



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 1843 N. PALMER ST.
Description of work Install venting for HVAC, bathrooms, kitchen, and laundry. The vents will be located as discussed with HP staff. Specific locations of venting are on attached drawings and documents.
Date issued 8/19/2009 PTS ID 59237 COA Venting

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Vents shall be placed only where shown on attached diagram. Most vents will go through existing window openings with minimal masonry penetrations. All vents shall match the color of the exterior at the penetration. Exterior work is limited to the placement of the vents. A new COA must be issued for any other exterior work. Any 3rd floor bathroom will require approval from Standards and Appeals.

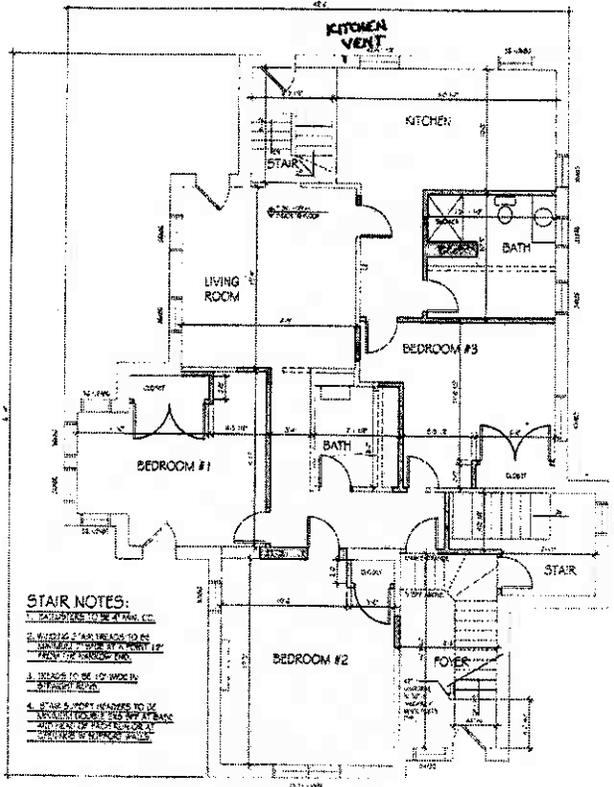
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Carlen Hatala of the Historic Preservation staff as follows: Phone: (414) 286-5722 Fax: (414) 286-0232 E-mail: chatal@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Carlen Hatala
City of Milwaukee Historic Preservation

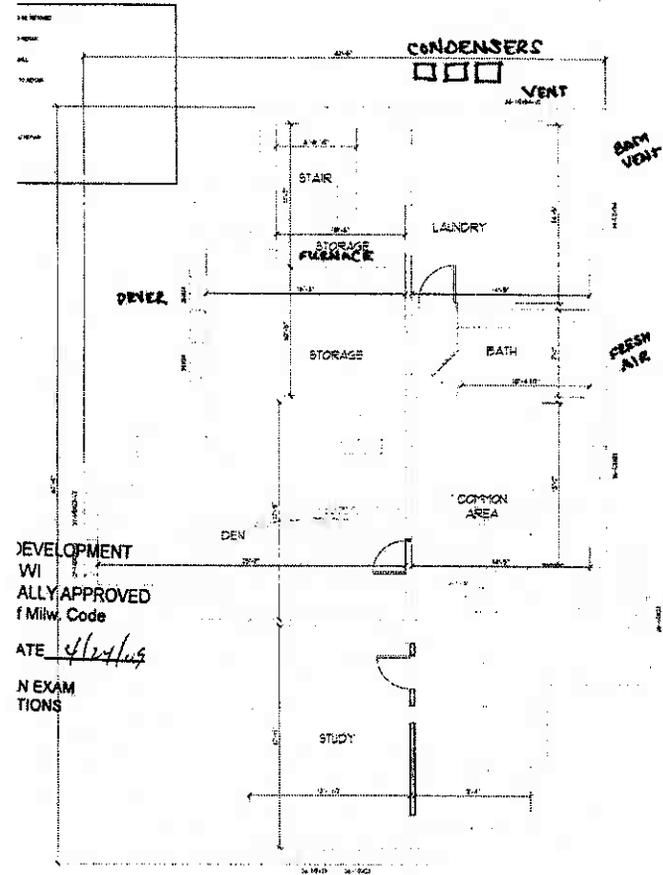
Copies to: Development Center, Ald. Milele Coggs, Contractor, Inspector Bill Richter (286-2518)

Location of Venting for HVAC, bathrooms, kitchen, and laundry 1843 N. Palmer



STAIR NOTES:
 1. FURNISHINGS TO BE INSTALLED BY CONTRACTOR.
 2. BUILDING STAIR WALKS TO BE INSTALLED BY CONTRACTOR.
 3. STAIRS TO BE 42" WIDE BY STAIRWAY CODE.
 4. STAIRS TO BE 48" WIDE BY STAIRWAY CODE.

