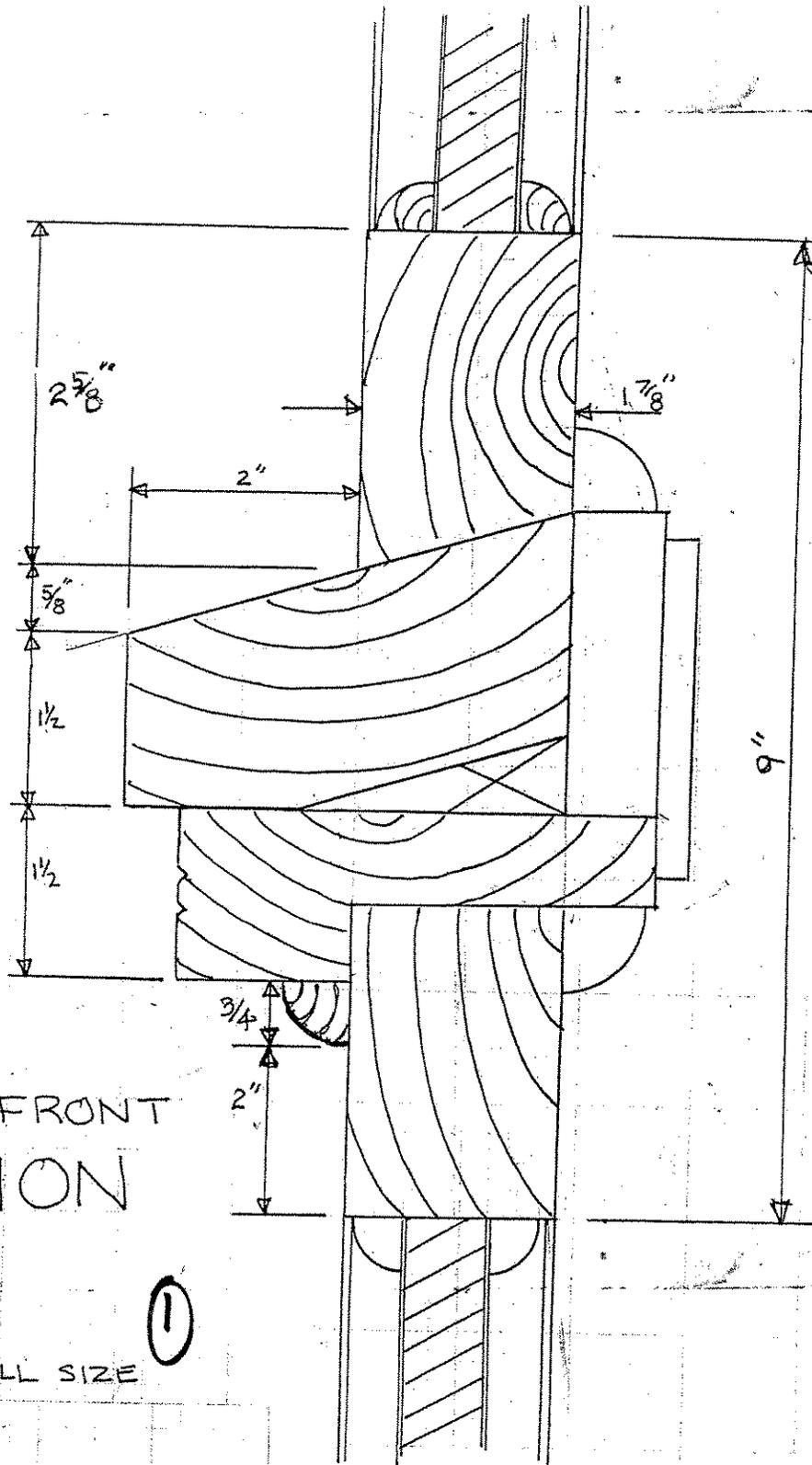


WEST ELEVATION  
see 1251d



SOUTH ELEVATION  
see 1251d

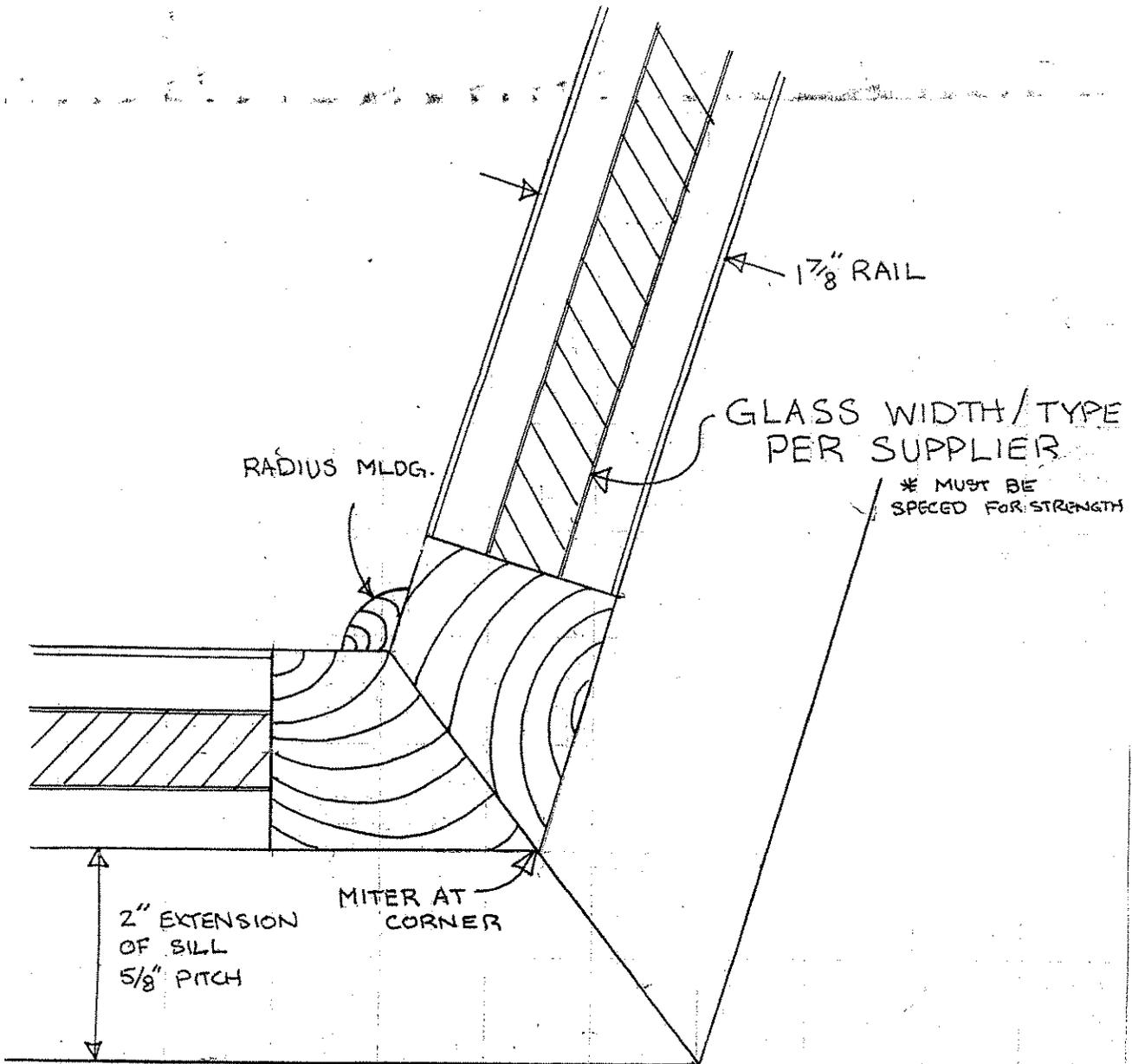
# Elevations



SOUTH  
STOREFRONT  
SECTION

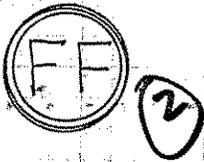


SCALE : FULL SIZE

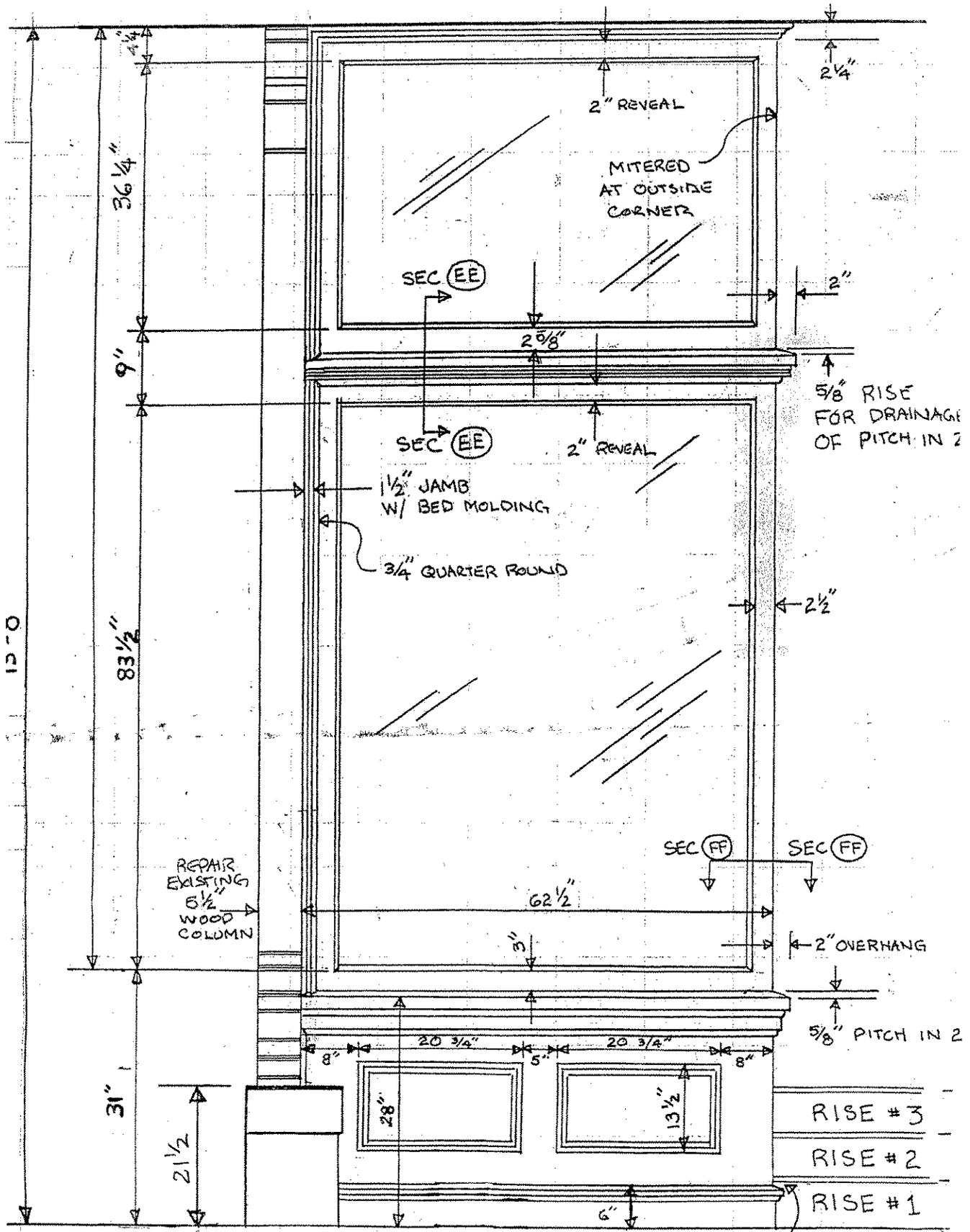


