

Old World Third



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 1105 N. OLD WORLD THIRD ST.
Description of work Install new blade sign next to entry door to upper office on south side of building facade.
Date issued 2/12/2008
 PTS ID 56440 COA, new blade sign for office

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

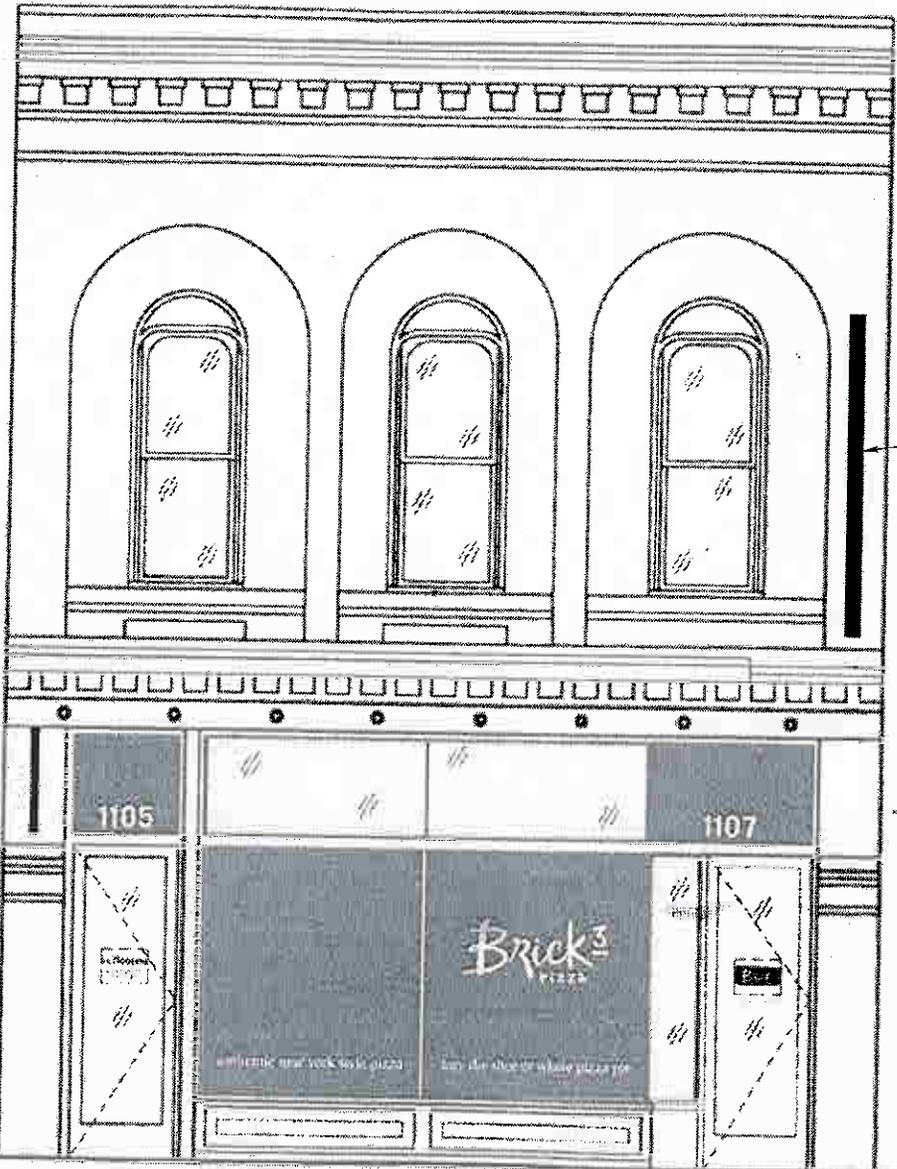
All work will be done according to attached drawings and photos.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Robert Bauman, Contractor So Lite signs, Inspector Clarence Goyette (286-2540)



