

BREWERS Hill H.D.



LIVING WITH HISTORY

Amended Certificate of Appropriateness

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 1818 N. PALMER ST.

Description of work REBUILD REAR ADDITION ON ORIGINAL FOUNDATION. CHANGES INCLUDE ROOF TOP DECK AND NEW FENESTRATION. COMPARE WITH PLAN IN COA OF 10-04-2005

Date issued 10/22/2007

PTS ID 13288 COA, AMENDED FOR REAR ADDITION

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

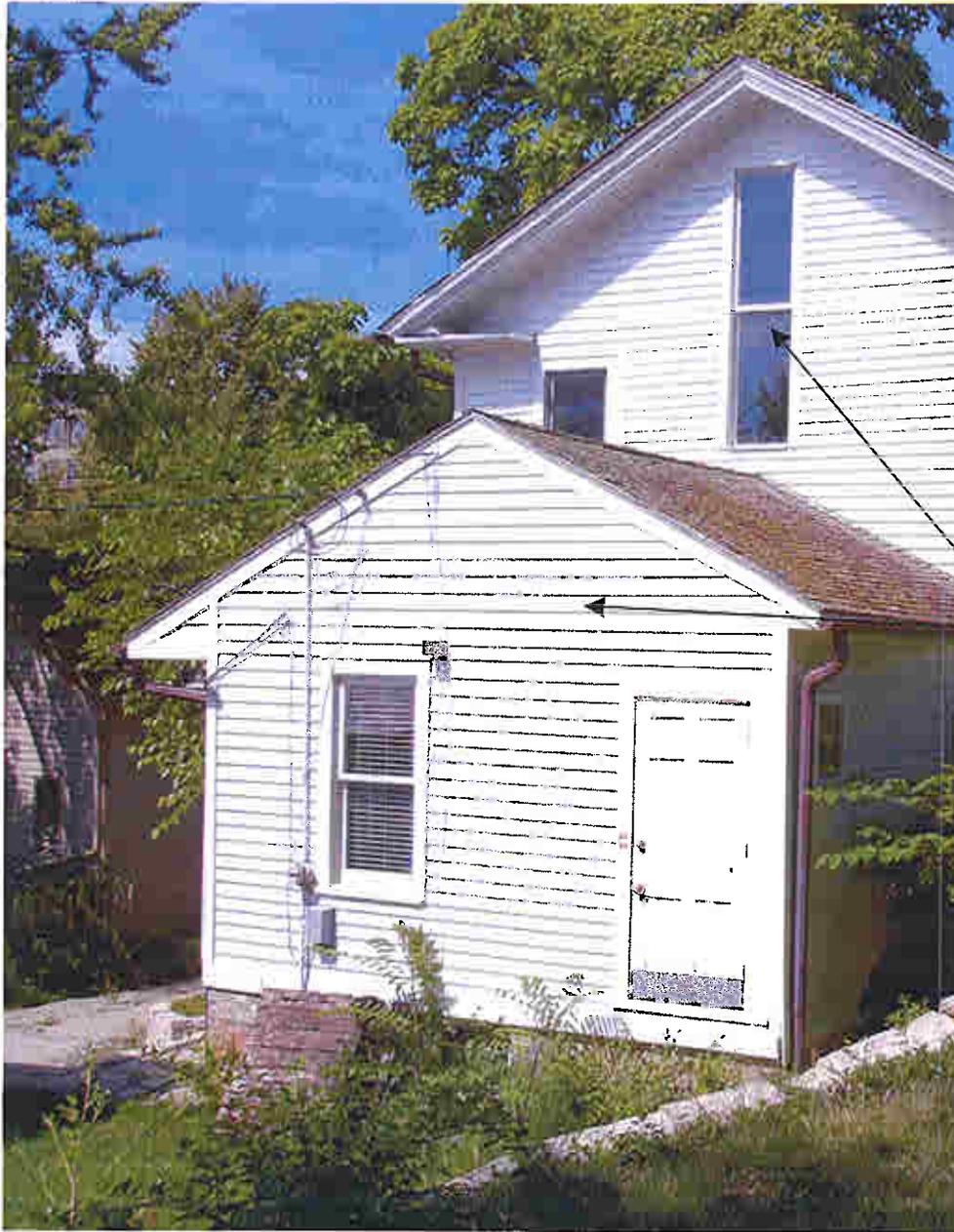
All work must be done according to attached drawings. All wood for trim and siding must be smooth and clear of knots and sapwood. Baluster and handrails and newels will be those from or identical to the specified products and models made by Cinder whit (see notes on plans). Siding exposure must match existing on house. All finish wood trim and siding will be painted upon completion Please note that research has shown that when new bare wood is exposed to the elements for a period of a week or two, the life of the paint job applied to it will likely be decreased.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