SOUTH STOREFRONT

SECTION



SCALE 8" FULL SIZE



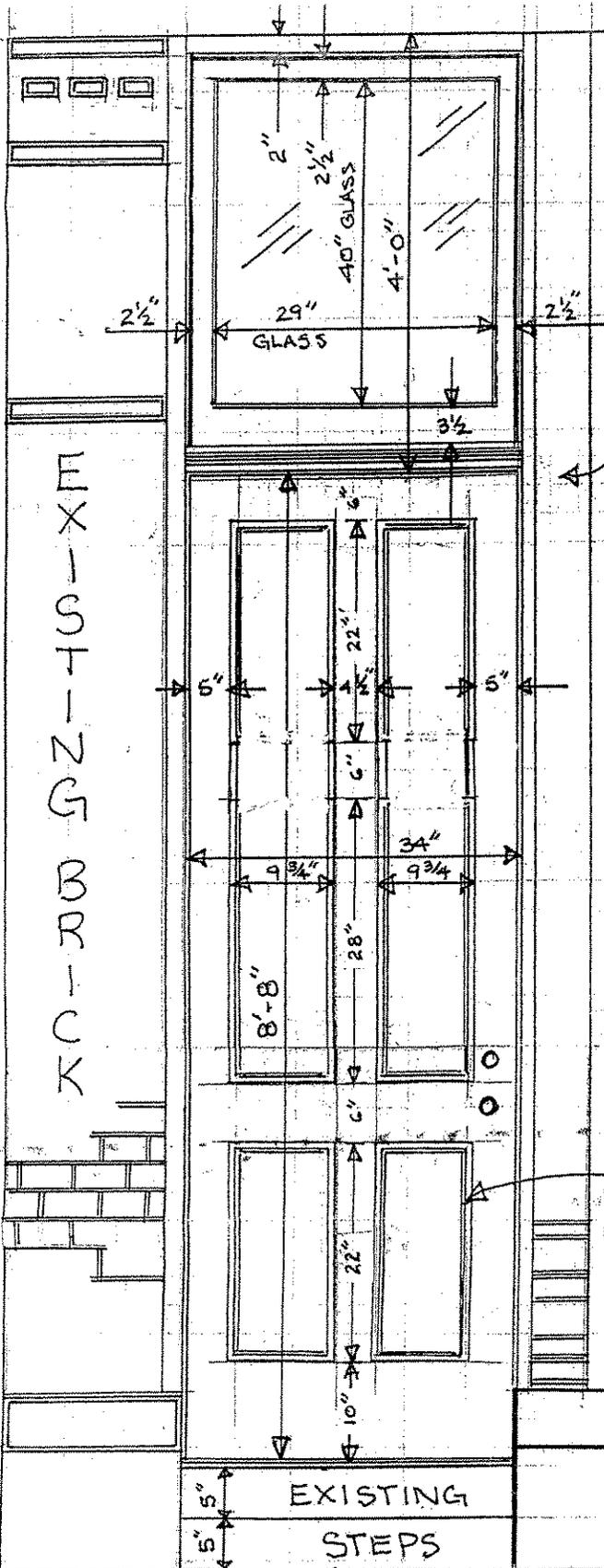
NOTE: RAISE APRON AS HIGH AS POSSIBLE WITH GOING HIGHER THAN STEP

# SOUTH STOREFRONT DETAIL (D)

1" = 1'-0"

ELEVATION  
2<sup>ND</sup> FL. SOUTH  
ENTRANCE

SCALE 1" = 1'-0"



