

Brewers Hill H.D.



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property

1849 N. PALMER ST., Chris Banaszak, owner

Description of work

Enlarge basement windows in south basement block wall to provide windows for new habitable rooms; restore existing wood windows. Install new vertical board skirting on front porch; install new, custom, copper, high-back gutters on north and south sides of roof; relocated electrical service to back of south elevation; replace missing water table boards. Install new wood (both inside and out) combination storm/screen windows. Install 6 foot tall wood privacy on back (west) lot line.

Date issued

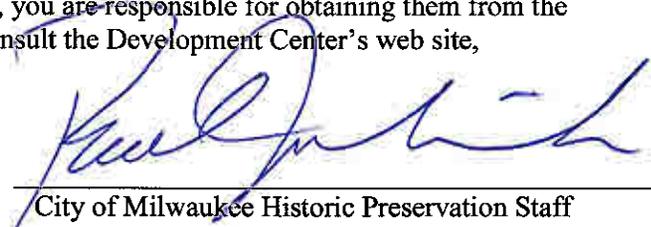
1/4/2008

PTS ID 46663 COA, new enlarged basement windows, porch work

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photos and specifications. New windows in basement wall (south elevation will be wood (both inside and out). Brick molding on new windows will be simple, flat boards. Inside face of new openings in basement in basement walls will be finish smooth cement plaster. The cement can be stained, if necessary, to make it blend with the existing bare concrete block foundation. Existing exposed concrete blocks foundation will not be painted or stained. Fence will be painted or stained to protect it from the weather.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov. If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.



City of Milwaukee Historic Preservation Staff

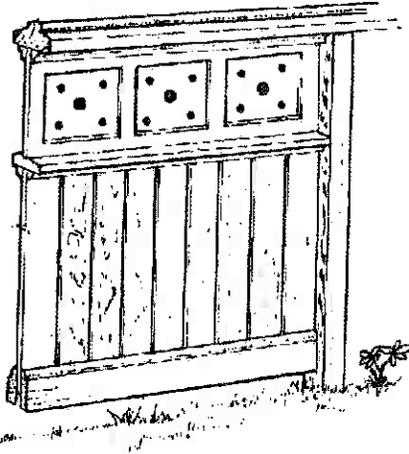
Copies to: Development Center, Ald. Michael McGee, Inspector Bill Richter (286-2518)

Fences

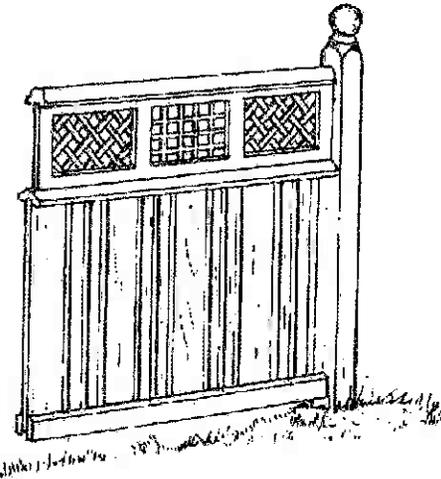


Custom Privacy Fences

Building a custom privacy fence is not required by the preservation ordinance, but these designs are intended to show a few of the many alternatives to the standard, off-the-shelf, privacy fences usually built today. Years ago, fences were often individually designed to reflect the architecture of the house and this is still possible today.



Victorian/Arts and Crafts, 1870-1900



All Styles, 1870-1930

Privacy Fence on rear lot line can be any one of these stock designs or the ones on the next page. However, countless other fence designs are possible with prior HPC staff approval.

