



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property

1943 E. TROWBRIDGE ST.

Description of work

Exterior Repair Restoration: Tuckpoint exterior as needed. Install new asphalt shingle roof. New concrete cap for rooftop ventilation. Re-line gutters.

Date issued

4/28/2008

PTS ID 49271 COA, tuckpointing, roof replacement

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The work must be done according to the attached drawings and/or photos; any changes must be approved by HPC staff.

New mortar must match old in terms of color, texture and joint finish. Please note that mortar, which is too hard, is prone to premature failure. See "Good for Business" masonry chapter for a detailed explanation. New/replacement cream brick must match original in terms of size, color and texture. No trim or other fixtures may be removed.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Tony Zielinski, Inspector Clarence Goyette (286-2540)



PHOTO #1: Damaged brick above windows from leaking gutters would be repaired and roof shingles replaced



PHOTO #2: Damaged brick and stone above windows would be replaced

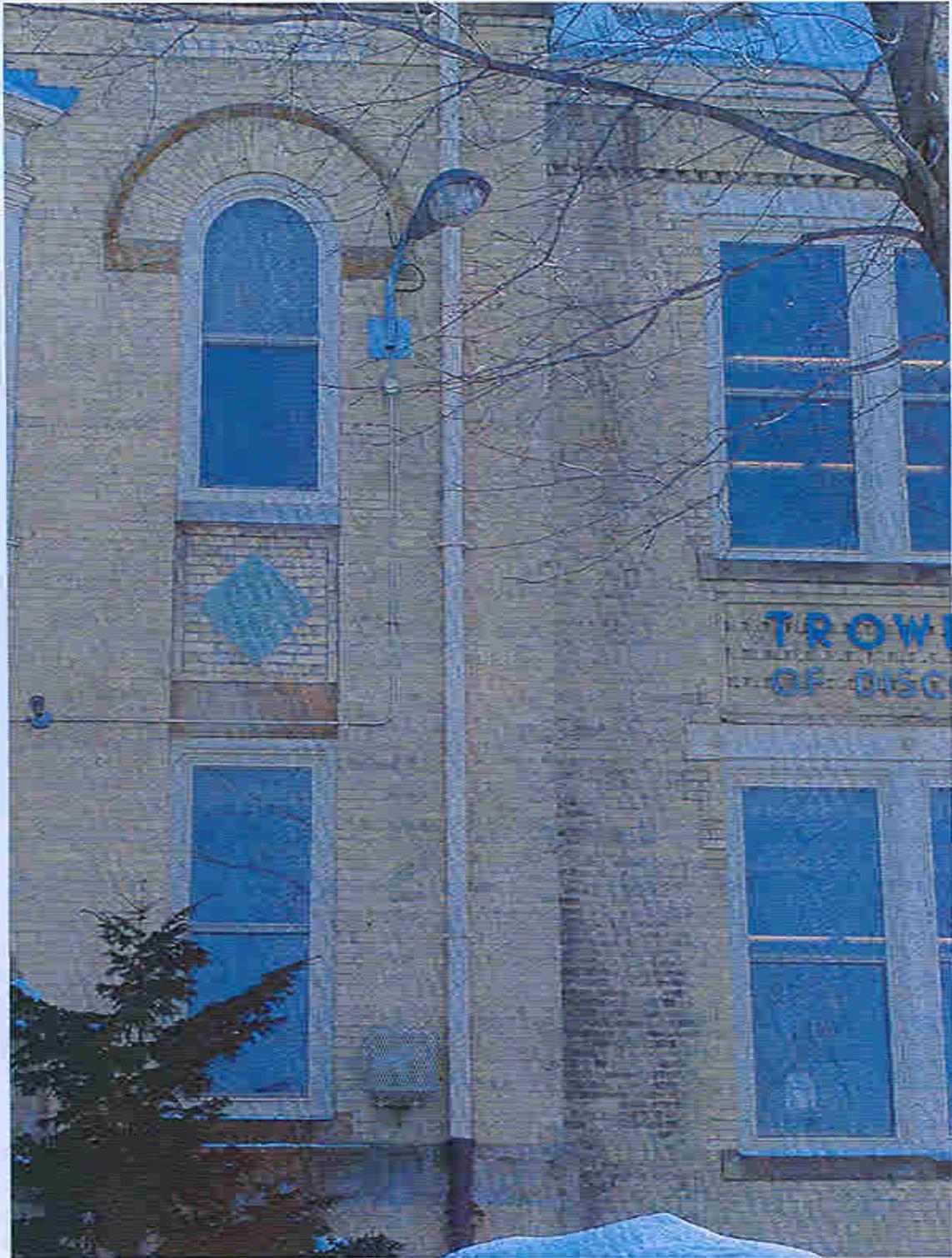


PHOTO #3: Damaged brick from leaking gutter above would be replaced



PHOTO #4: Damaged brick from leaking gutter above would be replaced

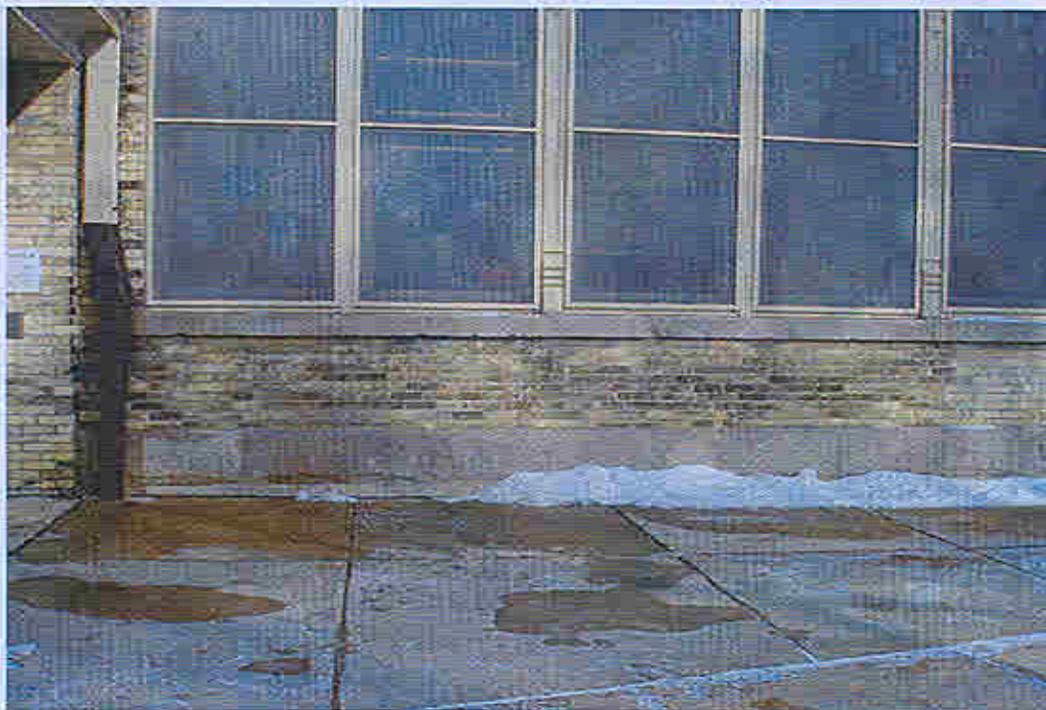


PHOTO #5: Damaged brick and stone at south elevation from leaking downspout would be replaced