REPAIR &  
EXISTING WOOD  
COLUMN

NOTE:

DOOR TO SECOND FLOOR TO REMAIN INSWING AS EXISTING. TO MAKE DOOR OUTSWING BECAUSE OF EXISTING STEPS DOOR WOULD NEED TO BE RECESSED 3'-0" AND CHANGE ELEVATION AS SHOWN ON ARCHIVE PICTURE

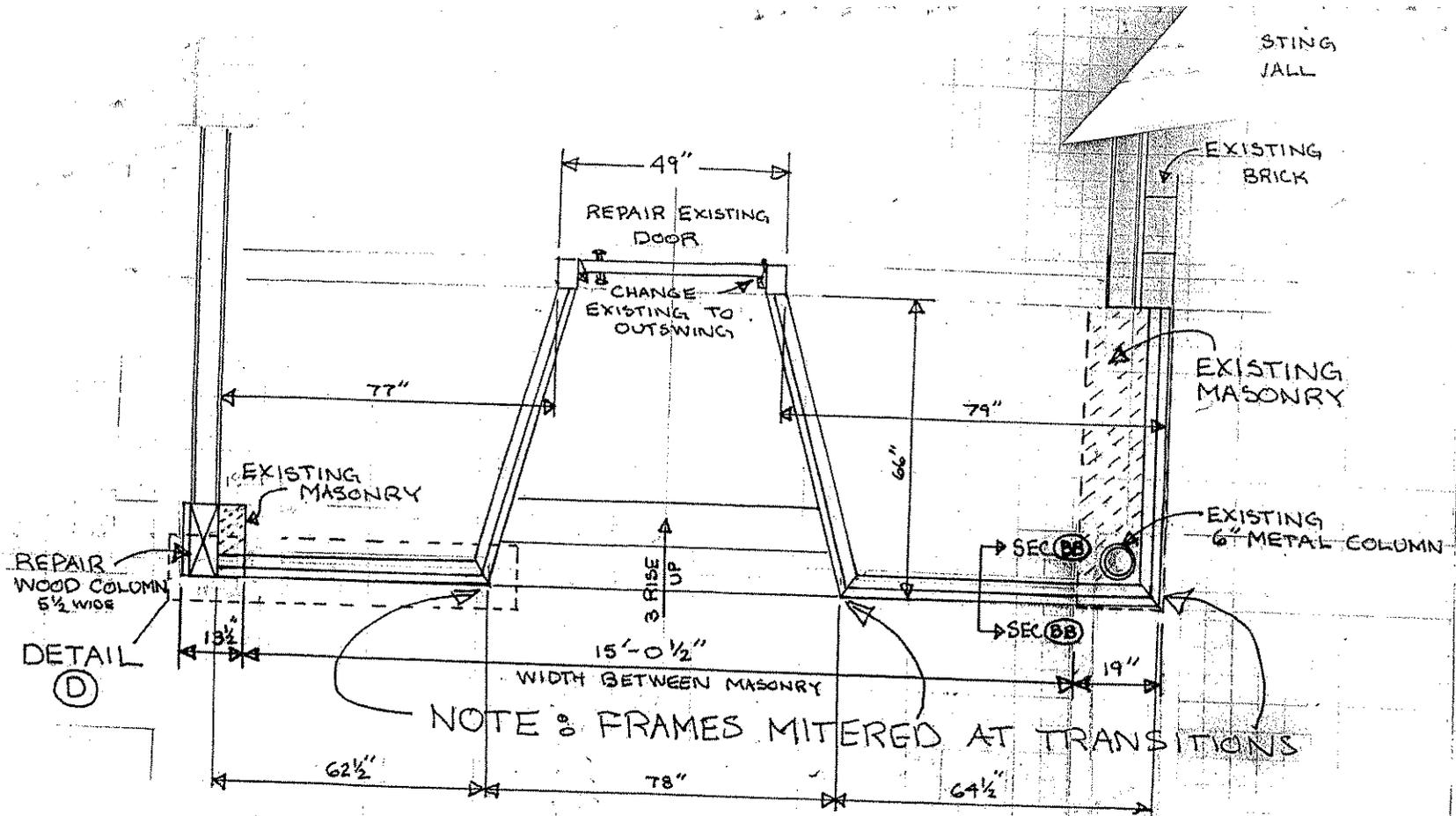
MOLDING TO BE SAME AS PANEL MOLDING SHOWN ON SECTION (CC)

EXISTING STEPS

EXISTING DOOR

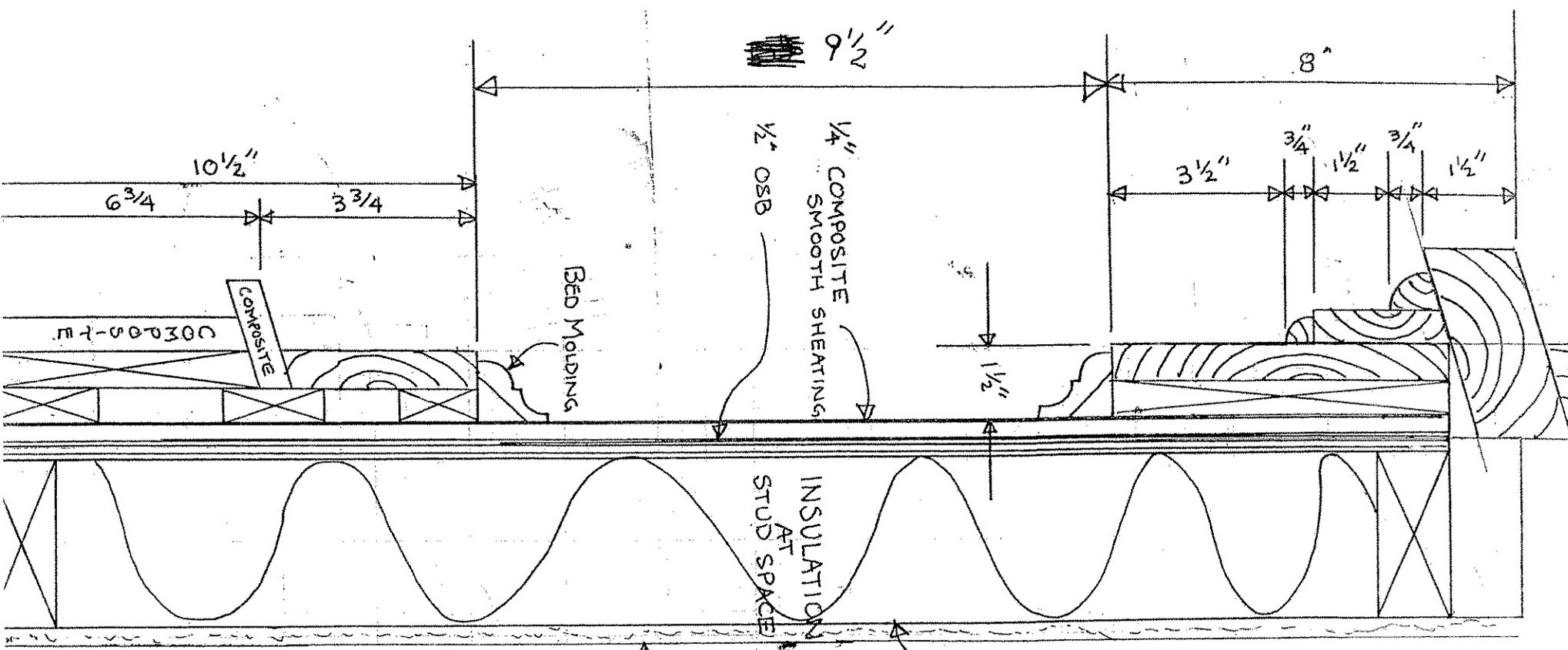
DOOR AT 2ND FLOOR SOUTH ENTRY

DETAIL (E)