① UNIT #1 FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

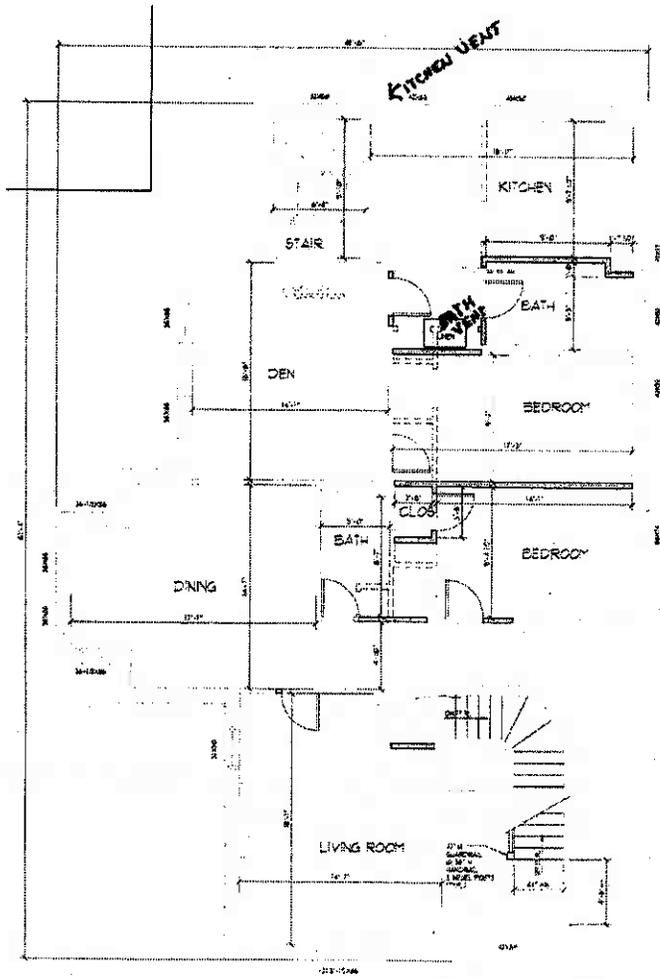


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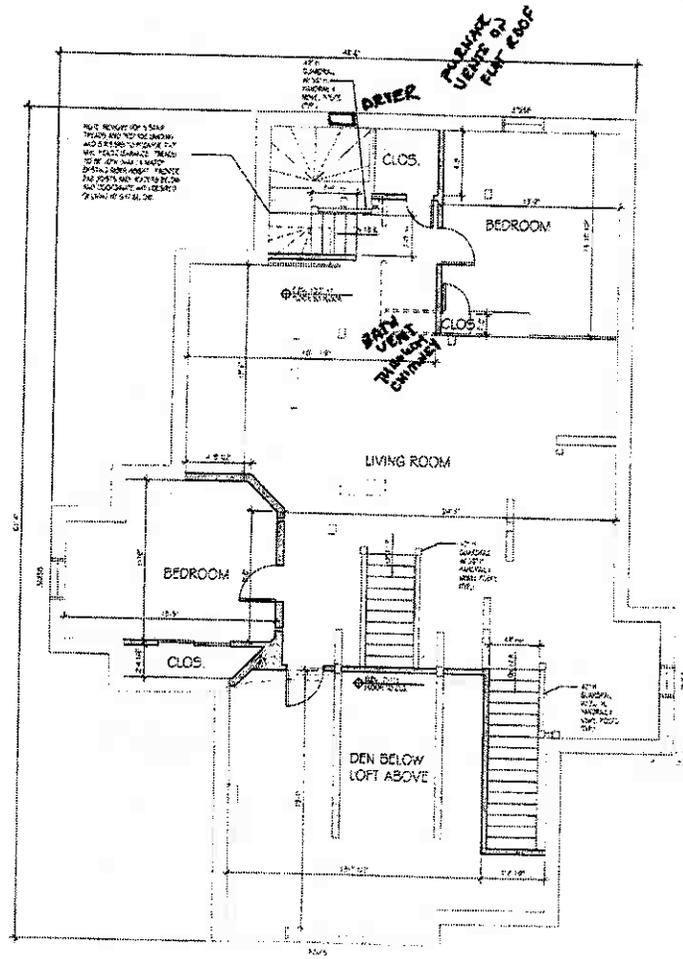
DATE
 NAME