PHOTO #6: Damaged/open brick joints would be replaced



PHOTO #7: Damaged/open brick joints would be replaced

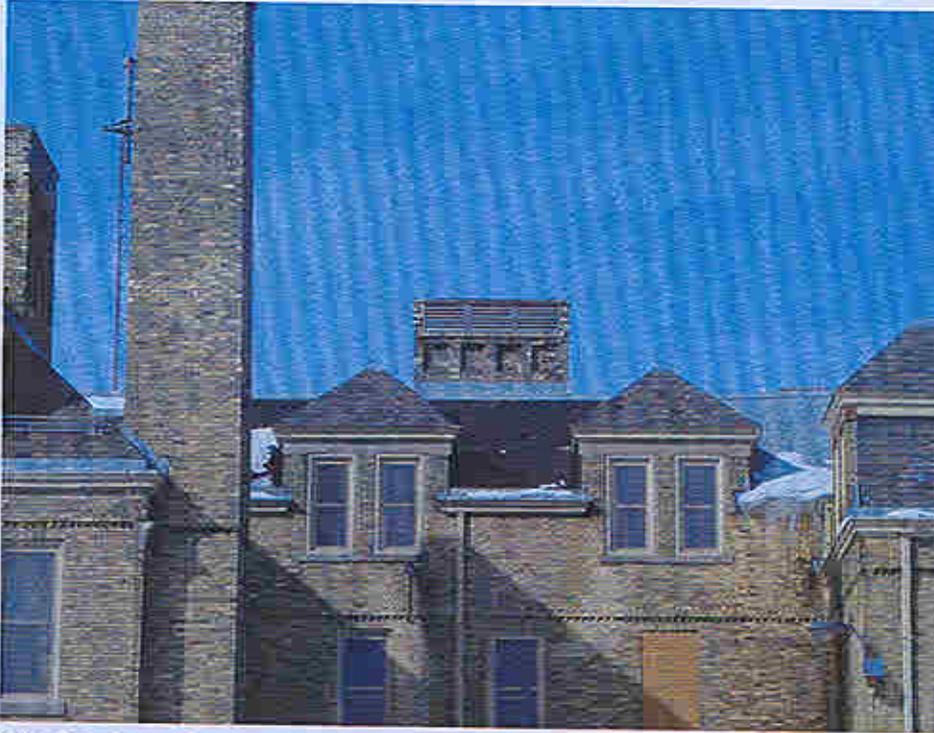


PHOTO #8: Existing slate and asphalt shingles and standing seam metal roofing would be replaced with new asphalt shingles. Wood gutters would remain with new liners installed



PHOTO #9: Existing slate and asphalt shingles and standing seam metal roofing would be replaced with new asphalt shingles. Wood gutters would remain with new liners installed



NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

Work to be done according to these specifications.

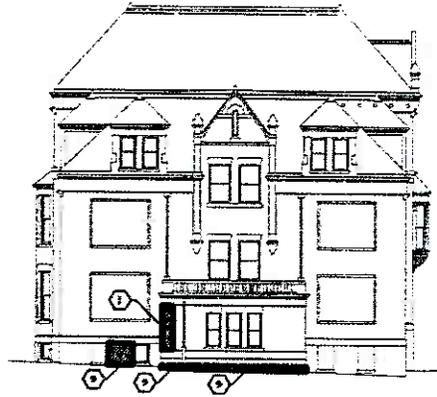
ALL WORK ON THIS PROJECT SHALL BE CONPLETED TO REPLICATE THE ORIGINAL MASONRY CONSTRUCTION IN ALL ASPECTS OF APPEARANCE, COLOR, TEXTURE, BOND PATTERNS, ETC.

IRONBRIDGE ELEMENTARY SCHOOL - NUMBERED NOTES:

- ① REMOVE AND REPLACE ALL CRACKED AND SPALLED BRICK.
- ② TUCKPOINT 100% REMOVE AND REPLACE ALL CRACKED AND SPALLED BRICK.
- ③ TUCKPOINT 20% MINIMUM REMOVE AND REPLACE ALL CRACKED AND SPALLED BRICK.
- ④ TUCKPOINT EAST FACING WALL 20% MINIMUM REMOVE AND REPLACE ALL CRACKED AND SPALLED BRICK.
- ⑤ TUCKPOINT AIR SHUNT 20% MINIMUM REMOVE AND REPLACE ALL CRACKED AND SPALLED BRICK.
- ⑥ REMOVE AND REPLACE EXISTING POURED CONCRETE CAP.
- ⑦ CLEAN, GRIND, AND PRIME STEEL LINTEL. RECALLK WITH DACKER ROD.