SOUTH STOREFRONT  
LAYOUT

SCALE: 1/2" = 1'-0"



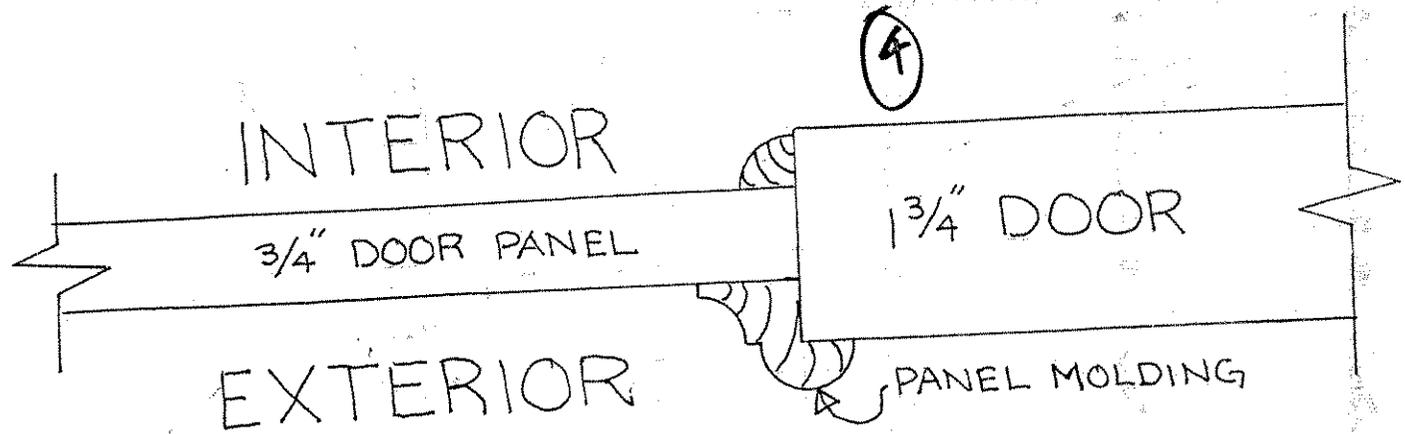
SOUTH STOREFRONT  
SECTION BB

3

SCALE: HALF SIZE

DRYWALL

2x4 CONSTRUCTION  
LUMBER



SECTION



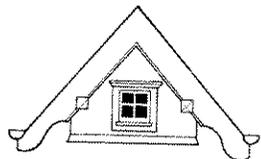
SCALE : FULL SIZE

**JR**

**JR ROGERS CUSTOM  
CARPENTRY**

PHONE : 414-617-4934  
FAX : 262-532-9878

DR MLK MEMORIAL DRIVE



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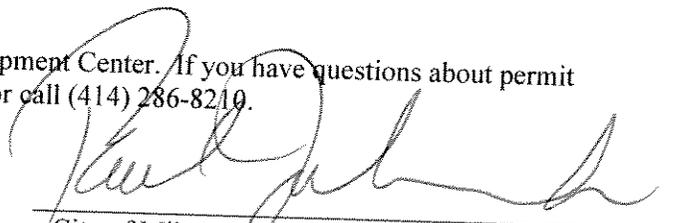
**Property** 2004 N. MARTIN L KING JR DR.  
**Description of work** Facade Rehabilitation of 2004-06 Dr. MLK Jr. Drive  
**Date issued** 9/19/2007  
 PTS ID 11931 COA - Facade rehabilitation

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

This is for work on 2004-06 Dr. Martin Luther King Jr. Drive only. The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff. All finish wood must be smooth and free from knots and sapwood. All wood must be painted or stained as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased. **No "Low-E" or tinted glass is allowed, Clear Glass Only.**  
**Contractor must meet with Historic Preservation Commission staff prior to commencement of work.**

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.



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 City of Milwaukee Historic Preservation Staff

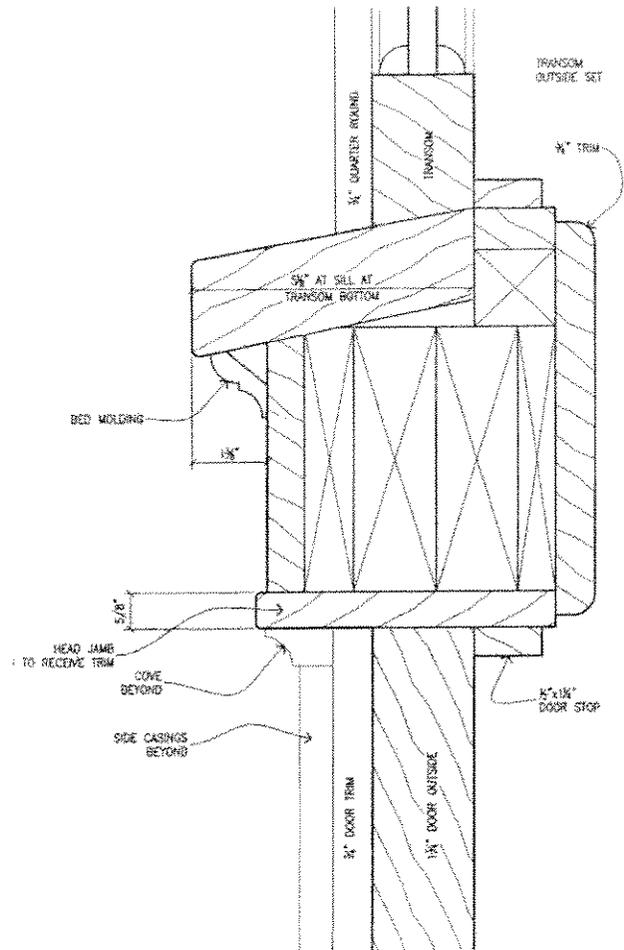
Copies to: Development Center, Ald. Michael McGee, Inspector Bill Richter (286-2518)



**COA for facade work is for 2004-06 Dr. Martin Luther King Jr. Drive only.**



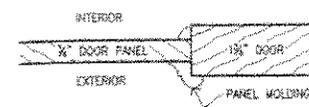




ENLARGED DETAIL

SCALE: 6" = 1'-0"