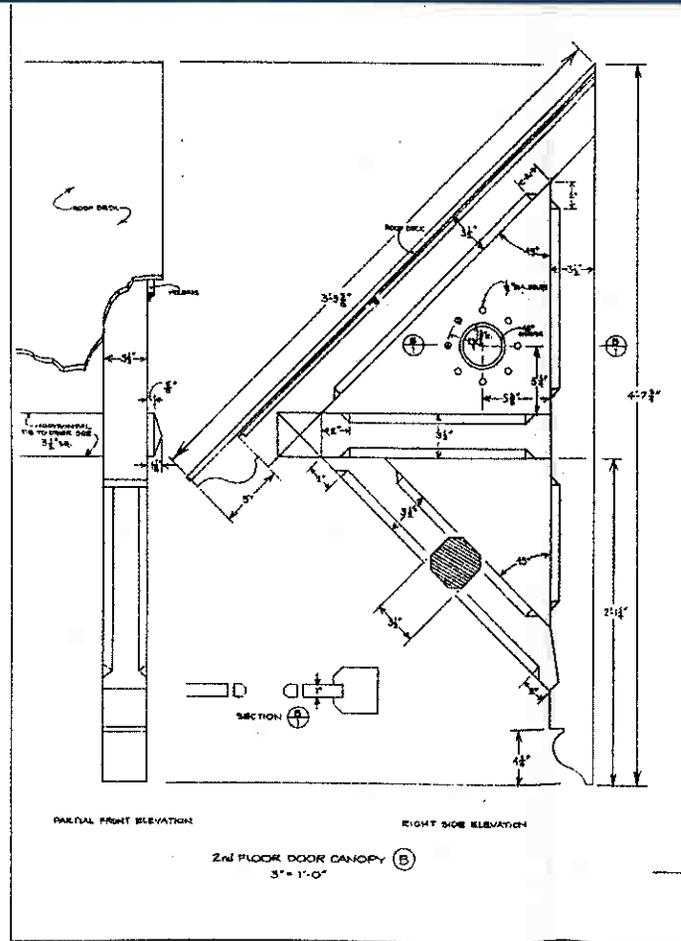
City of Milwaukee Historic Preservation Staff

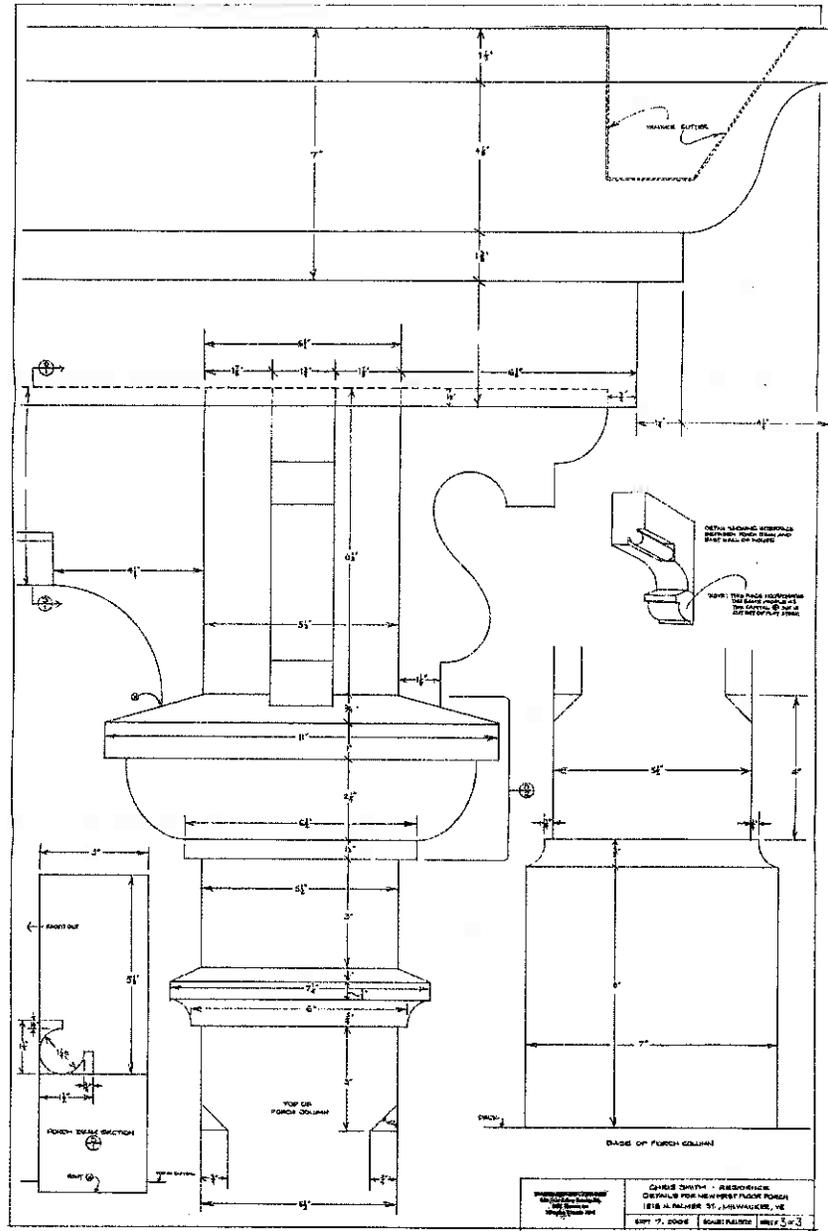
Copies to: Development Center, Ald. Michael McGee, Inspector Bill Richter (286-2518)



