



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property

1814 N. 1ST ST.

Description of work

Construct a 2-car frame garage at rear of lot next to alley, which will feature 10-foot sidewalls and traditional trim, including corner boards, a water table at the base of the foundation, and frieze boards beneath the gable and between the first story and the attic. Asphalt shingles will be installed on the roof. The building shall be sided with smooth cement board with a 5-inch exposure.

Date issued

7/21/2009

PTS ID 59235 COA, New 2 car garage

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

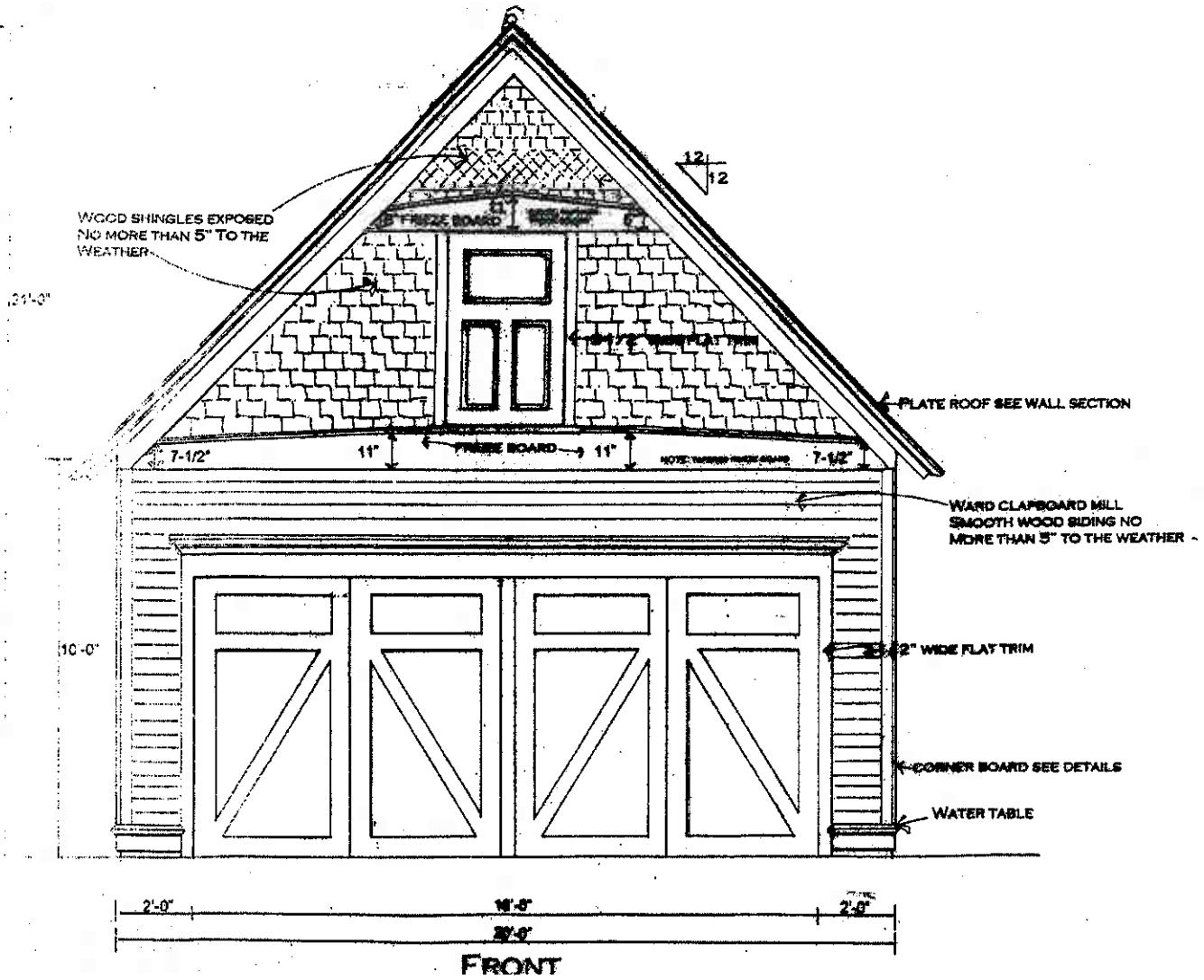
Construction shall meet the guidelines for new construction in a historic district. Work shall follow the approved drawings and specifications submitted and attached.