10' Tall Sign

SECOND LEVEL
113-7

All White Vinyl, Except for Red Brick

FIRST LEVEL
100-0

Location of new proposed blade sign

BRICK 3
PIZZA

1105

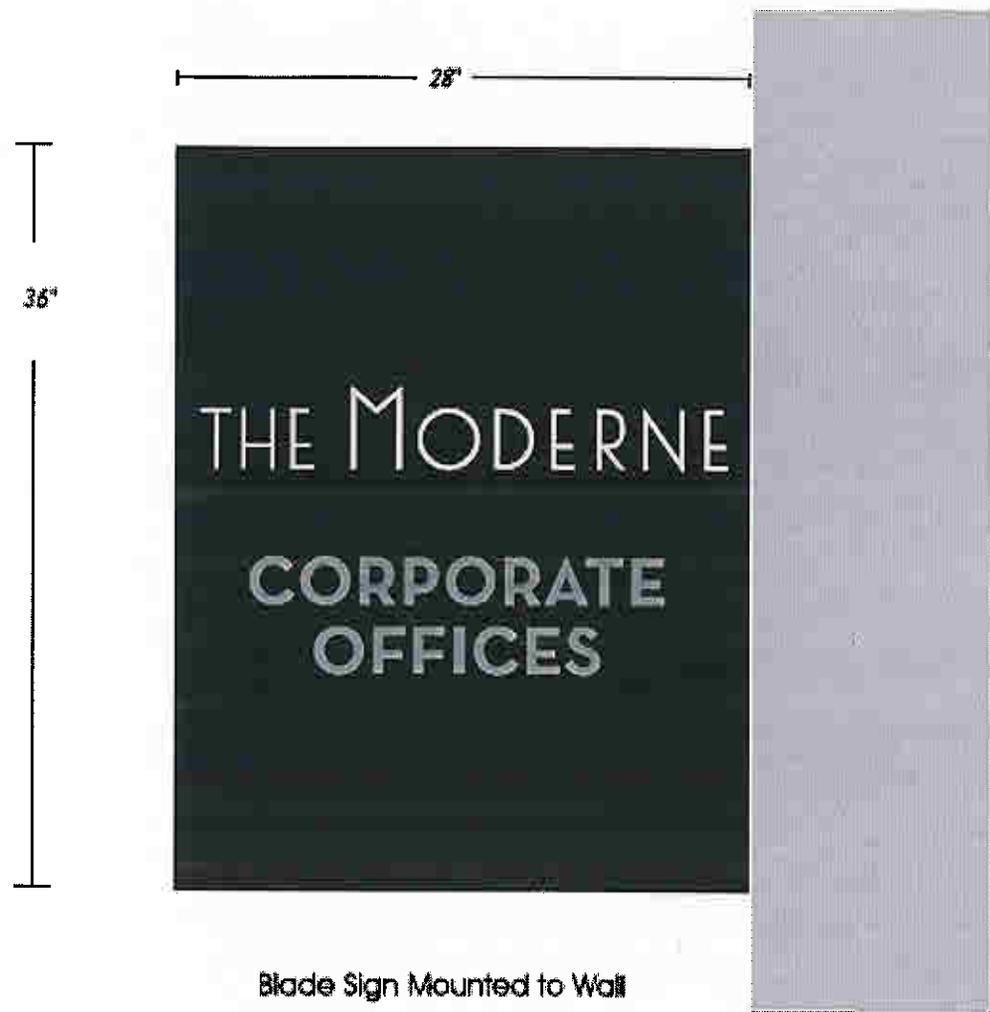
1107

Brick³
PIZZA

we like you! we love you! pizza

we like you! we love you! pizza

width sign = 3.22' at 100'



Design and dimensions of new blade sign. ; 2" thick, 28" w x 36" tall. Sign will be made of aluminum with vinyl graphics. Will not be illuminated.

old. world 3rd Hist. Dist.



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Property 1105 N. OLD WORLD THIRD ST.

Description of work Construct new street-level storefront; restore second story windows; clean brick (or repaint); Tuckpoint only where necessary; alterations to rear elevation including new windows and door, fence and awning.

Date issued 8/1/2008 PTS ID 50322 COA, new storefront; exterior restoration

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness: All work to be done according to attached drawings and photos.