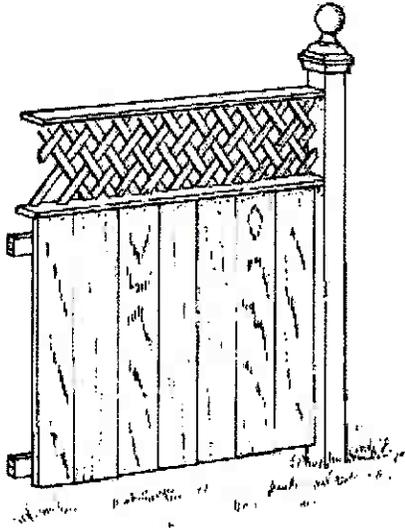


All Styles, 1860-1935

Fences

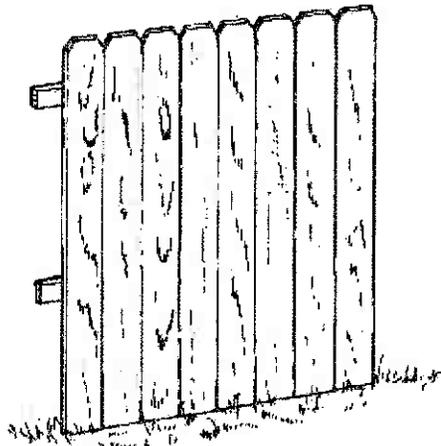


Common Privacy Fences



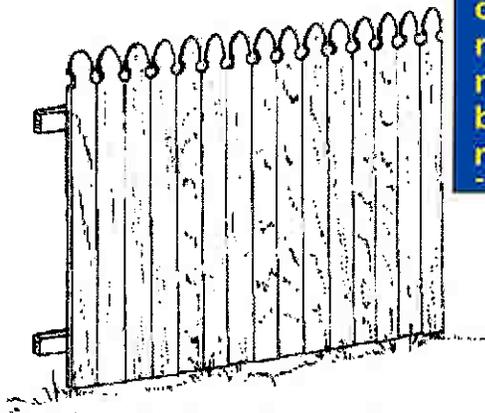
Board and lattice, also called a "treillage fence"

A privacy fence, which is intended to obstruct the view into a yard, should only be built in rear yards. The privacy fences on this page are compatible with most houses built before 1940. Most of these styles are available at building supply stores in ready-made sections or can be built from stock lumber. The finished side of a privacy fence must always face out to the public right-of-way or the neighboring property.

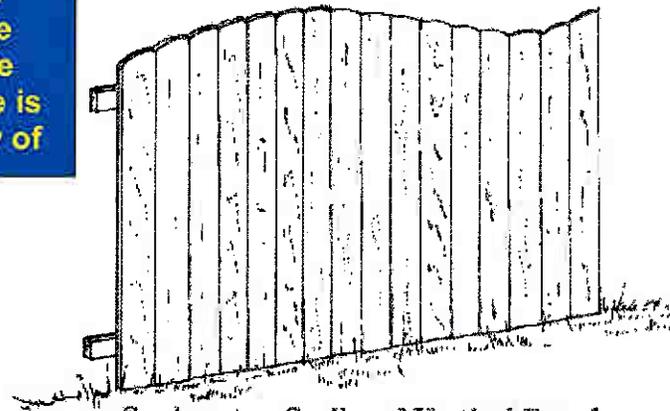


Dog Ear Vertical Board

Additional privacy fence designs that can be built on the rear lot line. Please note that a separate building for a fence is required in the City of



French Gothic Vertical Board



Sunburst or Scalloped Vertical Board

1849 N Palmer Street Window/Door Opening Sizes

East Elevation (Front)

	<i>Opening Size</i>	<i>Window Type</i>
3-Bay Window Bank	28" X 60 1/2"	Exterior Wood Combination Storm
	28" X 60 1/2"	Exterior Wood Combination Storm
	28" X 60 1/2"	Exterior Wood Combination Storm
Top Window	24 3/8" X 24 3/4"	Exterior Wood Combination Storm
	24" X 24"	Interior Sash

North Elevation (sidewalk side)

	<i>Opening Size</i>	<i>Window Type</i>
Living Room - east	24" X 31"	Exterior Wood Combination Storm
Living Room - west	24" X 31"	Exterior Wood Combination Storm
Dining Room	31 1/8" X 61 1/2"	Exterior Wood Combination Storm
Back Stairway	36" X 54"	Rough Opening Size
Back Stairway	36" X 80"	4-Panel Entry Door

Specifications for wood combination storm/screen windows. Rear entry door can be all-wood four panel. Other designs can be installed with prior approval from HPC staff.