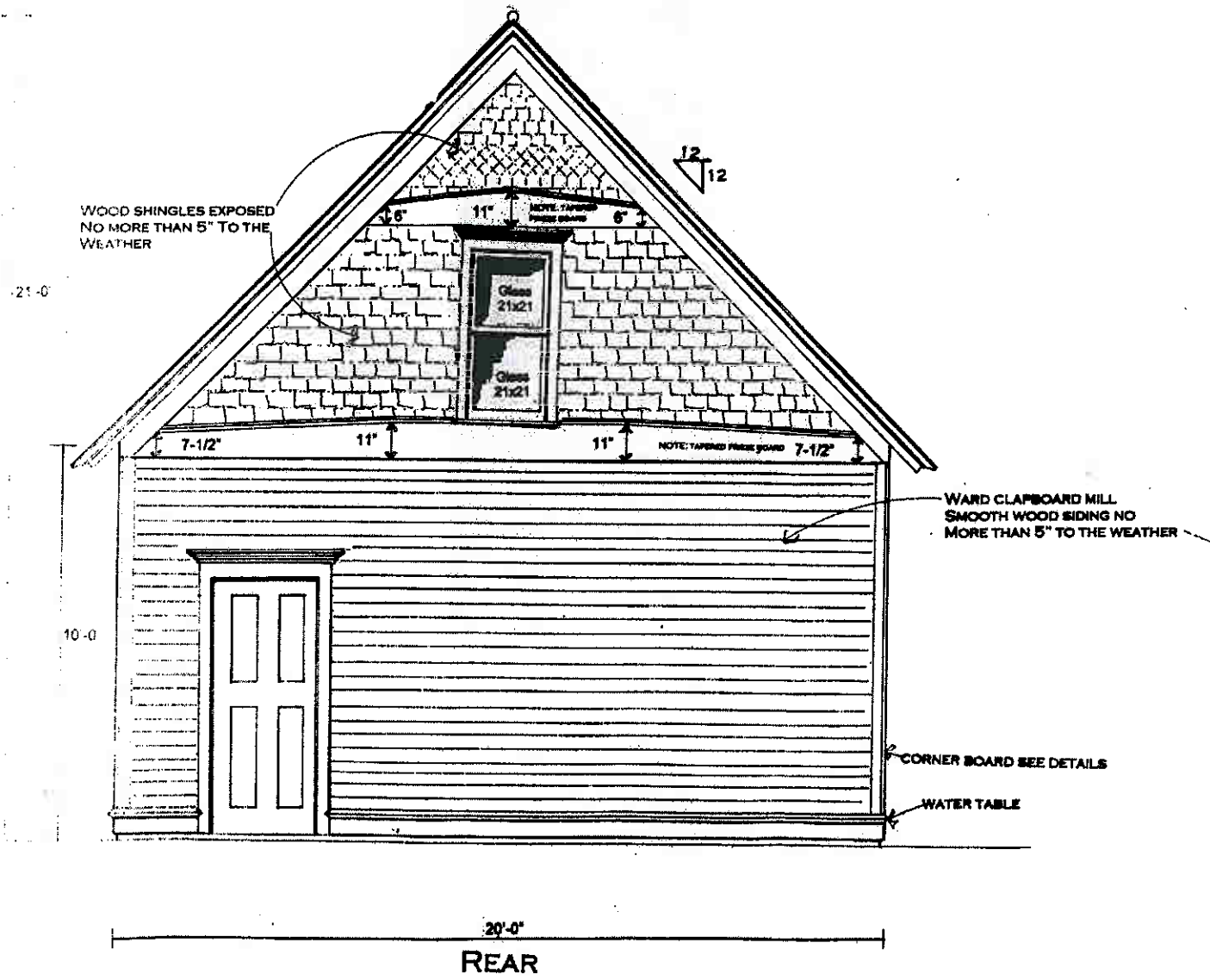
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

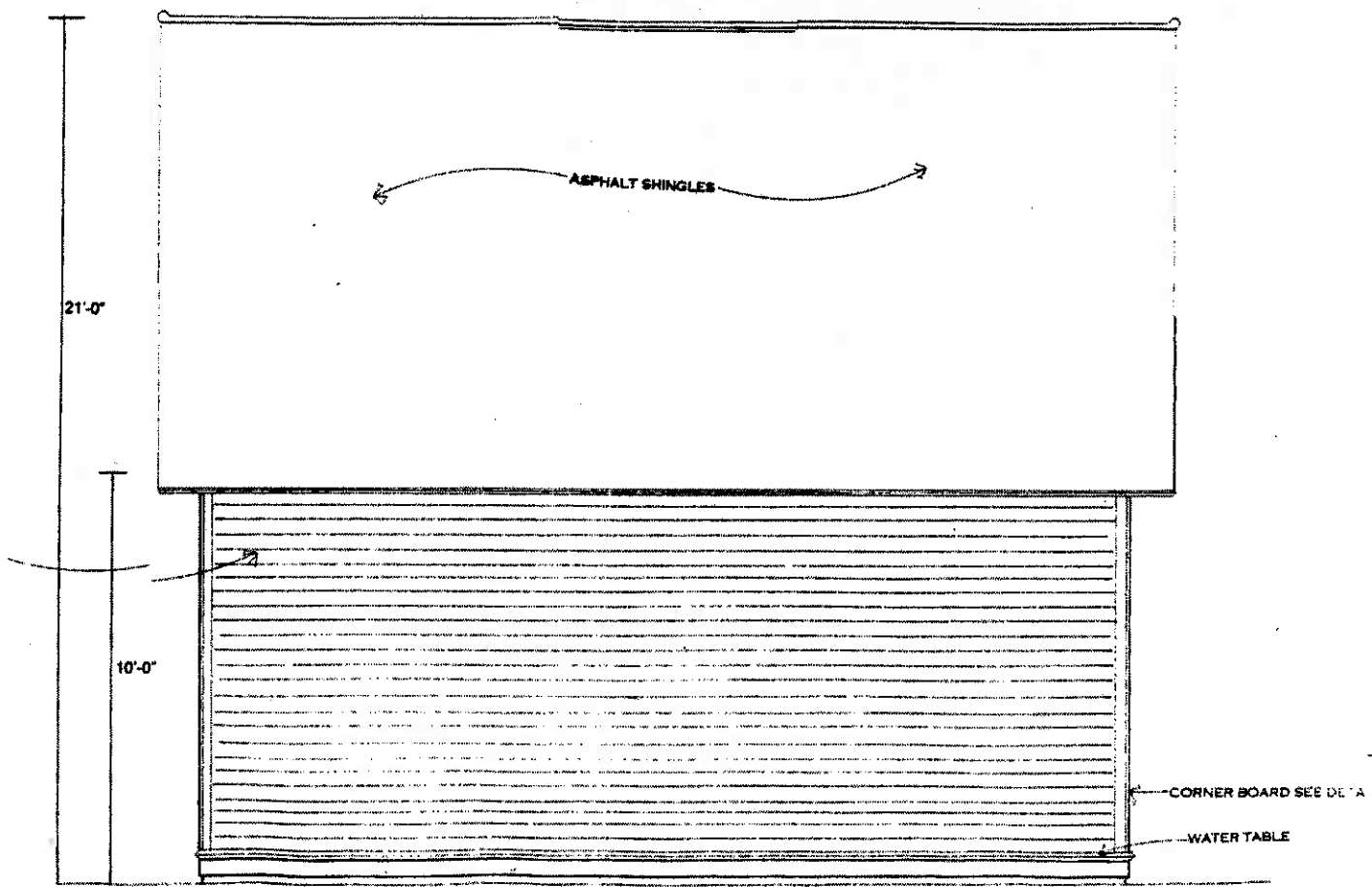
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Milele Coggs, Contractor, Inspector Bill Richter (286-2518)