5  
A2

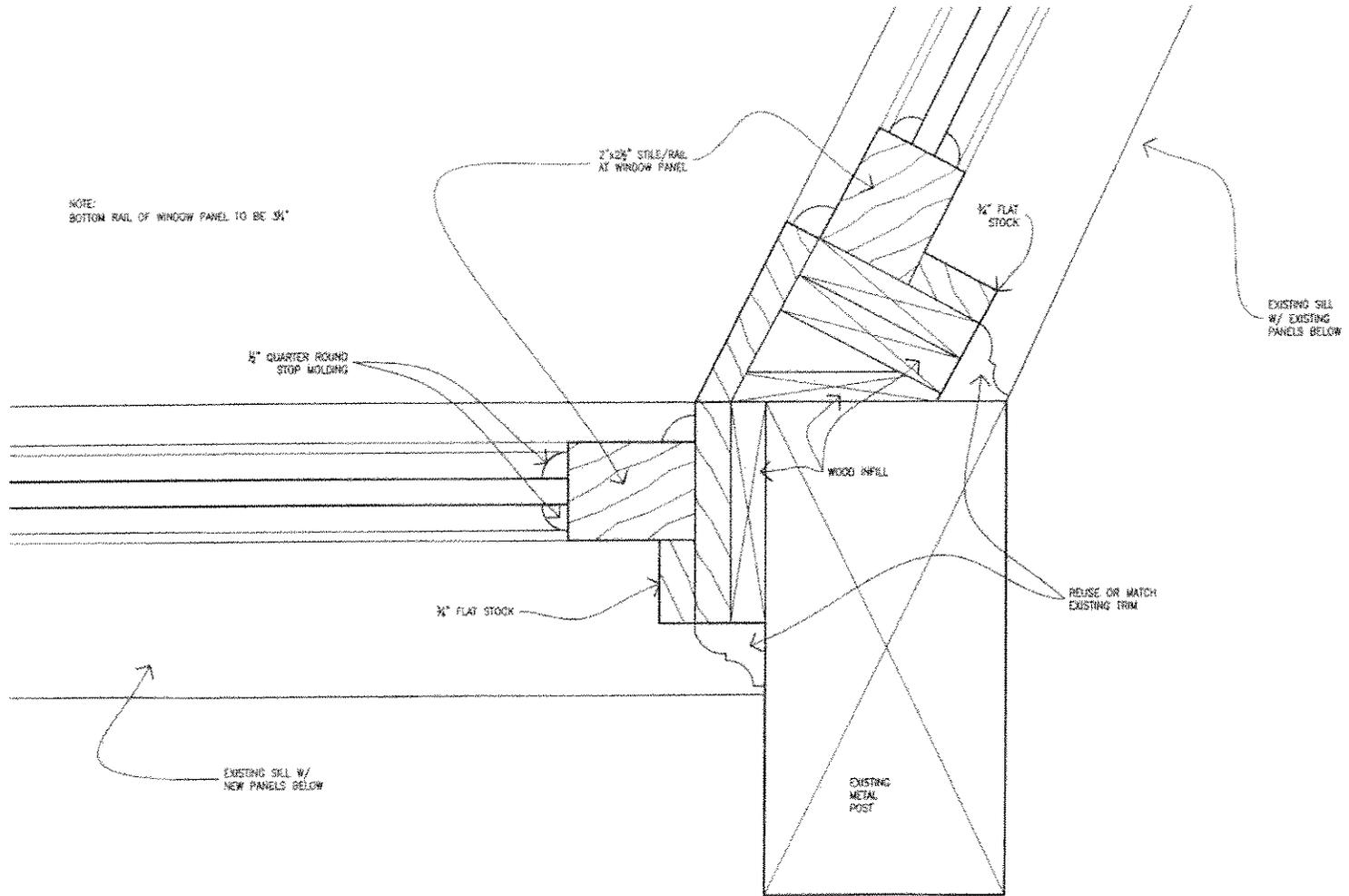


ENLARGED DETAIL

SCALE: 3" = 1'-0"

4  
A2

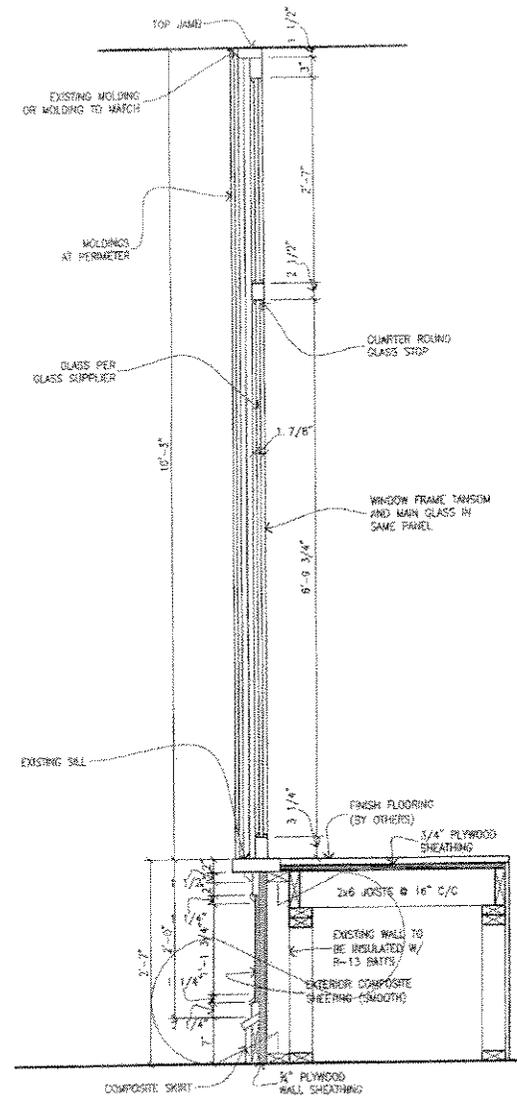
NOTE:  
BOTTOM RAIL OF WINDOW PANEL TO BE 3/4"



ENLARGED DETAIL

SCALE: 5"=1'-0"

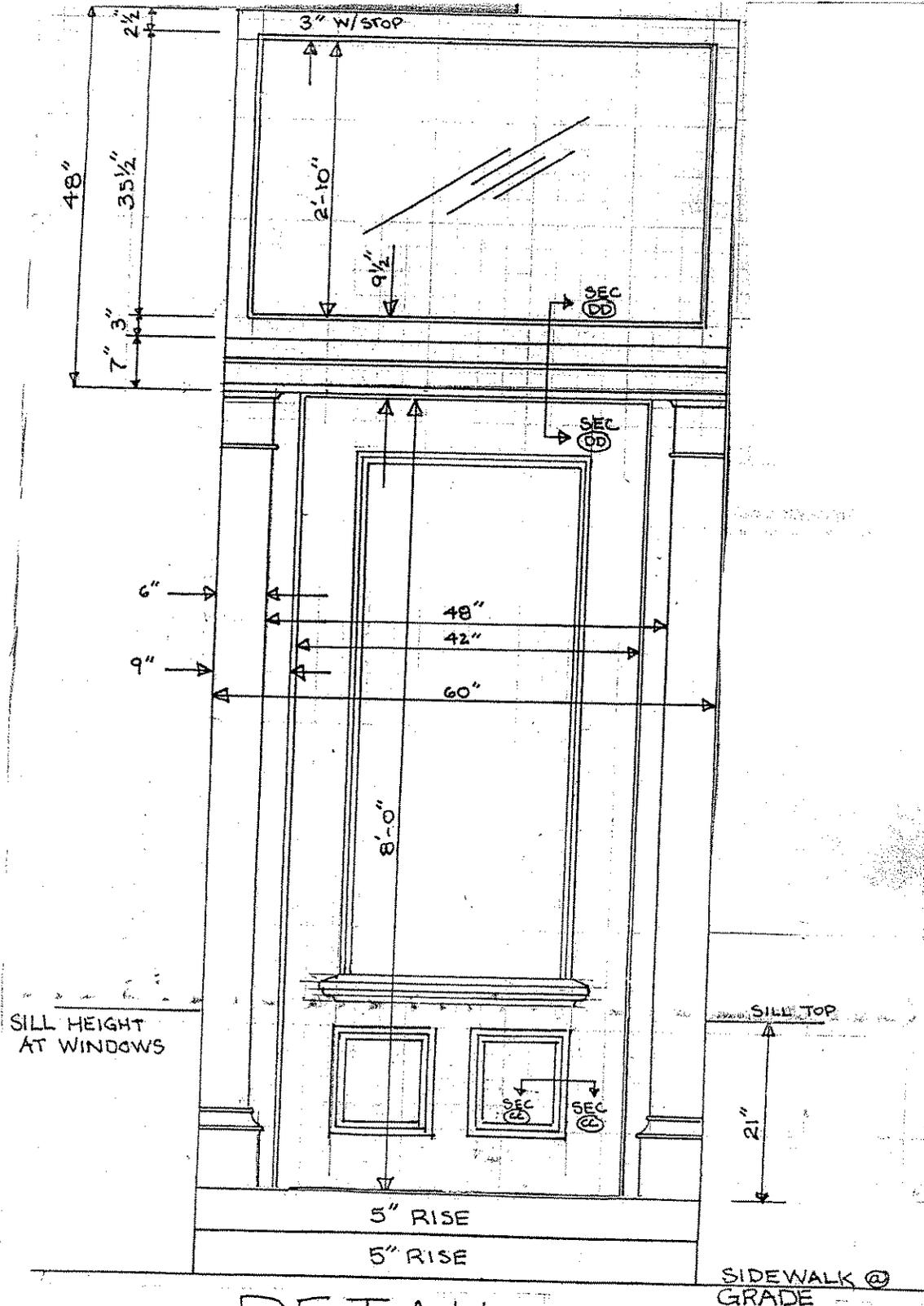
6  
A2



ENLARGED DETAIL

SCALE: 1/2" = 1'-0"