IRONBRIDGE ELEMENTARY SCHOOL - GENERAL NOTES:

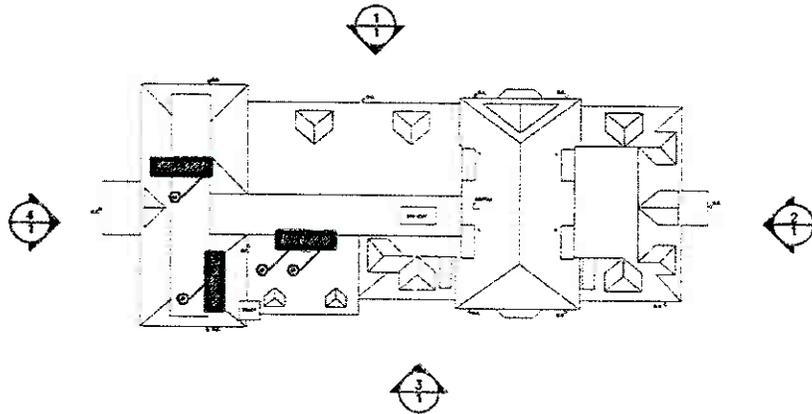
CUT OUT AND RECALLK ALL STONE JOINTS.

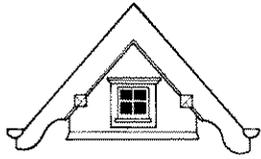


⊕ EAST ELEVATION
1/8" = 1'-0"



⊕ WEST ELEVATION
1/8" = 1'-0"





Certificate of Appropriateness

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Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

Property 1943 E. TROWBRIDGE ST.
Description of work Replace all exterior doors and transoms.
Date issued 10-20-2006 PTS ID 31920 COA - Door & Transom Window Replacement

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Replacement doors shall be the same size and configuration of the existing and will be made of fiberglass reinforced polyester (FRP). No trim or other fixtures may be removed. Repair and tuckpoint brickwork as needed. Any mortar for repairs must match old in terms of color, texture and joint finish. Please note that mortar, which is too hard, is prone to premature failure. See "Good for Business" masonry chapter for a detailed explanation. Transom windows will be glazed with clear glass (not tinted) and will feature aluminum frames trimmed to match original wood profiles.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@mkedcd.org.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. T. Anthony Zielinski, MPS - John A. Linn, Inspector Dave Leonard (286-2560)



West Entrance Doors

All existing doors to be replaced with FRP Doors and new hardware. Glazed lites to be similar in appearance to match original door openings.

Trowbridge Street School – Exterior Door Replacement



EPPSTEIN UHEN
ARCHITECTS

313 East Chicago Street
Milwaukee, WI 53212
Tel: 414 271-5556 Fax: 414 271-7754
222 West Washington Ave. Suite 802
Milwaukee, WI 53233
Tel: 414 442-5252 Fax: 414 442-5883