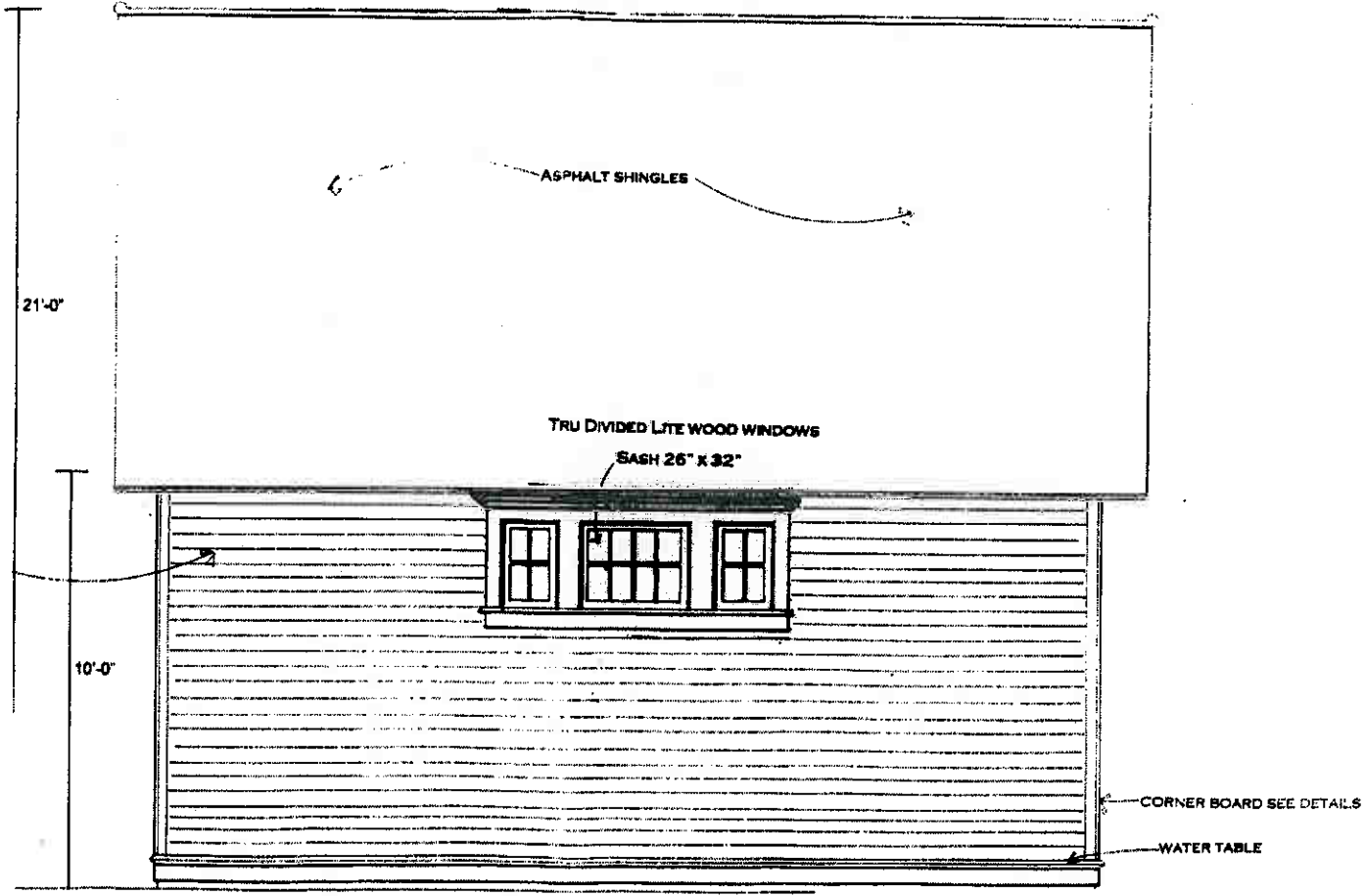


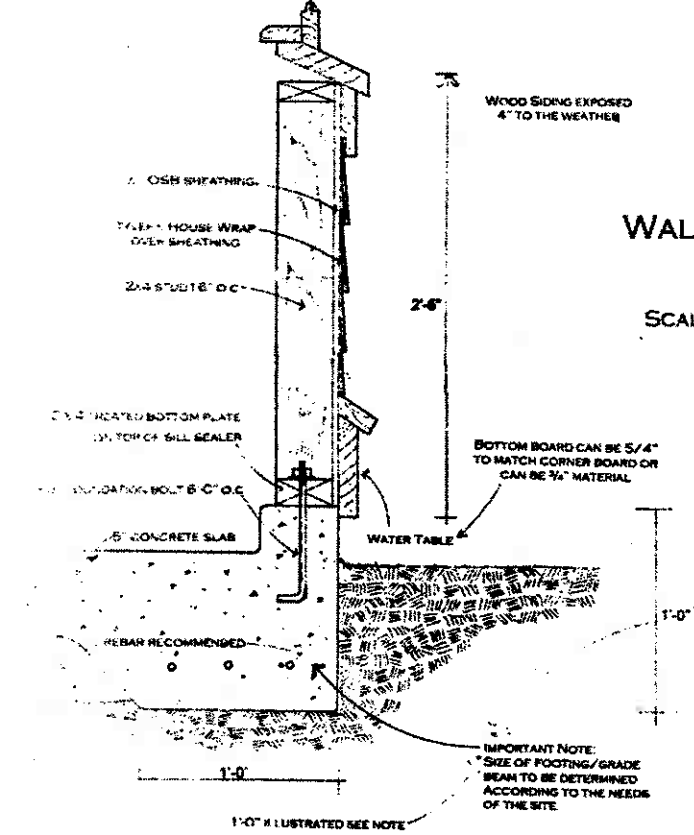
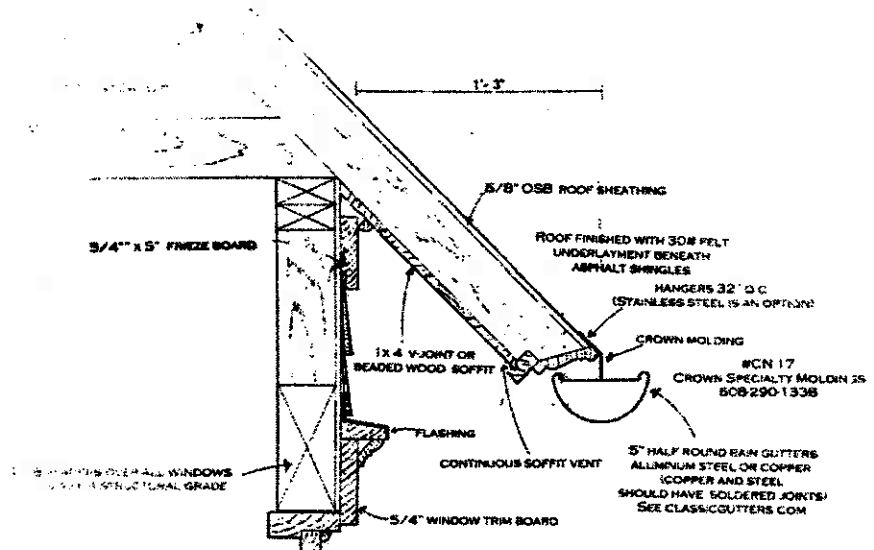




23'-0"

RIGHT





WALL SECTION

SCALE: 3" = 1'-0"

IMPORTANT NOTE:
 * SIZE OF FOOTING/ GRADE
 BEAN TO BE DETERMINED
 ACCORDING TO THE NEEDS
 OF THE SITE.



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Property 1814 N. 1ST ST.
Description of work Rebuild front porch to original design, details and dimensions.
Date issued 6/9/2009 PTS ID 58444 COA, rebuild front porch

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings. All finish wood to be smooth and free of knots. Porch will be painted upon completion. Please note that research has shown that when new, bare wood is exposed to the elements for a period of only a week or so, the life of the paint job applied over it will be decreased.