7  
A2

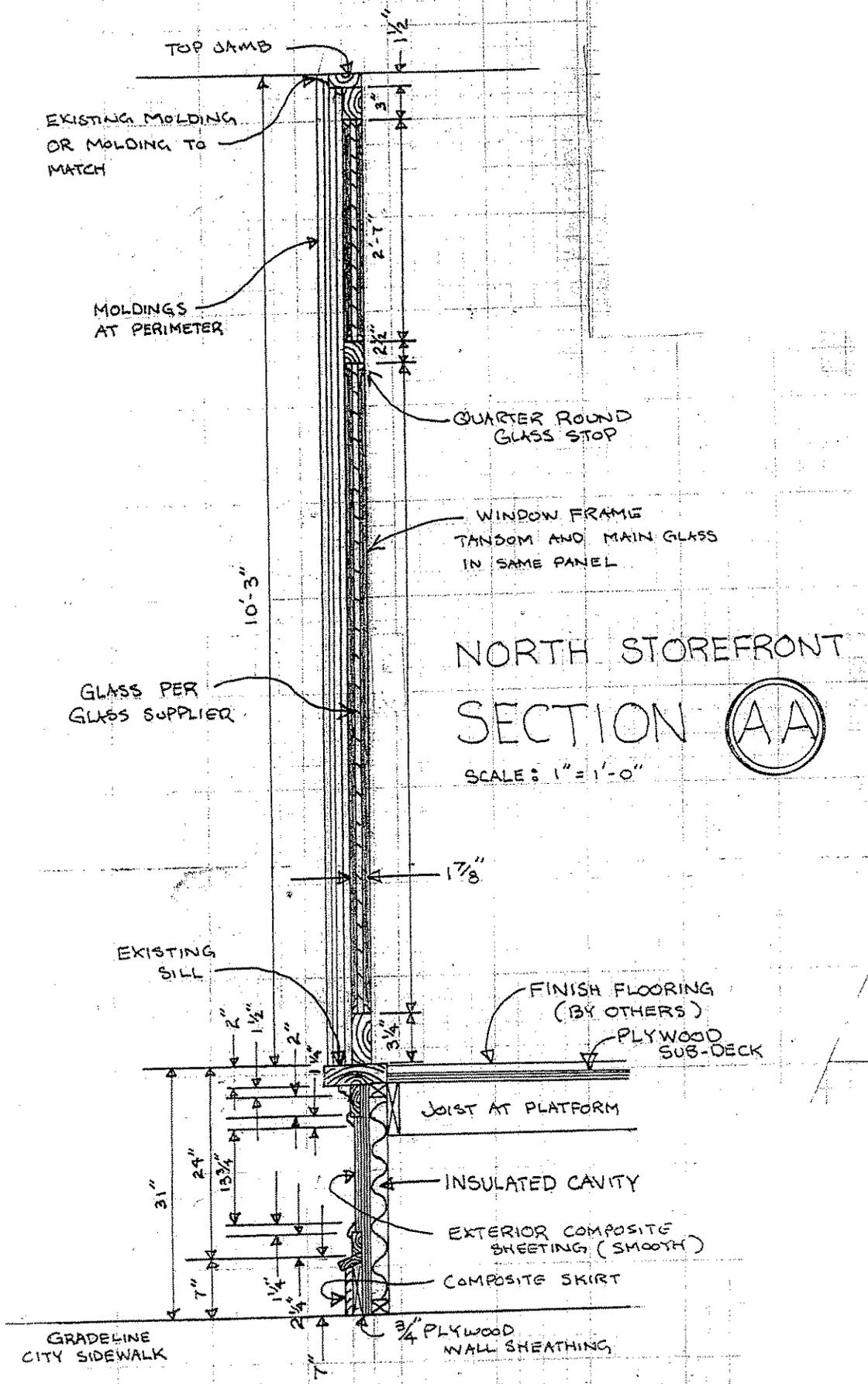


DETAIL  
 NORTH STOREFRONT (B)