1849 N Palmer Street Window/Door Opening Sizes (pg 2/2)

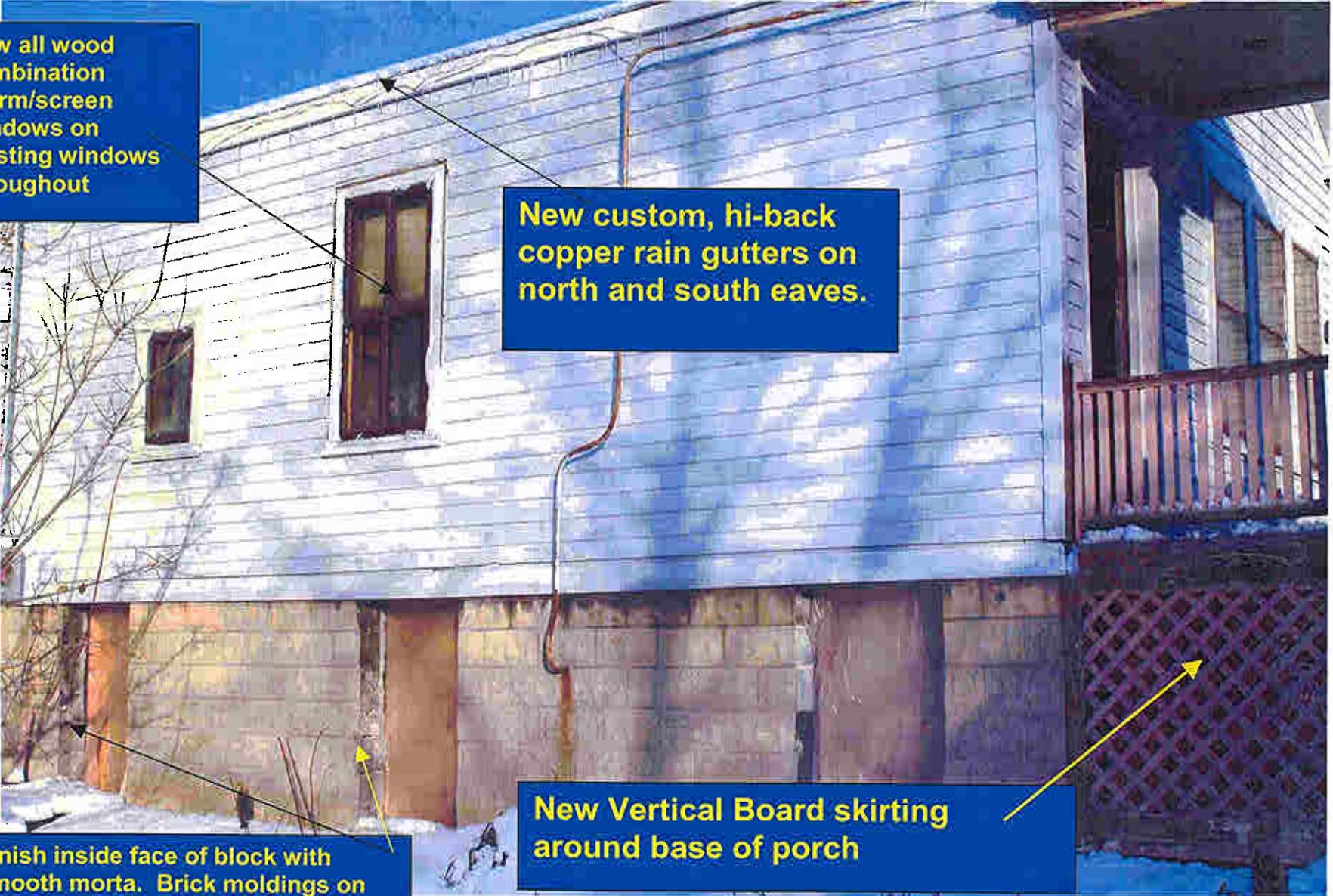
West Elevation (back)

	<i>Opening Size</i>	<i>Window Type</i>
Bathroom	22 1/4" X 53 3/4"	Exterior Wood Combination Storm
Bedroom	22 7/8" X 53 1/2"	Exterior Wood Combination Storm

South Elevation (exposed side)

	<i>Opening Size</i>	<i>Window Type</i>
Basement - East 1	32" X 50"	Double Hung w/Laminate Glass (20 min. fire rated)
Basement - East 2	32" X 50"	Double Hung w/Laminate Glass (20 min. fire rated)
Basement - Middle	32" X 50"	Double Hung w/Laminate Glass (20 min. fire rated)
Basement - West 1	32" X 50"	Double Hung w/Laminate Glass (20 min. fire rated)
Basement - West 2	32" X 50"	Double Hung w/Laminate Glass (20 min. fire rated)
East Window	31 1/8" x 62"	Exterior Wood Combination Storm
Little Kitchen	20 7/8" X 32 3/8"	Exterior Wood Combination Storm
Bedroom - East	28" X 53 3/4"	Exterior Wood Combination Storm
Bedroom - West	31 1/4" X 53 3/4"	Exterior Wood Combination Storm

Specifications for new all wood windows (no aluminum or vinyl clad) in basement on south elevation; Specifications for wood combination storm/screen windows.