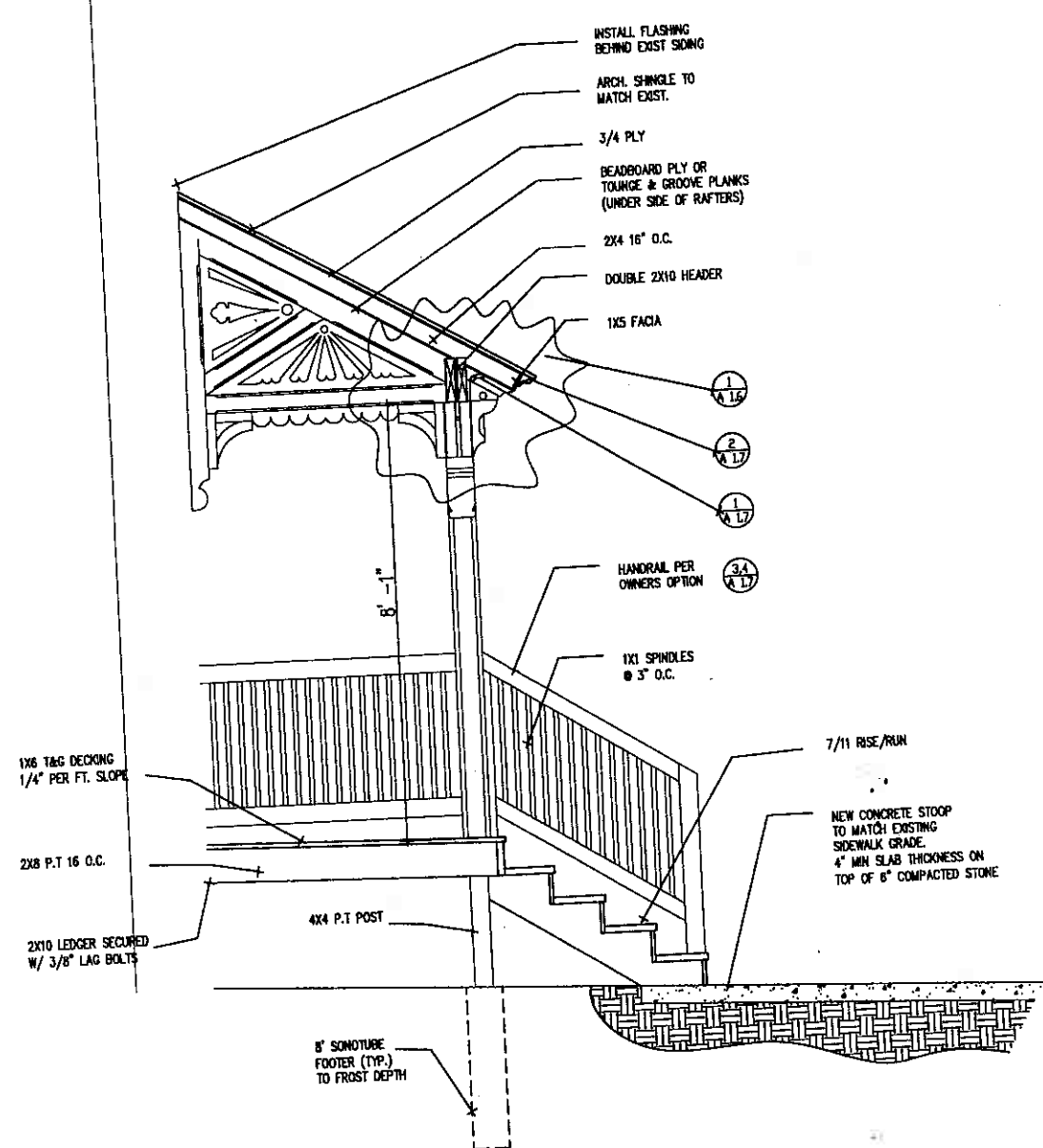
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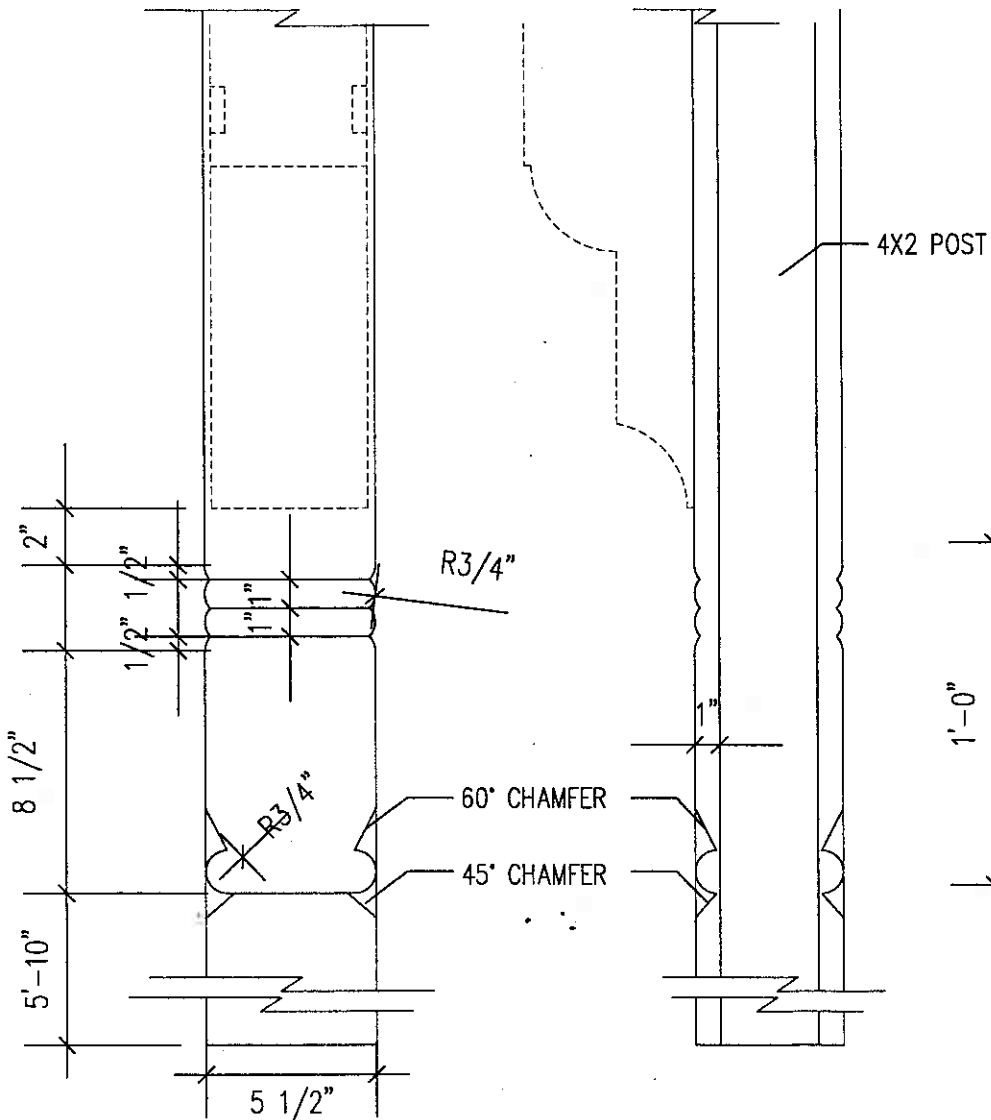
City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Milele Coggs, Inspector Bill Richter (286-2518)