Rear one story block to be altered with new porch on first and second story. Window in center of gable on the main house will be altered for a door with a hood.

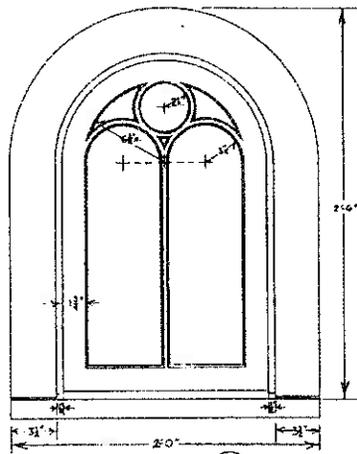
Details of rear hood over door on second story of porch



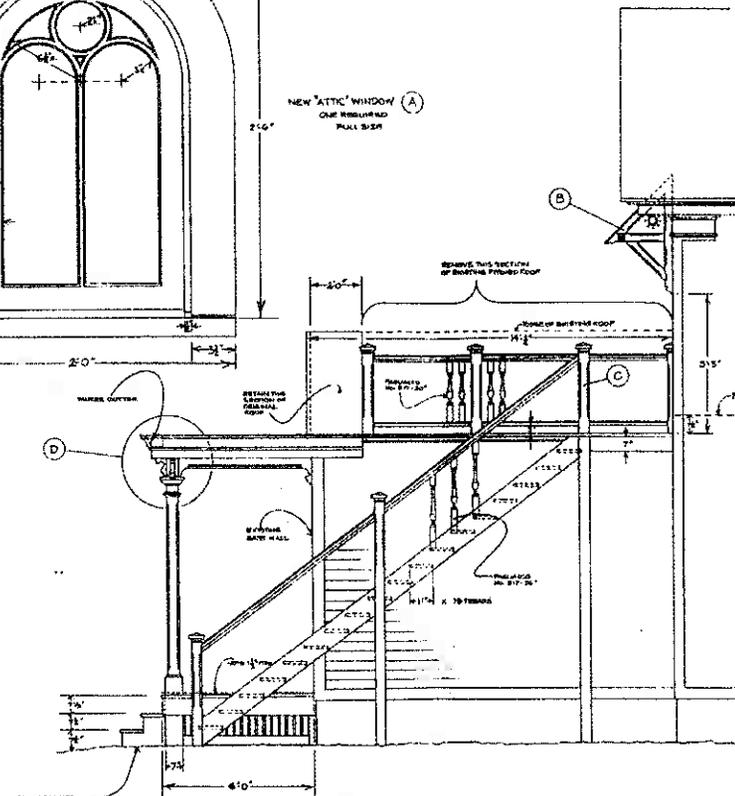


Column capital details

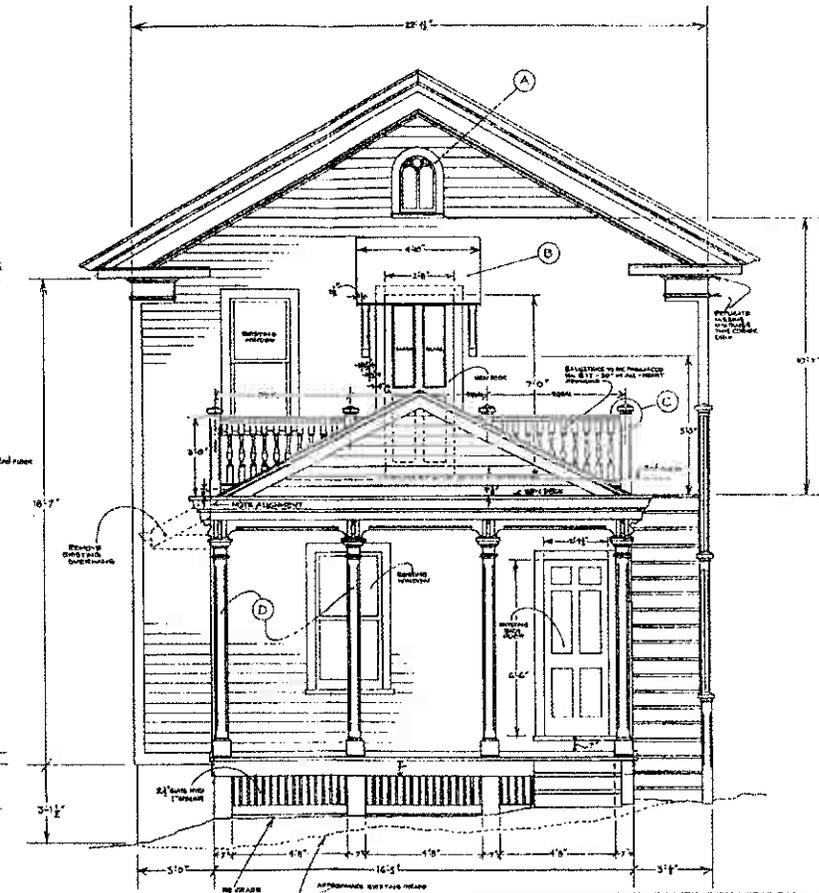
CARLISLE SMITH + ASSOCIATES