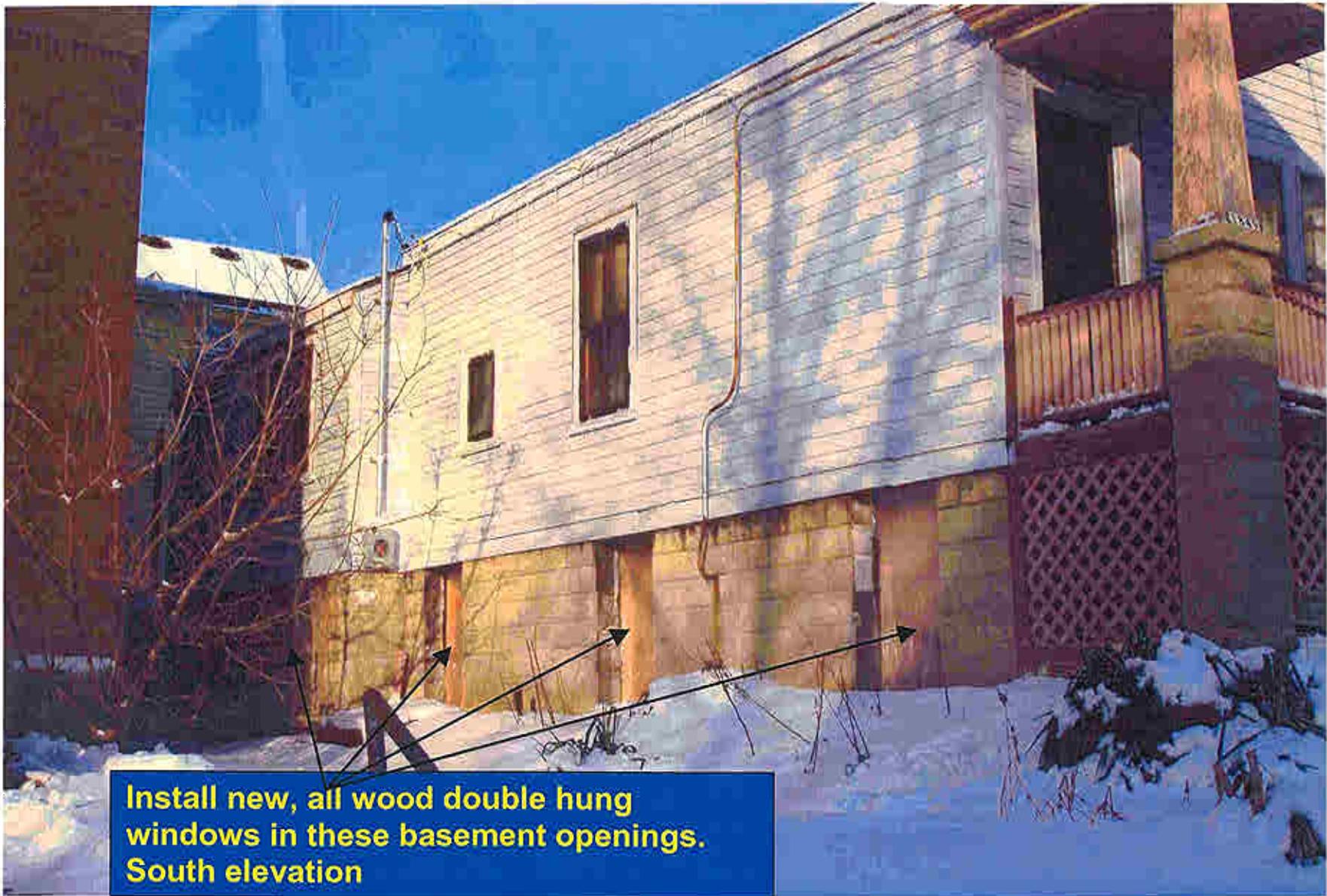


New all wood combination storm/screen windows on existing windows throughout

New custom, hi-back copper rain gutters on north and south eaves.

Finish inside face of block with smooth morta. Brick moldings on new windows will be simple flat boards only.

New Vertical Board skirting around base of porch



Install new, all wood double hung windows in these basement openings. South elevation



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 1849 N. PALMER ST.
Description of work remove existing concrete lawn steps and replace them in kind in the same location. Replace service walk as needed.
Date issued 11/14/2007

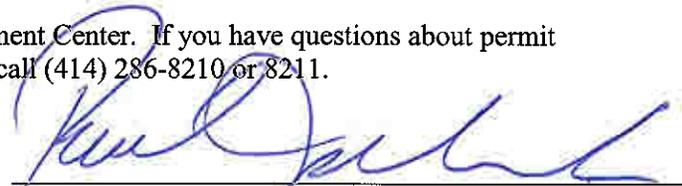
PTS ID 46663 COA, front concrete lawn steps and service walk

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work to do according to attached drawings. Concrete will be poured in same location as existing.