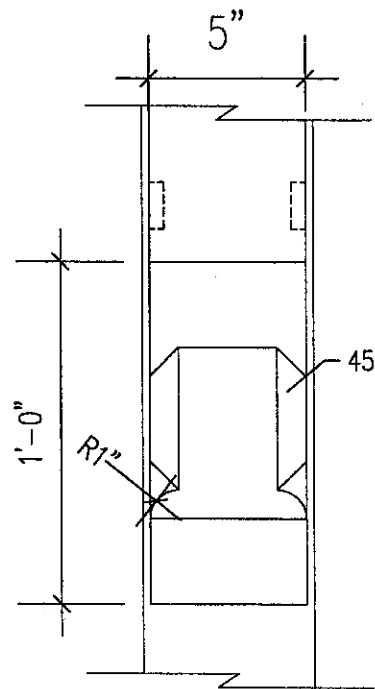
SECTION A

1
A1.2
1/8" = 1'-0"

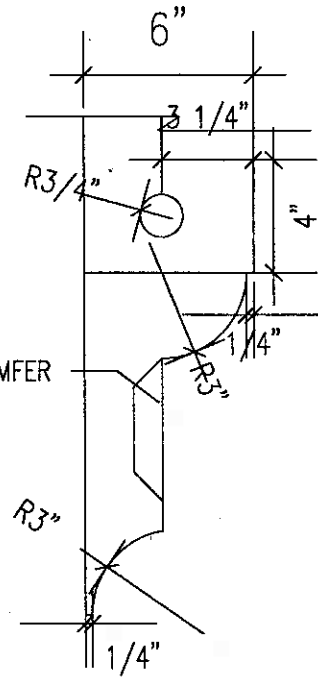


1
AL.3
DETAIL 1.1
1" = 1'-0"

2
AL.3
DETAIL 1.2
1" = 1'-0"



3
AL.3
DETAIL 2.1
1" = 1'-0"

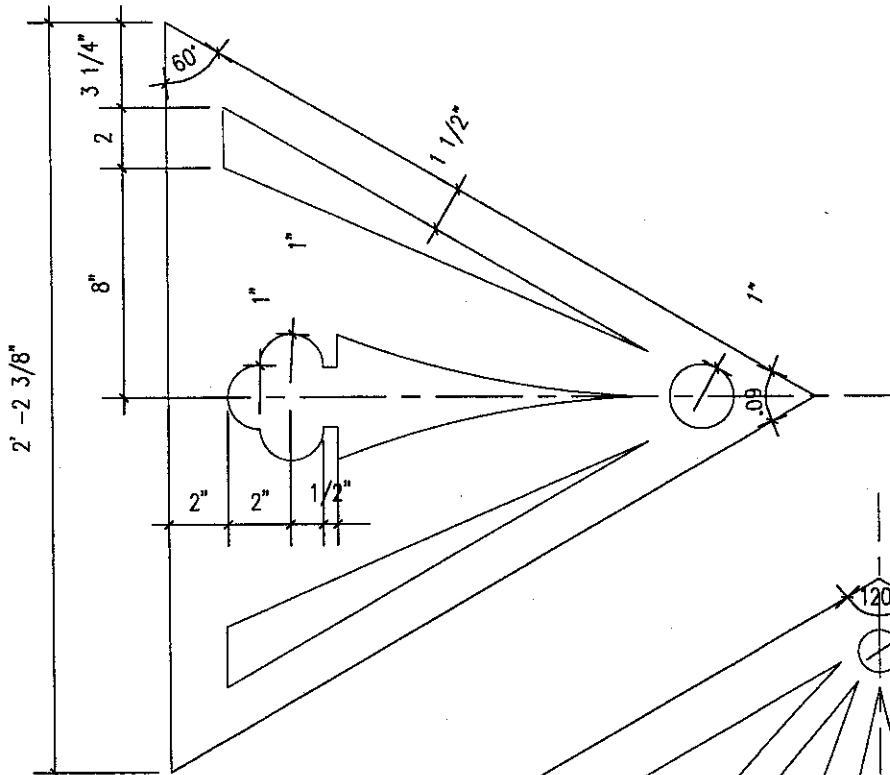


4
AL.3
DETAIL 2.2
1" = 1'-0"

REVISIONS	
NO.	DESCRIPTION

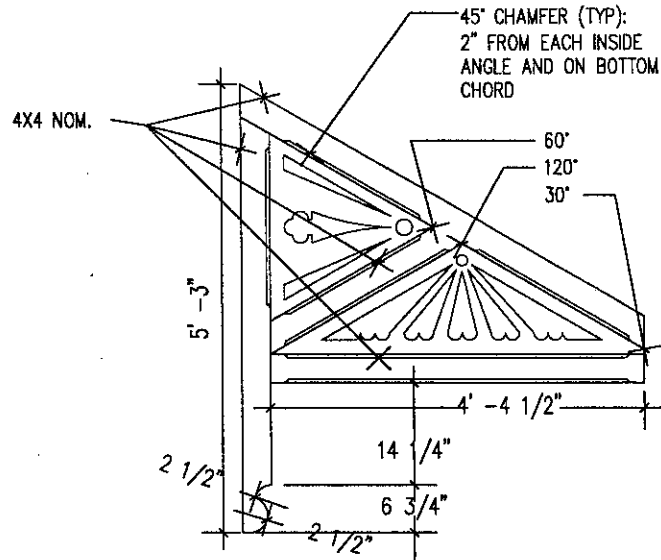
DRAWN BY: STRONWALL	DATE: 12/4, 11, 15, 17
CHECKED BY:	
SCALE: 1/4"	
DATE: 5/18/09	