 ARCHITECTS
 1818 A PALMER ST., NEW HAVEN, CT
 2008



NEW ATTIC WINDOW (A)
ONE REBUILT
FULL SIZE



ADDITION - NORTH ELEVATION
 $\frac{1}{2}'' = 1'-0''$

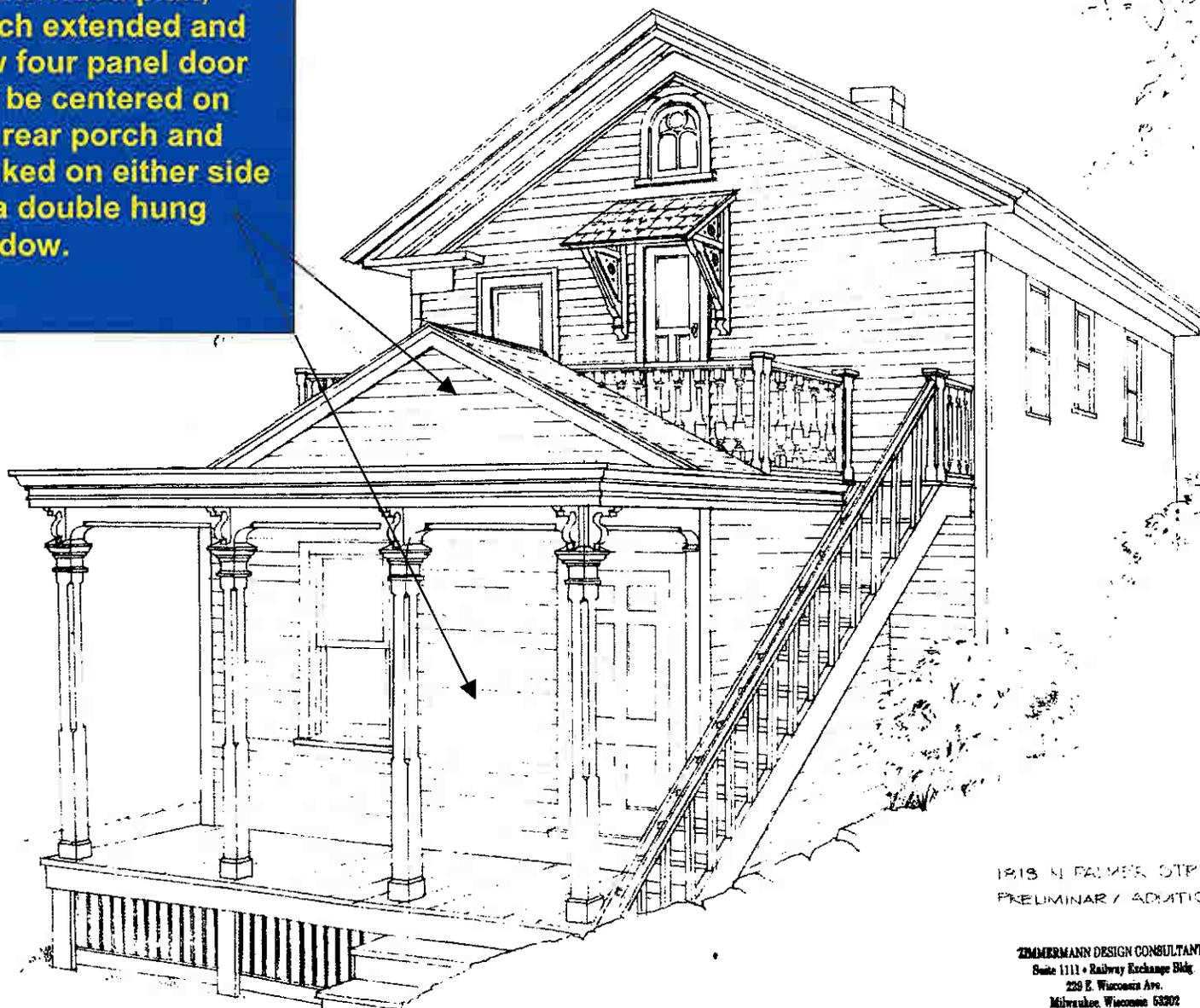


ADDITION - EAST ELEVATION
 $\frac{1}{2}'' = 1'-0''$

CHRIS SMITH - RESTORACE
FIRST & SECOND FLOOR PORCH ADDITIONS
1618 N PALMER ST., MILWAUKEE, WI
SEPT 6, 2007 10/17/AS/NTD SHEET 1 OF 3