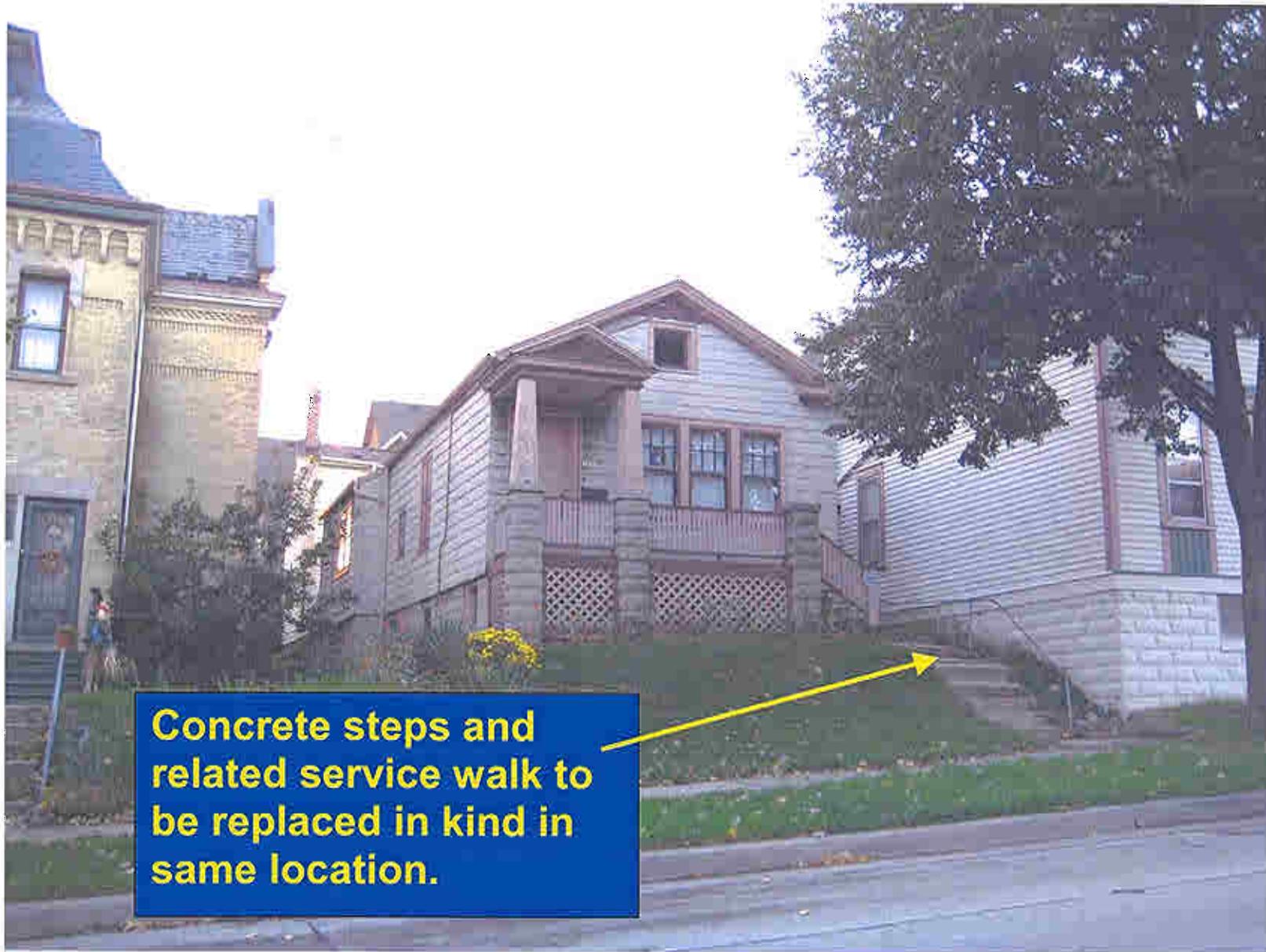
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkcdcd.org/build, or call (414) 286-8210 or 8211.



 City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael McGee, Contractor, Inspector Bill Richter (286-2518)



Concrete steps and related service walk to be replaced in kind in same location.

Brewers Hall H.D.



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5212

Property 1849 N. PALMER ST.
Description of work Phase 1 - Remove substitute siding only.
Date issued 10/26/2007 PTS ID 46663 COA - Phase 1 Remove Siding

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff.
Remove substitute siding only. Owner to remit plans for complete exterior rehabilitation after removal.
No trim or other fixtures may be removed.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael McGee, Inspector Bill Richter (286-2518)

**Substitute siding to
be removed.**



North Elevation



South Elevation

October 2007



West Elevation

**Substitute
siding to be
removed.**



East Elevation

October 2007