



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 1716 N. HUMBOLDT AV. (Brady Street Historic District, St. Hedwig Church)
Description of work Install new outdoor unit for heat pump on grade next to church on north elevation. Unit will not be visible from the street.
Date issued 6/10/2009

PTS ID 59331 COA, new outdoor equipment for heat pump

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Unit will not be visible from the street. Any penetrations through the wall of the church will be as close to grade as possible and as small as possible.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Contractor Donovan Jorgensen, Inspector Jim Friedrichs (286-5982)



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Property 1716 N. HUMBOLDT AVE.
Description of work Install 5 Heat Pumps (29"x31"x43") on 1 story flat rooftop at the Northeast corner of the building. Units will be no more than 43" high and masked by parapet wall and not visible from the street or walkway.
Date issued 3/27/2009

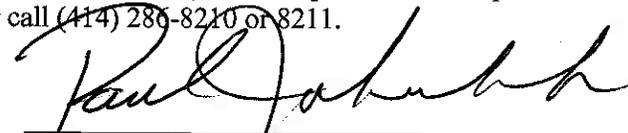
PTS ID 57358 COA, Air Handlers & Heat Pumps

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done per attached drawings and photos. Units will not exceed 43" tall and not be visible from the street or walkway.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

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City of Milwaukee Historic Preservation Staff

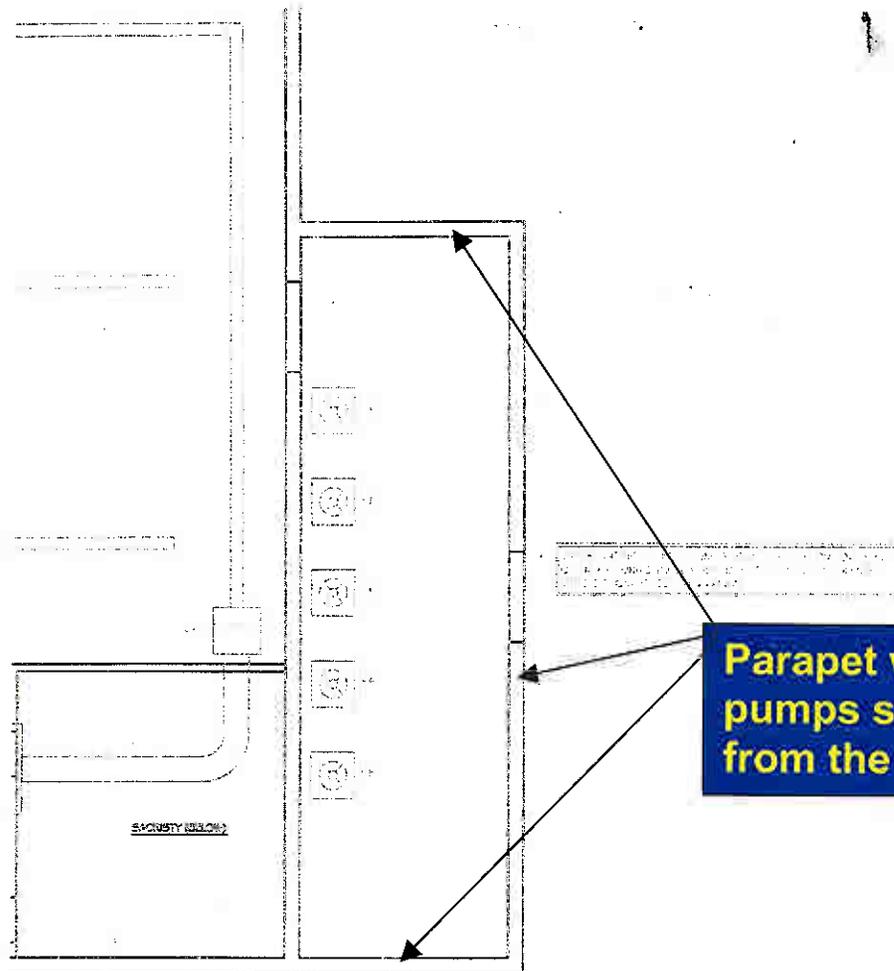
Copies to: Development Center, Ald. Nik Kovac, Contractor, Inspector Jim Friedrichs (286-5982)



Heat Pumps to be mounted on lower

Units shall not exceed 29"x31"x43"

**Units will not be visible
from the street or walkway**



Parapet wall must mask heat pumps so they are not visible from the street

1/8" = 1'-0"



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Property

1716 N. HUMBOLDT AV.

Description of work

Install (2) SANYO ductless mini split a/c systems in parish office. Outdoor condensing units to be housed at balcony on south side of building (hidden from view of street) and on dining room roof outcropping on north side of building. Installation of refrigerant lines to be ran on top of brick ledge to disguise. The pvc will be ran to grade and paintable to match brick color. Existing through-the-wall a/c's will be removed and patched to match exterior by owner. (Note: The brick patching must be reviewed and approved under a separate COA because this work will be done by others.)

Date issued

3/4/2009

PTS ID 56902 COA, Addition

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All pipes, refrigerant lines and conduits on side of building will be painted out to match the color of the surrounding masonry as specified. Though the wall units existing can be removed, but the patching of the brick must be one under a separate COA as this work will be done by others. All exterior condensing units on roof and balcony must not be visible from the street. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

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