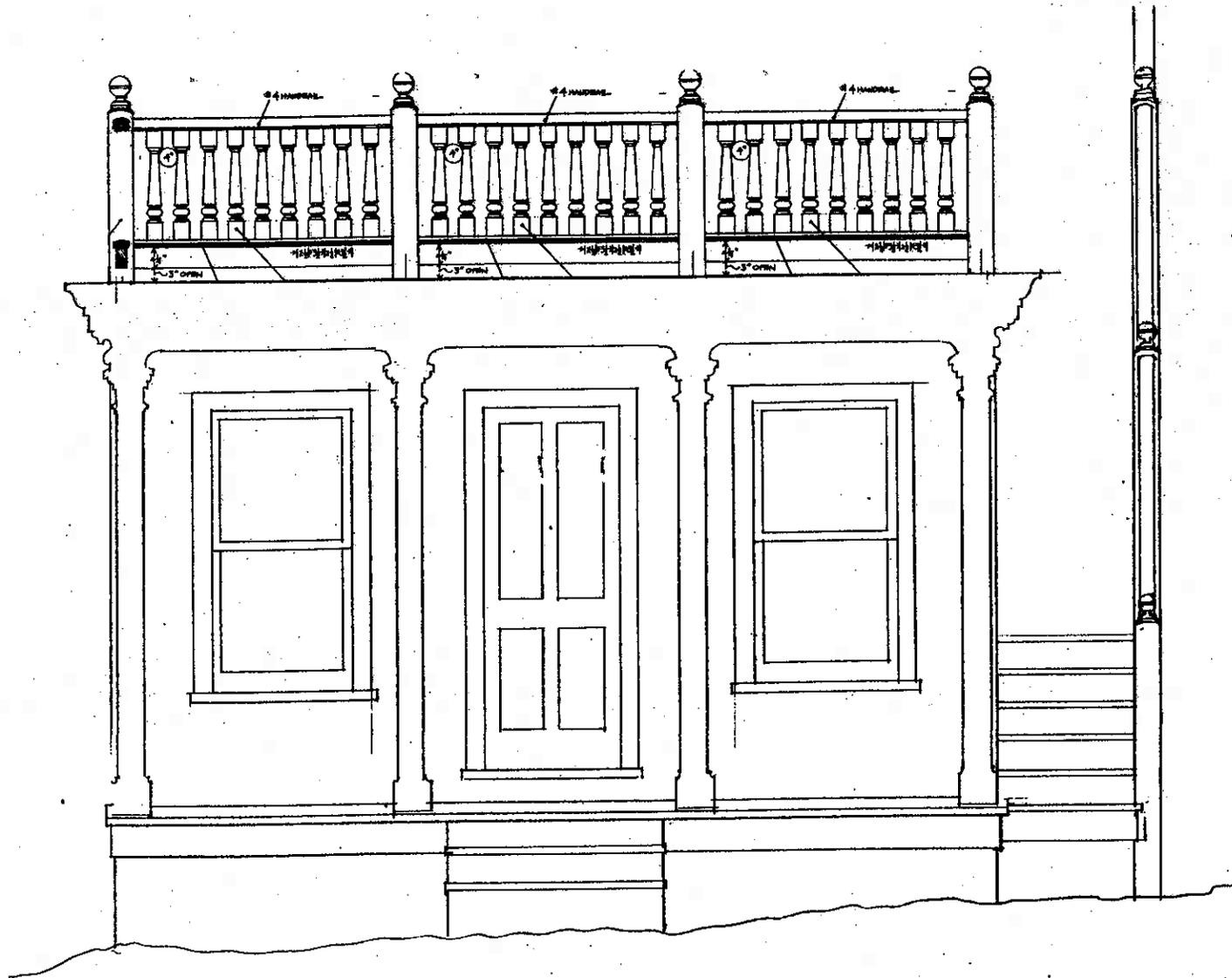
Original approved alterations for rear addition showing a gabled front porch. New amended and approved plan features a flat-roofed rear porch, two additional windows on the north elevation, Central door on the front porch flanked by double hung windows and a revised newel/baluster plan. See those new plans attached to this certificate.