② UNIT #1 BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"





2 UNIT #2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 UNIT #2 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



Locations of required holes for venting at 1843-45 N. Palmer St. Milwaukee, WI 53202

1. We propose sealing the Northwest corner basement window with 5/8" treated plywood that is insulated from the inside. It is not visible from the street, alley, or the house to the North, as there is a concrete retaining wall in front of it. This will provide the Necessary support to run several different vents through on space, and alleviate having to cut holes in the brick wall. We will trim the plywood with the same exterior molding as is currently on the other basement windows and paint. From that one location we will vent one basement dryer vent, one high- efficiency furnace, three HVAC line sets, and one first floor bath vent that will vent down through the chimney. Tan or cream city brick vent covers will be used." Master Exhaust Vent" by Midamerica components.
2. Install one basement bath vent 14" from grade through one windowpane of a divided basement window located in the bathroom itself. It is 31' from the Northwest corner. Tan or cream city brick vent covers will be used." Master Exhaust Vent" by Midamerica components.
3. Vent the second 1st floor bath down through the basement. It will vent out one pane of a divided pane window in the basement common area. Tan or cream city brick vent covers will be used." Master Exhaust Vent" by Midamerica components.
4. Two bathrooms on the second floor. Venting one out through the chimney, as the distance to vent it through the roof is so great that the airflow will be negligible. Also, it would be in the way of other 3rd floor structural supports. Tan or cream city brick vent covers will be used." Master Exhaust Vent" by Midamerica components.
5. Vent the following through the roof in the rear of the building: one dryer vent, two high-efficiency furnace vent (intake and exhaust), one plumbing stack, and any other necessary plumbing vents. None of the vents will be visible from the street. Also, they may not be visible from the alley due to the large chimney in front of them. In addition, we will spray paint all white PVC roof vents in a slate grey color to blend in better with the roof shingles.
6. Cutting a hole in the rear of the building for the 1st floor kitchen hood vent. It will be approximately 12" above grade and approximately 9" from the Southwest rear corner of the building.
7. Cutting a hole in the rear of the building for the 2nd floor kitchen hood vent. It will be approximately 23' above grade and approximately 9' from the Southwest rear corner of the building.
8. Use electric tankless water heaters (2 less holes in the building.

Note: The various heights are approximate. Future grading and landscaping will vary the heights from grade.

Brewers Hill/Harambee
hist. Dist.



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Property

1843 N. PALMER ST.

Description of work

Roof was damaged from fire. Rafters will be replaced in kind as needed. New sheathing will be installed. The profile of the roof will not be altered. (No dormers, or other added projecting features). New asphalt shingles will be installed on main slope of roof. The slate-sheathed tower roof will not be removed. All slate on it will be preserved intact and spot repairs made as needed.