PROJECT
MPS - TROWBRIDGE
SCHOOL - EXTERIOR DOOR
REPLACEMENT PROJECT

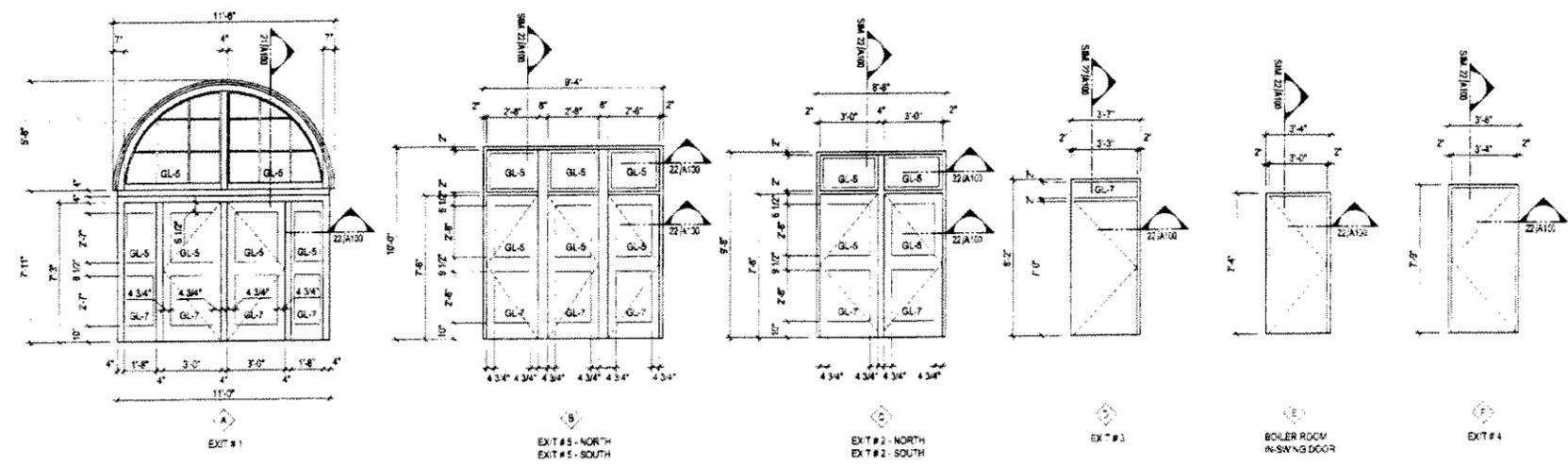
1943 E. TROWBRIDGE ST.
MILWAUKEE, WI



11 NORTH ELEVATION
1/8" = 1'-0"

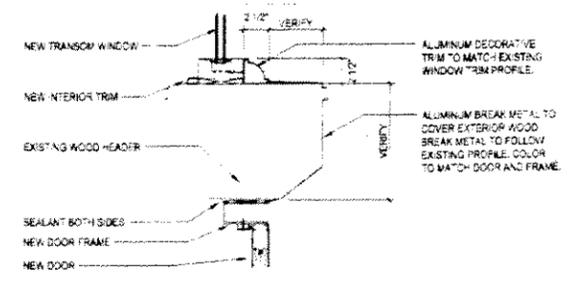
GLASS TYPE DESIGNATION KEY	
NOTES:	
1	SEE GLAZING SPECIFICATIONS SECTION FOR FURTHER DESCRIPTION OF GLASS OR PANEL TYPES
2	ALL DIMENSIONS ARE APPROX. CONTRACTOR TO FIELD VERIFY SIZE OF DOORS AND SIDE LITES.
3	UNLESS NOTED OTHERWISE, ALL GLAZING WINDOWS, TRANSOMS AND SIDE LITES SHALL BE GL-6.

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION



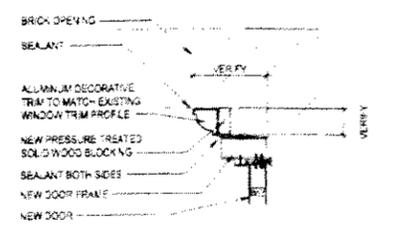
13 DOOR SCHEDULE
1/4" = 1'-0"

NOTE:
PROFILE OF OPENING IS AN ASSUMPTION BASED ON FIELD OBSERVATION. IF ALUMINUM TRIM IS NOT REQUIRED TO COVER SCAR DURING INSTALLATION, CONTRACTOR SHALL PROVIDE A CREDIT TO THE OWNER.

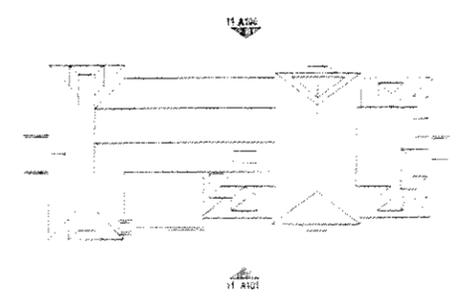


21 DOOR HEAD DETAIL
3/16" = 1'-0"

NOTE:
PROFILE OF OPENING IS AN ASSUMPTION BASED ON FIELD OBSERVATION. IF ALUMINUM TRIM IS NOT REQUIRED TO COVER SCAR DURING INSTALLATION, CONTRACTOR SHALL PROVIDE A CREDIT TO THE OWNER.



22 DOOR JAMB DETAIL (HEAD SIMILAR)
1/16" = 1'-0"



NOTE: THERE ARE NO OTHER EXTERIOR DOORS ON OTHER ELEVATIONS BESIDES THOSE INDICATED ABOVE.

24 KEY PLAN
NOT TO SCALE

BID SET
SHEET TITLE
EXTERIOR ELEVATIONS,
DOOR ELEVATIONS, KEY
PLAN AND NOTES

PROJECT MANAGER: JUV
PROJECT NUMBER: 306174-01
DATE: APRIL 28, 2006
SHEET NUMBER:

A100