Gable to be removed in Amended plan, porch extended and new four panel door will be centered on the rear porch and flanked on either side by a double hung window.



1818 N. PALMER STREET
PRELIMINARY / ADDITION

ZIMMERMANN DESIGN CONSULTANTS
Suite 1111 • Railway Exchange Bldg
228 E. Wisconsin Ave.
Milwaukee, Wisconsin 53202

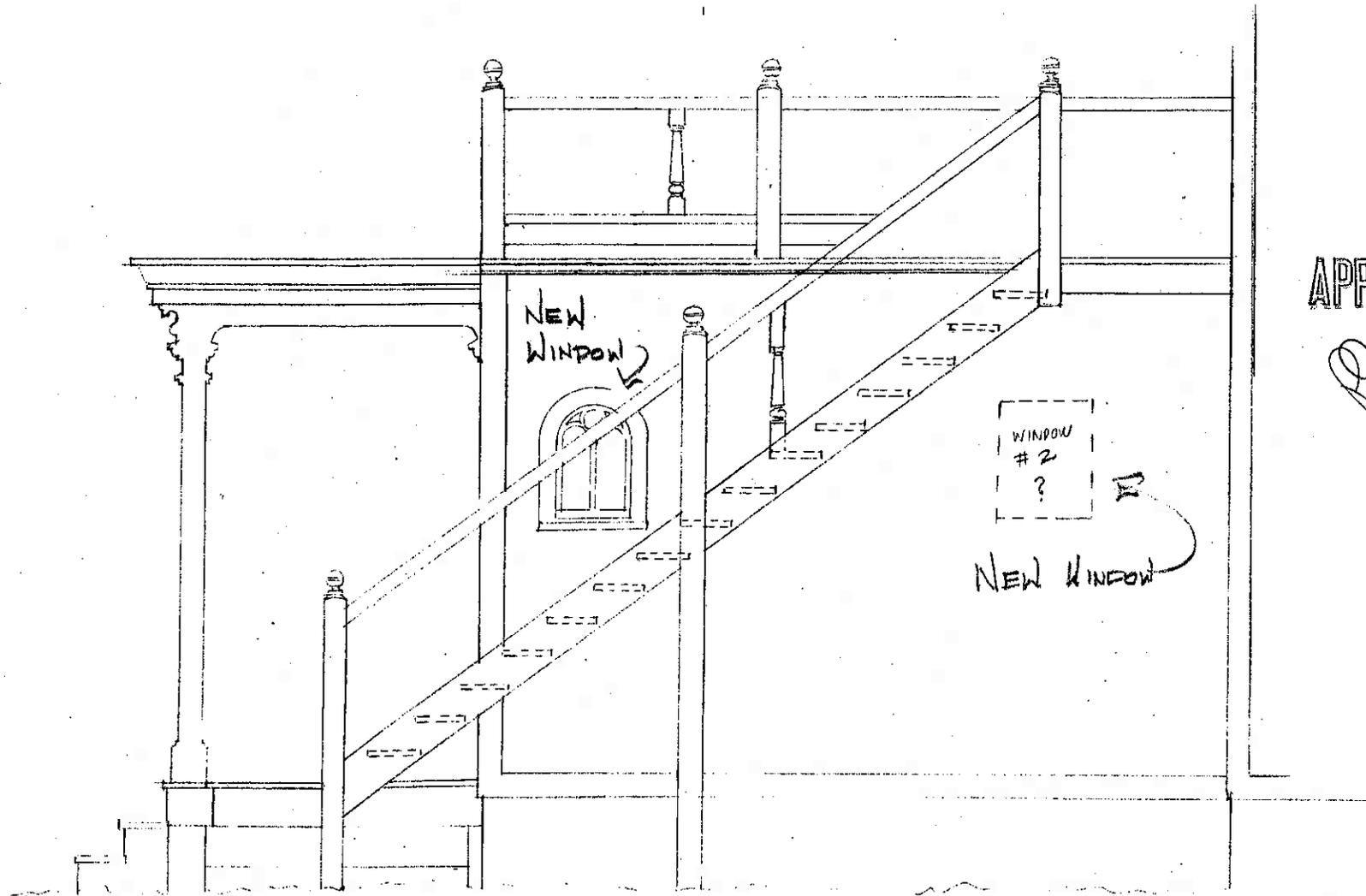


APPROVED

R.D.

ZIMMERMANN DESIGN CONSULTANTS
Suite 1111 • Railway Exchange Bldg.
250 E. Wisconsin Ave.
Milwaukee, Wisconsin, 53202