Date issued

8/28/2008

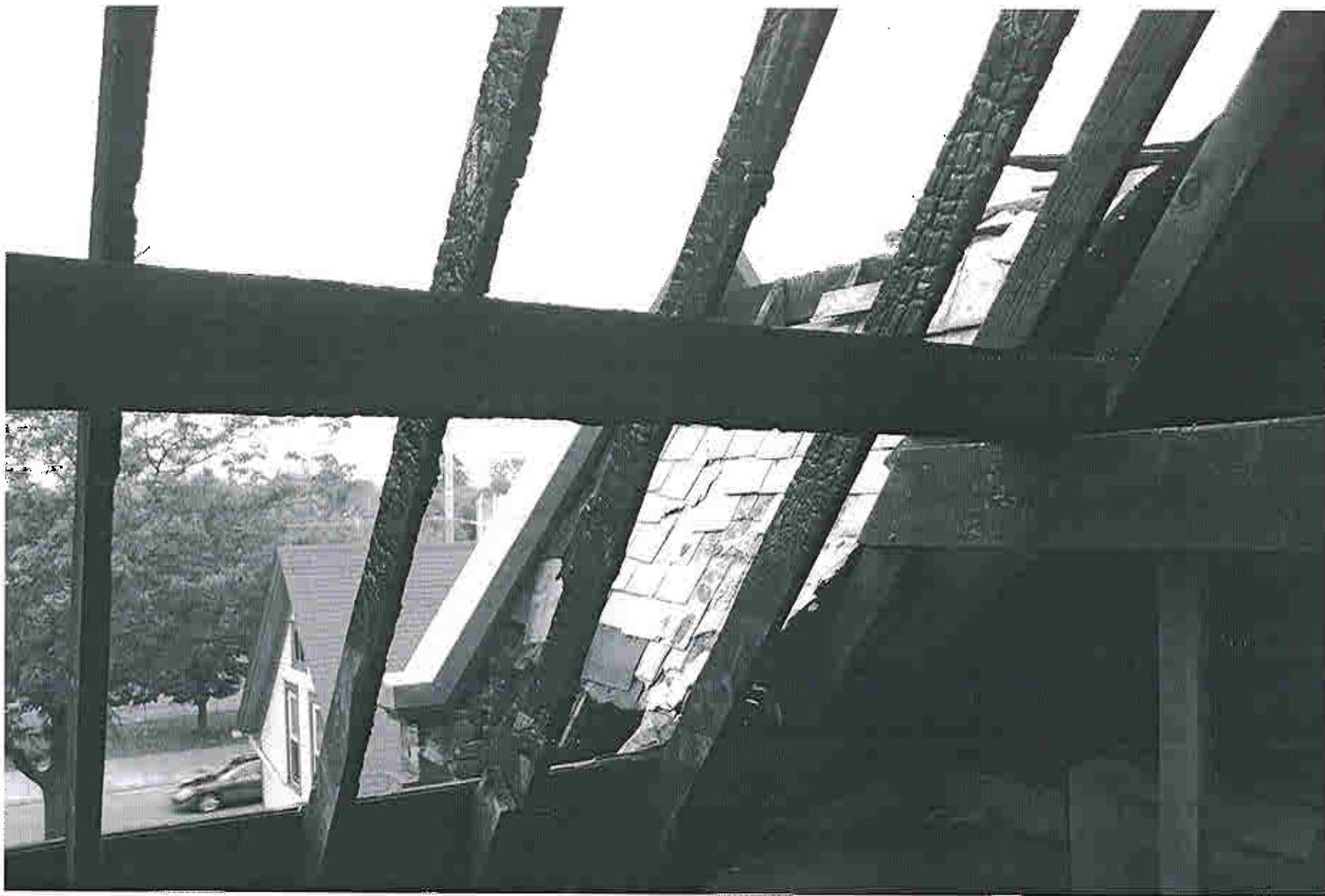
PTS ID 53355 COA, repair roof damaged from fire

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness: COA is only to repair the fire-damaged roof and restore it to its original profile and slope. Shingles will be Oakridge Pro 30 by Owens Corning in Estate Gray color. Continuous ridge vent can be installed. If box vents are installed they must be on the rear slope, not visible from the street and painted out to blend with the color of the roof. Any plumbing vents must be on the rear slope of the roof and not visible from the street. Chimneys will not be altered. **The faceted roof at the top of the building must be restored to its original condition as it was before the fire. See attached photo. Owner will consult with HPC staff during construction process to ensure this important detail and the roof is properly reconstructed.**

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov. If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Paul Jakubovich
City of Milwaukee Historic Preservation Staff

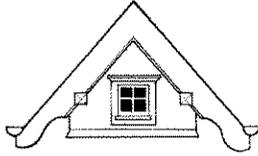
Copies to: Development Center, Ald. Milele Coggs, Inspector Bill Richter (286-2518)



Present condition of roof. Replace rafters as needed, Resheath roof and install new asphalt shingles as specified on main slopes. Tower roof must remain slate and cresting on tower must remain intact.



Ca. 1890 Photo of the house
Note: The hip roof at the top must be restored to this condition as it was before the fire. Crown moldings and fascia must be restored to this condition. Consult with HPC staff as the construction process proceeds to ensure this detail is properly constructed.



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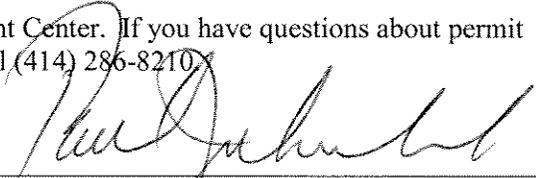
Property 1843 N. PALMER ST.
Description of work Roof repair/replacement on south slope only.
Date issued 9/7/2006 PTS ID 37161 COA-Roof repair

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Shingles will be GAF - Timberline 30 year -slate grey; or Elk - Prestique 30 year -clay color; or Owens Corning - Oakridge Pro 30 years Estate – Estate gray. No trim or other fixtures will be removed.

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 City of Milwaukee Historic Preservation Staff

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Drawers Hill



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Property

1843 N. PALMER ST.

Description of work

Install new GAF Timberline Natural Shadow asphalt shingles in slate gray color.
Replace/rebuild wood cornice below hip roof on top of house.