AL.3



1
MLA
1/8" = 1'-0"

2
MLA
1/8" = 1'-0"

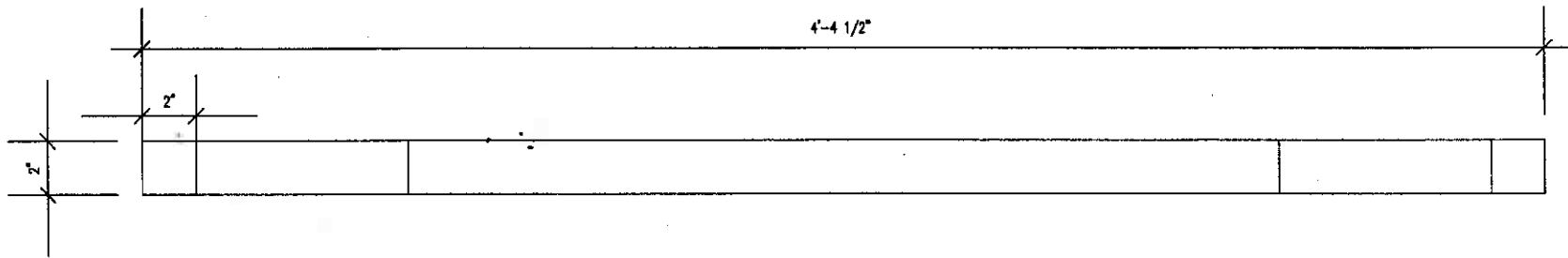
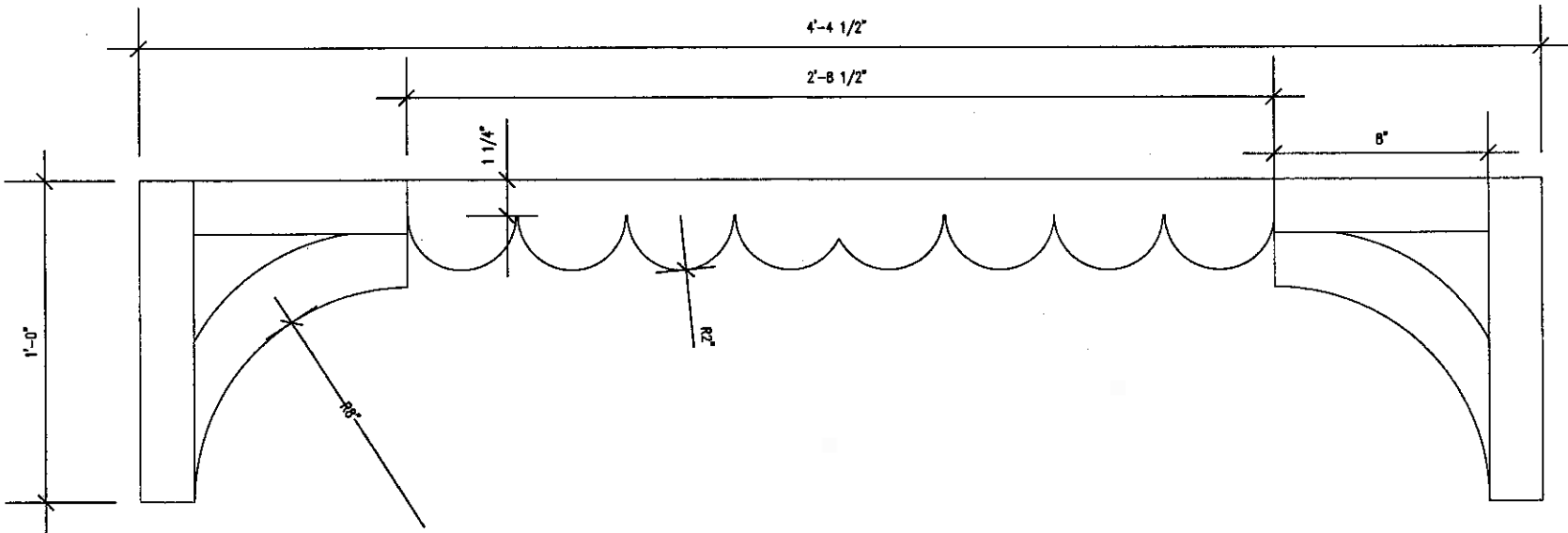