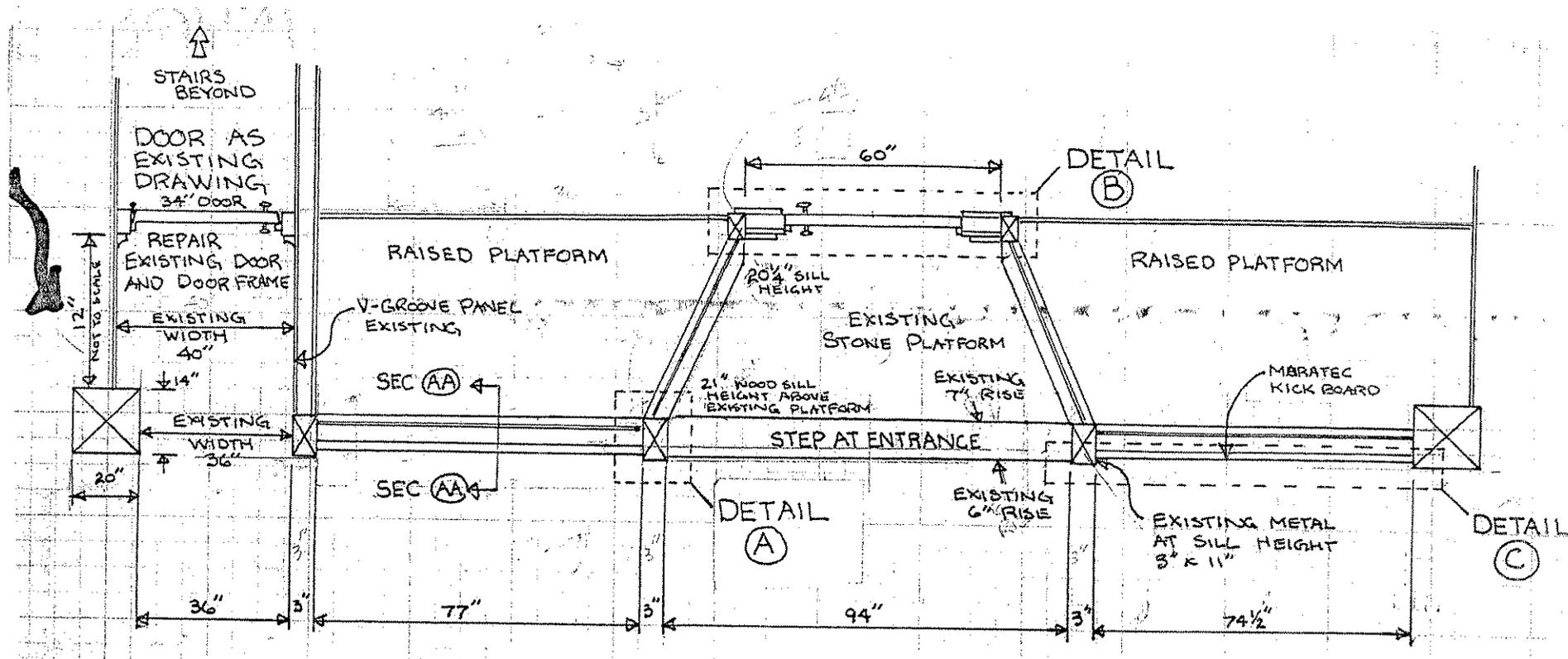


JR ROGERS CUSTOM  
 CARPENTRY

PHONE : 414-617-4934  
 FAX : 262-532-9878

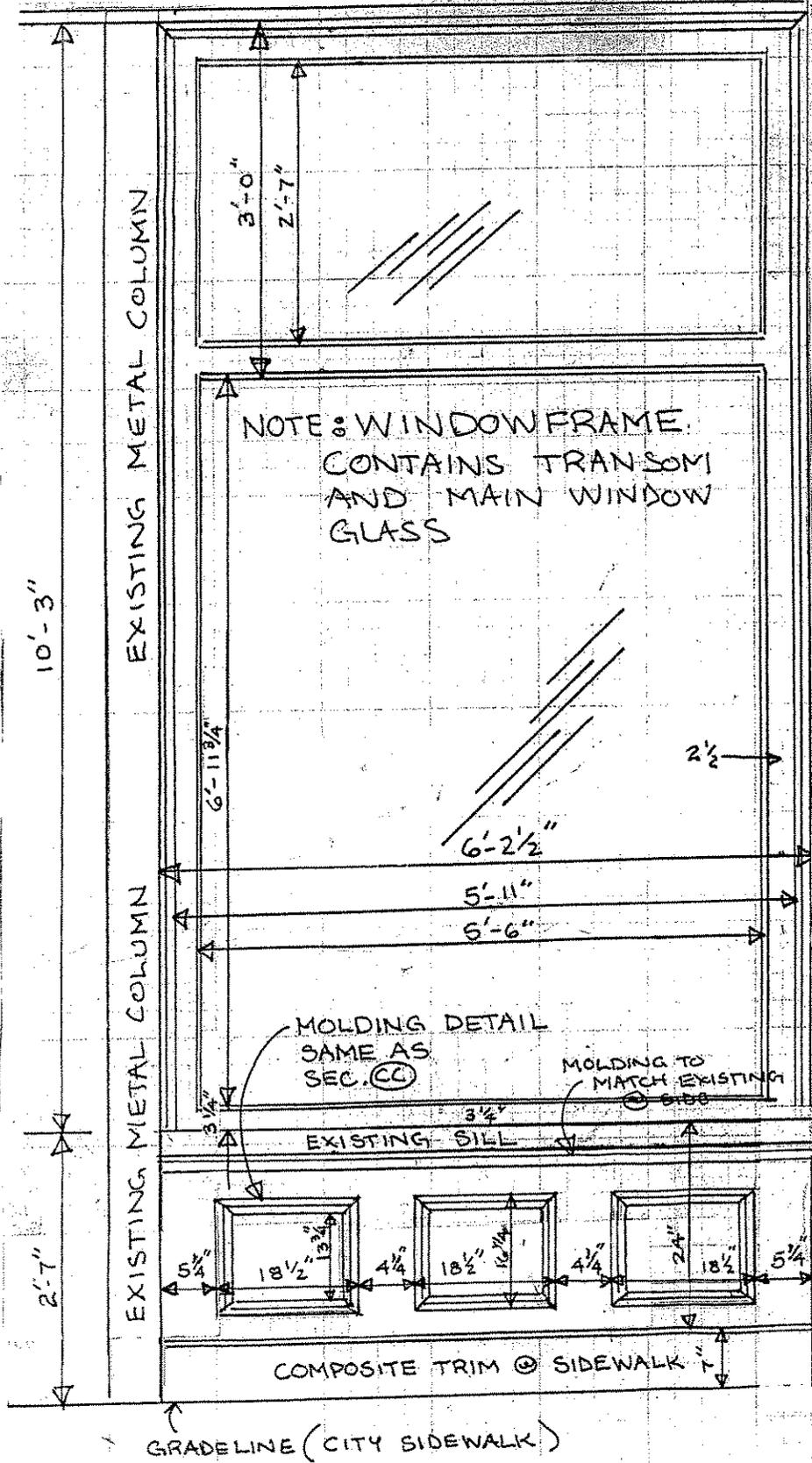


7



NORTH STOREFRONT LAYOUT

SCALE: 1/2" = 1'-0"