Date issued

1/26/2009

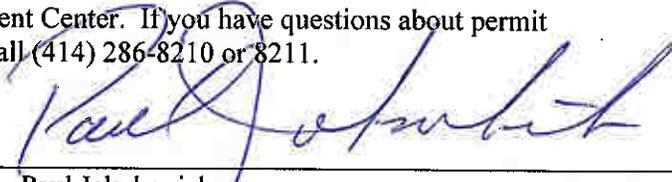
PTS ID 56143 COA, new shingles and replace/rebuild cornice and moldings below hip roof.

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Wood cornice must be rebuilt to match the original (see photo). No features of the roof, such as cornices, chimneys, the tower or gutters will be removed or altered from the original (pre-fire). **NOTE: Construction drawings for the cornice must be reviewed and approved by HPC staff before the cornice is installed.**

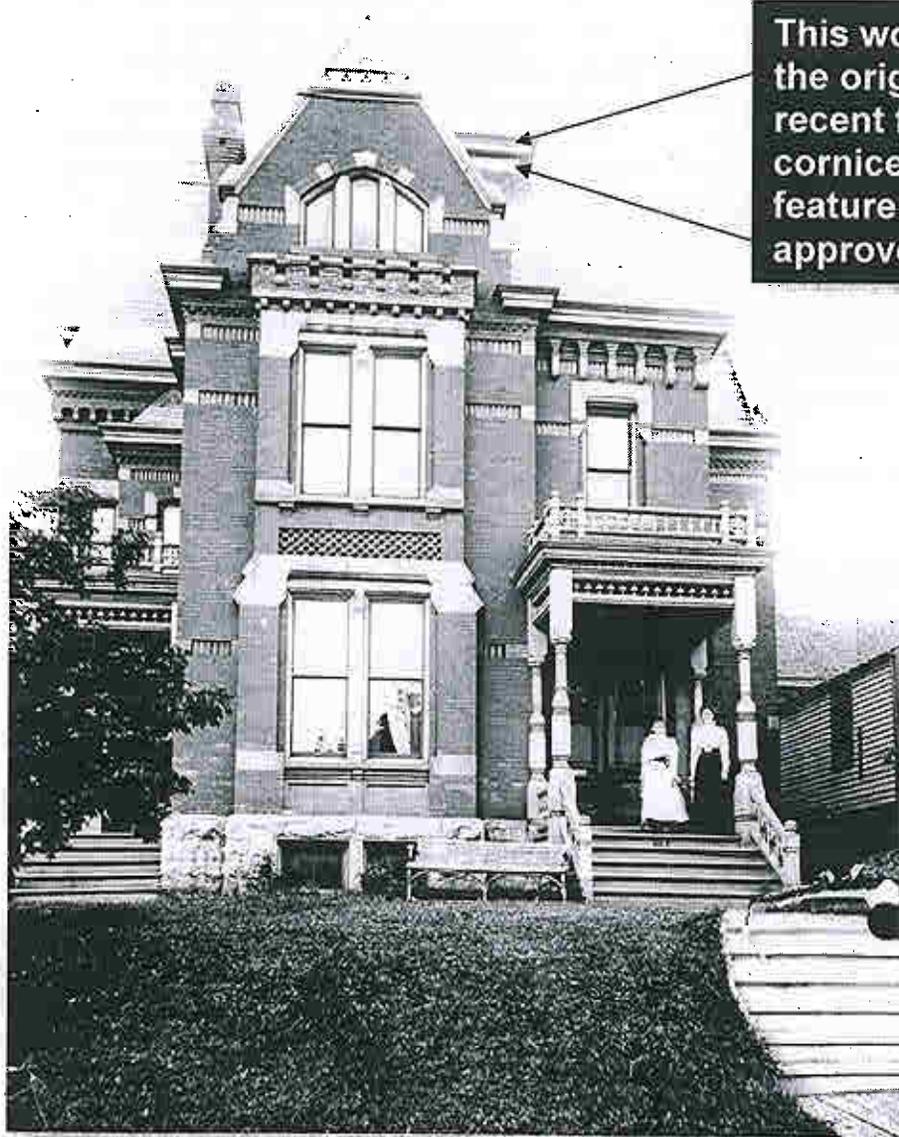
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This wood cornice must be rebuilt to match the original which was damaged in the recent fire. Note the apron below the cornice. Construction drawings for this feature must be reviewed by HPC staff and approved before the cornice is installed