3
MLA
1/8" = 1'-0"

REVISIONS	
NO.	DESCRIPTION

LEICK	1814-J-15T-ST
DRAWN BY:	STROMMALL
CHECKED BY:	
SCALE:	1/4"
DATE:	5/18/06

A1.4

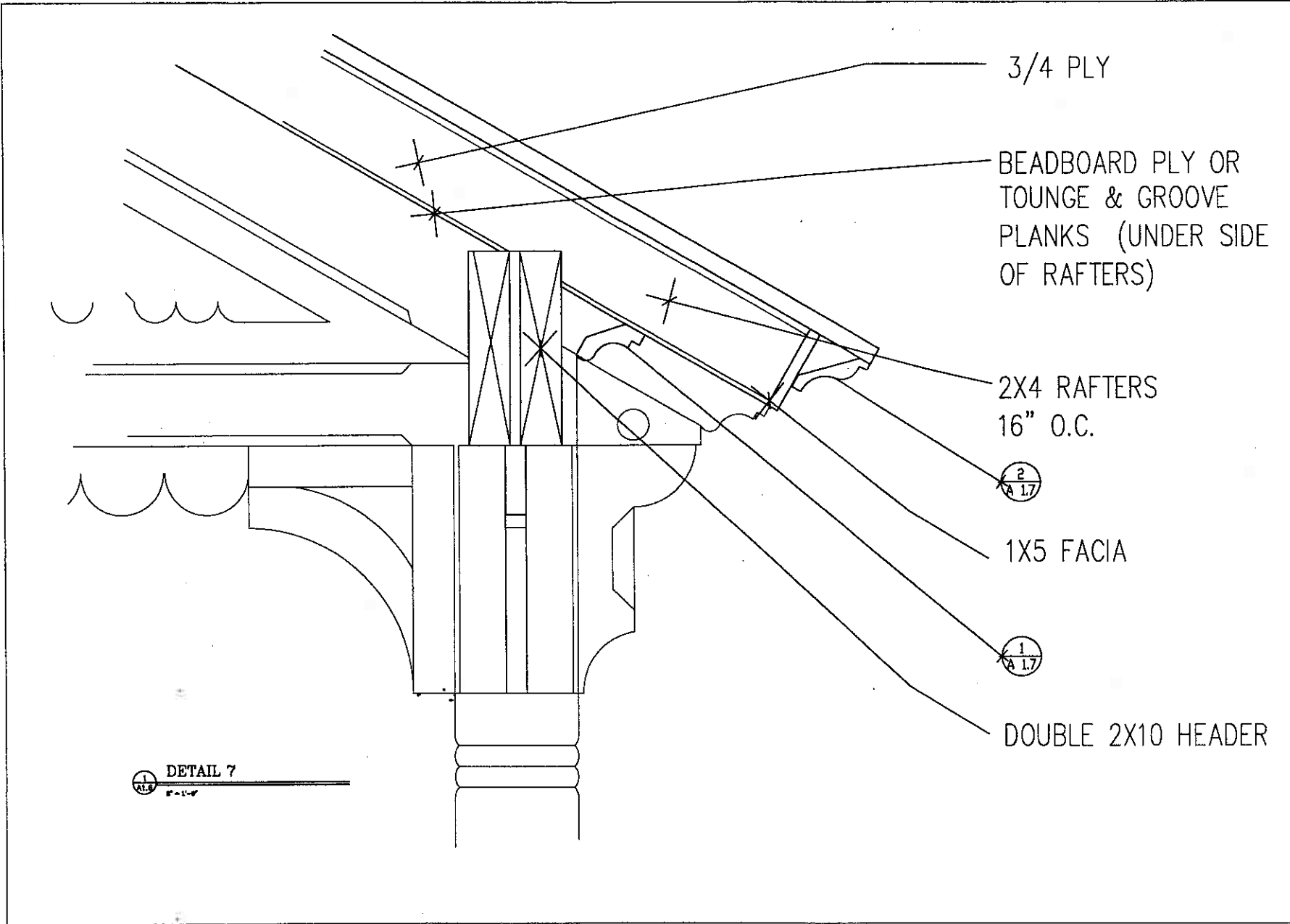


DETAIL 6
 1/16" = 1'-0"

REVISIONS	
NO.	DESCRIPTION

LEADER	1814_M_LIST_3T
DRAWN BY:	STRONWALL
CHECKED BY:	
SCALE:	1/4"
DATE:	5/18/08

A1.5



3/4 PLY

BEADBOARD PLY OR
TOUNGE & GROOVE
PLANKS (UNDER SIDE
OF RAFTERS)

2X4 RAFTERS
16" O.C.

1X5 FACIA

DOUBLE 2X10 HEADER

DETAIL 7

A1.6
8" - 1/8"

REV. NO.	DATE	DESCRIPTION	REVISIONS															
			NO.	BY	CHKD	DATE	NO.	BY	CHKD	DATE								

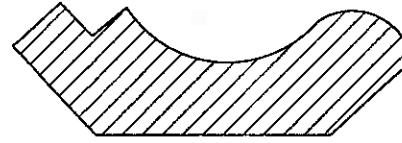
DRAWN BY: STRONWALL	CHECKED BY: STRONWALL	SCALE: 1/4" SCALE	DATE: 5/18/06
PROJECT NO.: 1014-N-1ST-ST			DATE: 5/18/06

A1.6



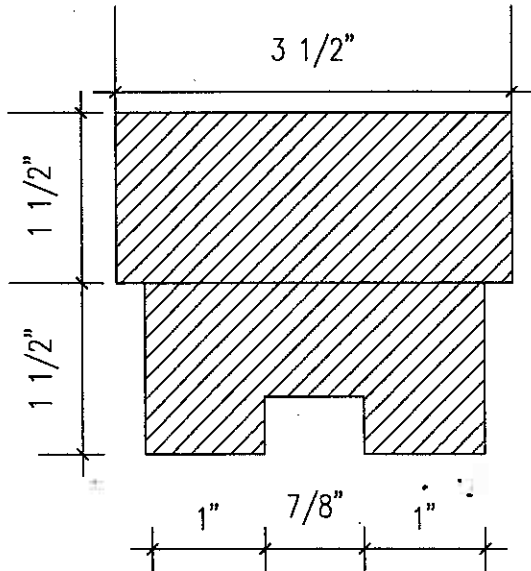
1
CROWN PROFILE 1
A1.7 1'-0" x 1'-0"

PROFILE AVAILABLE FROM CROWN
SPECIALTY MOULDINGS: CN-17

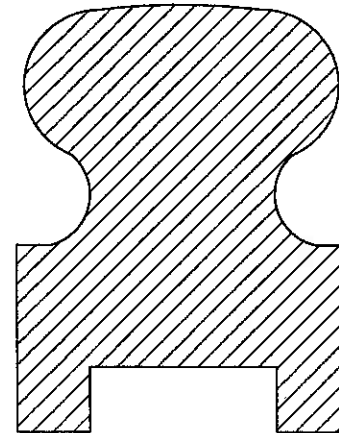


2
CROWN PROFILE 2
A1.7 1'-0" x 1'-0"

PROFILE AVAILABLE FROM CROWN
SPECIALTY MOULDINGS: CN-54



3
HANDRAIL PROFILE - REPLICA PER PICTURES
A1.7 1'-0" x 1'-0"



4
HANDRAIL PROFILE - HISTORICALLY CORRECT OPTION
A1.7 1'-0" x 1'-0"

PROFILE AVAILABLE FROM CROWN
SPECIALTY MOULDINGS: HR-548

REVISED		REVISIONS	
NO.	DATE	REVISION	BY

DRAWN BY:	STROMWALL
CHECKED BY:	
SCALE:	1/4" = 1'-0"
DATE:	11/13/79

A1.7



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Property 1814 N. 1ST ST.
Description of work Install two new condensing units 0on grade in back of house, next to foundation (not visible from the street)
Date issued 3/9/2009

PTS ID 56982 COA, new central air conditioning

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The units will not be visible from the street.

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Paul Jakobovich
City of Milwaukee Historic Preservation Staff

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