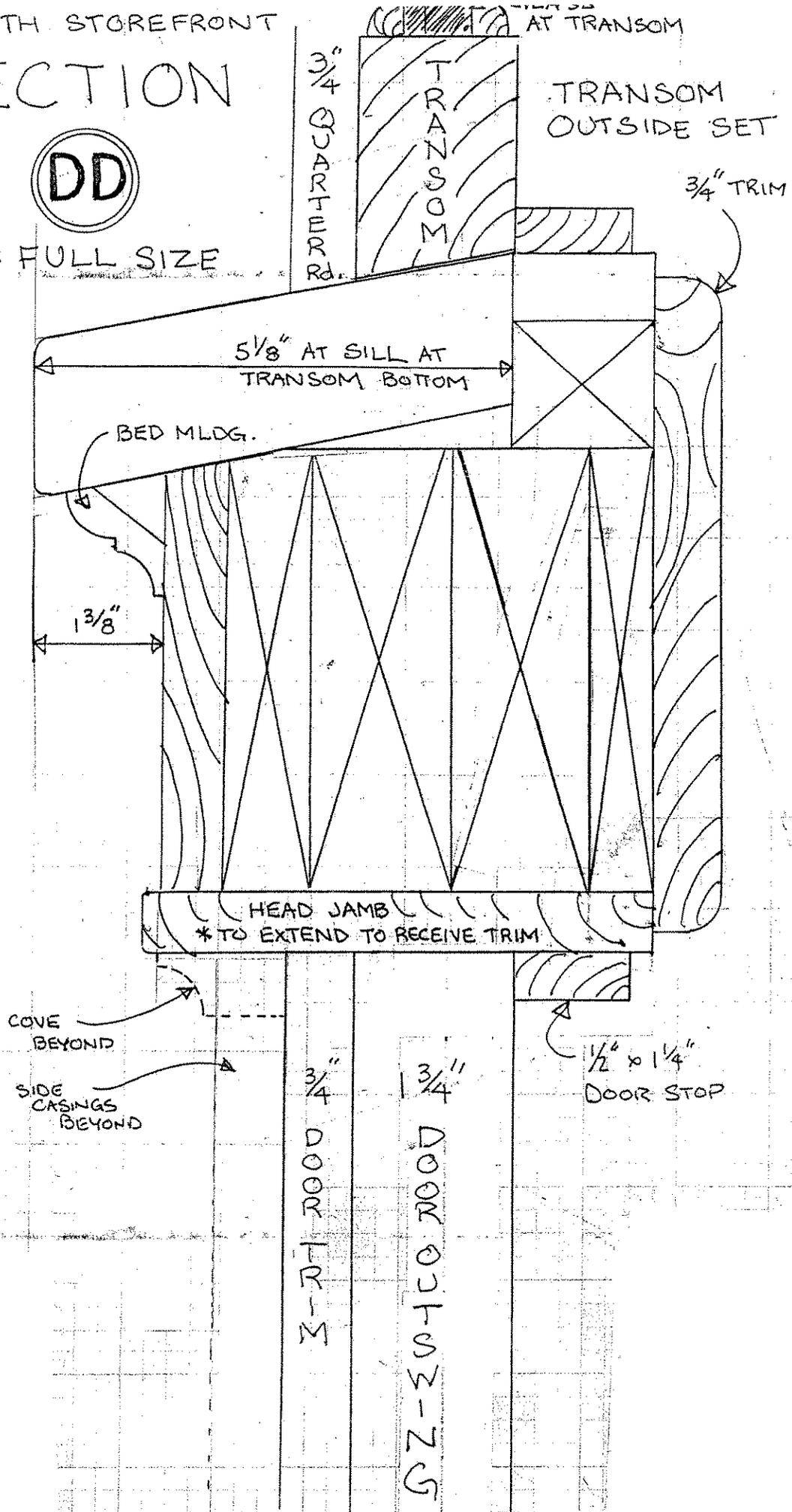
DETAIL ©  
NORTH STOREFRONT

NORTH STOREFRONT

# SECTION



SCALE: FULL SIZE



3-21 ROD 3/4"

52-2510 ROD 3/4"

1/2" x 1/4" DOOR STOP

COVE BEYOND

SIDE CASINGS BEYOND

HEAD JAMB  
\* TO EXTEND TO RECEIVE TRIM

BED MLDG.

5/8" AT SILL AT  
TRANSOM BOTTOM

1 3/8"

3/4" BRACKET R.

TRANSOM

TRANSOM  
OUTSIDE SET

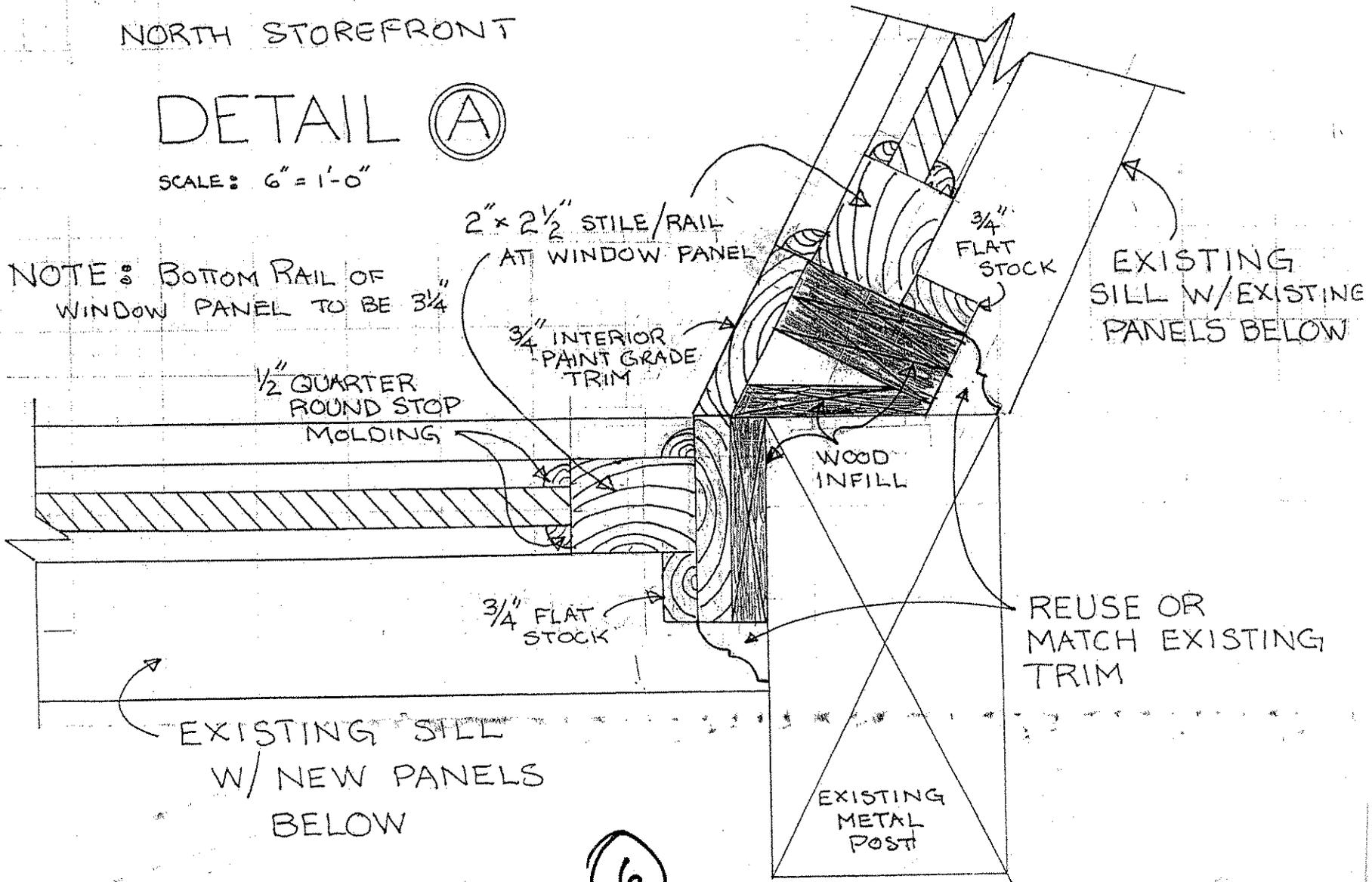
3/4" TRIM

NORTH STOREFRONT

DETAIL (A)

SCALE: 6" = 1'-0"

NOTE: BOTTOM RAIL OF WINDOW PANEL TO BE 3/4"



6



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

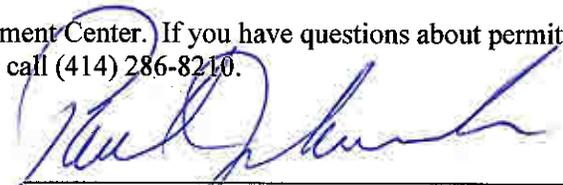
**Property** 2002 N. MARTIN L KING JR DR.  
**Description of work** Install parking lot and related landscaping; build new pedestrian ramp to back door.  
**Date issued** 3/22/2007 PTS ID 40903 COA - Parking and Landscaping

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff. Boxwood bushes must be closely spaced in a line (no more than 18" on center); otherwise a double row of bushes must be installed if spacing is wider. (See code requirements.)

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

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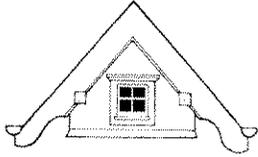



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City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael McGee, Inspector Bill Richter (286-2518)

MAYER DUNER BUILDING



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

**Property** 2000-06 N. MARTIN L KING JR DR.  
**Description of work** Replace existing double hung windows on all sides with matching new wood windows.  
**Date issued** 11/29/2006 PTS ID 14425 COA.

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff. Replacement windows shall be the same size and configuration of the existing windows. Windows will be made of wood both inside and out. All finish wood must be smooth and free from knots and sapwood. All wood must be painted as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased. Repair and tuckpoint brickwork as needed. New mortar must match old in terms of color, texture and joint finish. Please note that mortar, which is too hard, is prone to premature failure. See "Good for Business" masonry chapter for a detailed explanation. Extensive tuckpointing requires review and approval of a test panel before work begins.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakobovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@mkedcd.org](mailto:pjakub@mkedcd.org).

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City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael McGee, Contractor JR Rogers Carpentry, Inspector Bill Richter (286-2518)