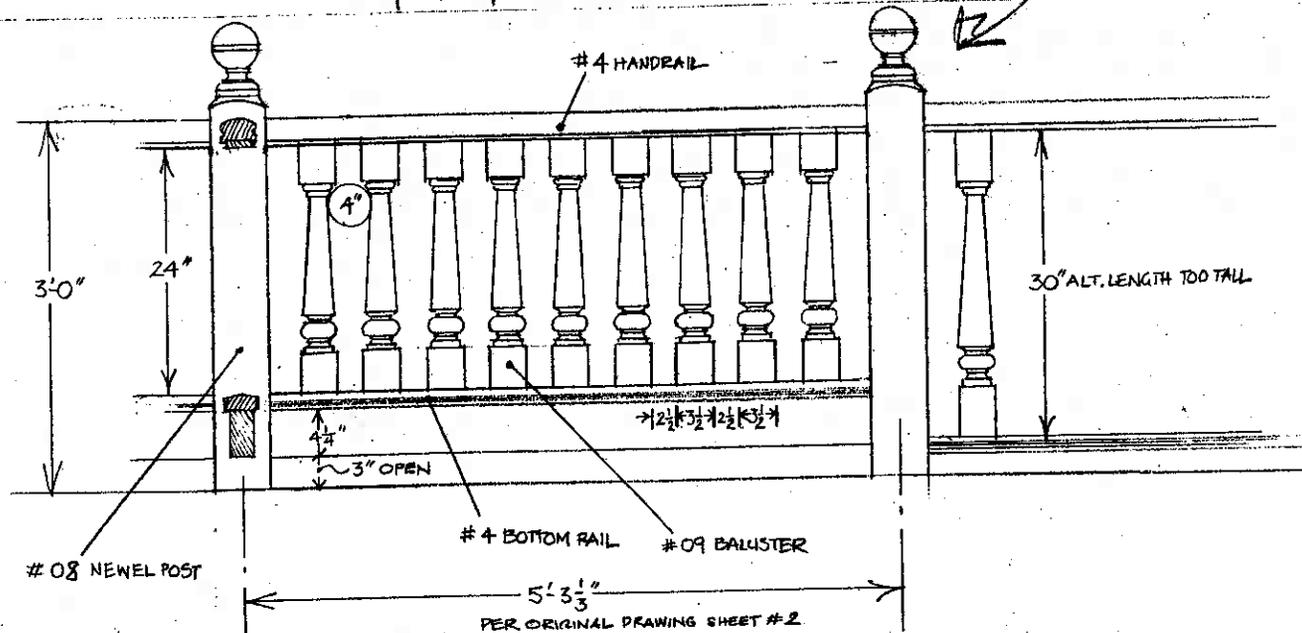
NEW REAR ELEVATION



APPROVED



ROOFTOP BALUSTRADE



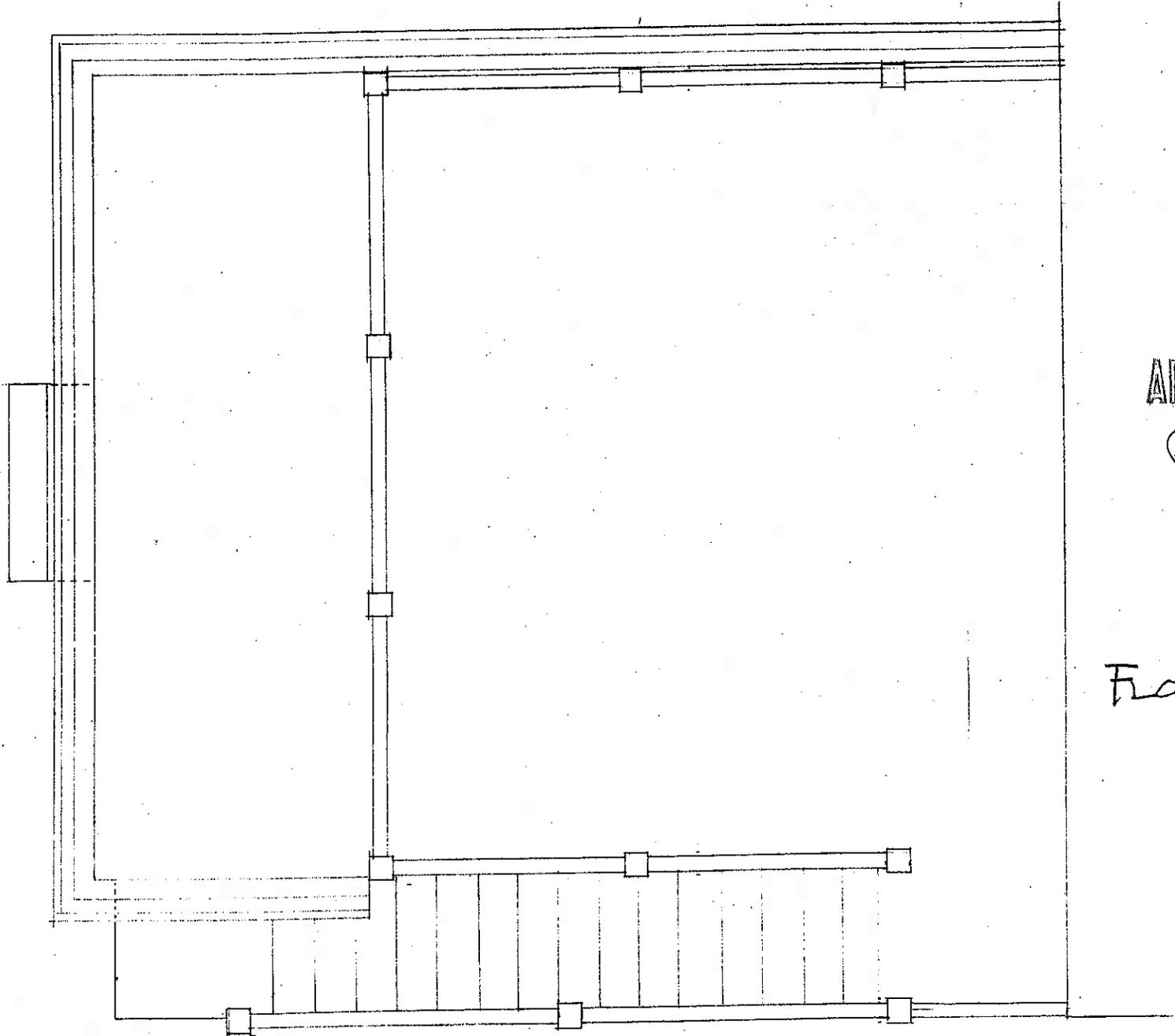
APPROVED

5'-3 1/3"
PER ORIGINAL DRAWING SHEET #2

1" = 1'-0"

(ALL NUMBER/CINDER WHIT CATALOG)

ZIMMERMANN DESIGN CONSULTANTS
Suite 1111 • Railway Exchange Bldg.
229 E. Wisconsin Ave.
Milwaukee, Wisconsin 53202



APPROVED

A handwritten signature or set of initials, possibly 'Ry', written in black ink.

FLOOR PLAN