Drawings of brick restoration on pilaster flanking the street level storefront must be submitted for review by HPC prior to the work commencing. Brick on storefront can be repainted or chemically cleaned. In the event chemical cleaning is undertaken, a sample panel must be reviewed and approved by HPC staff prior to the general cleaning. Should the building be repainted, abrasive blasting and power washing is not allowed. Unpainted brick, stone and other masonry must not be painted. Replacement windows must match the originals and will be made of wood inside and out. No vinyl, vinyl-clad, aluminum or aluminum -clad windows allowed. Windows can also be restored and new installed in the original sashes. Should the windows be rebuilt, HPC staff must review original windows and approve shop drawings that will be used to construct the new windows. Any mortar joint replaced must match original mortar in terms of color, hardness, texture, joint width and joint finish. Note: Mortar that is too hard is prone to premature failure.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakobovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov. If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Paul Jakobovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Inspector Clarence Goyette (286-2540)



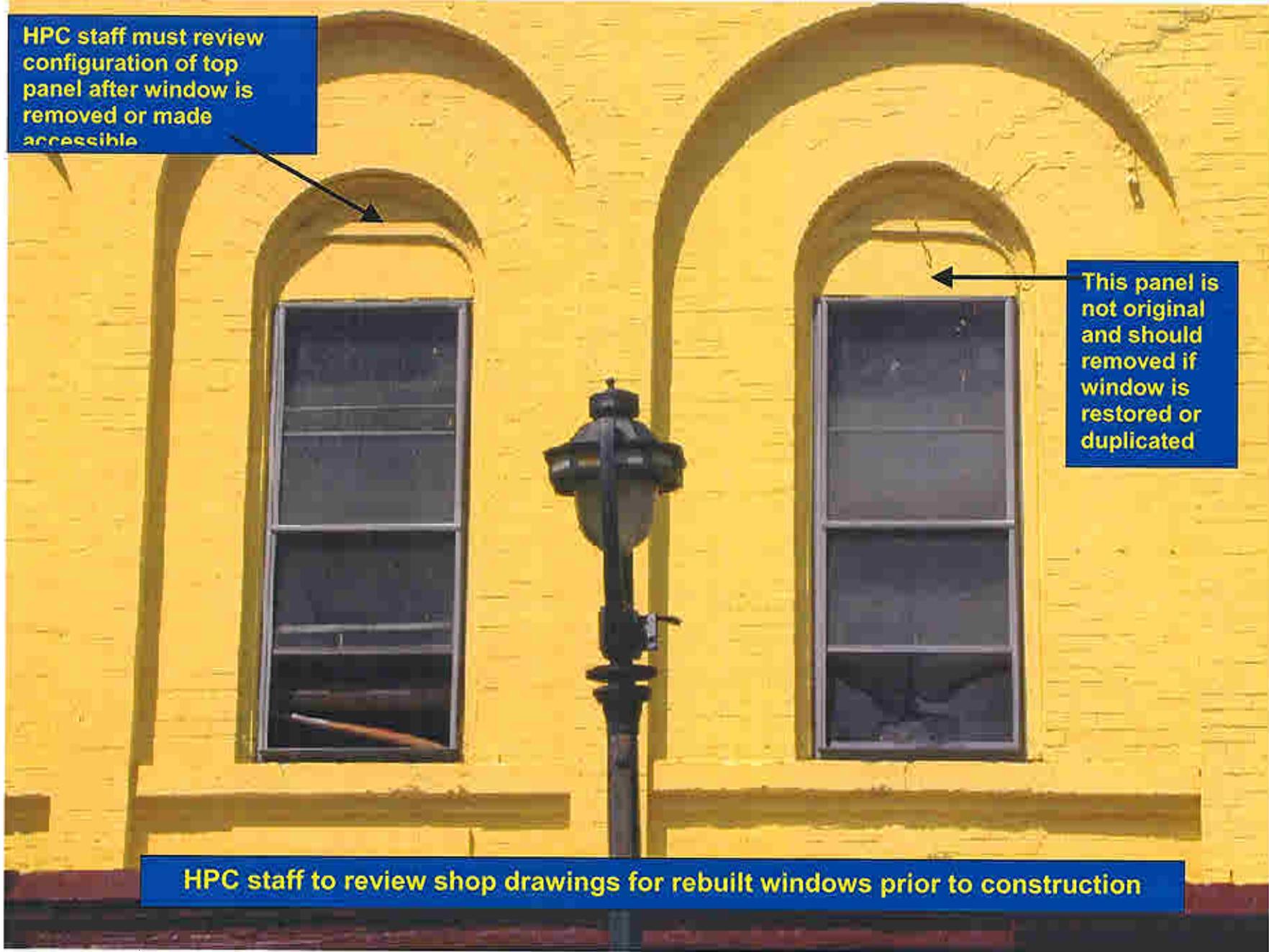
Brick to be chemically cleaned or repainted. No abrasive blasting or high-pressure water washing allowed.

1105 N. Old World Third Street

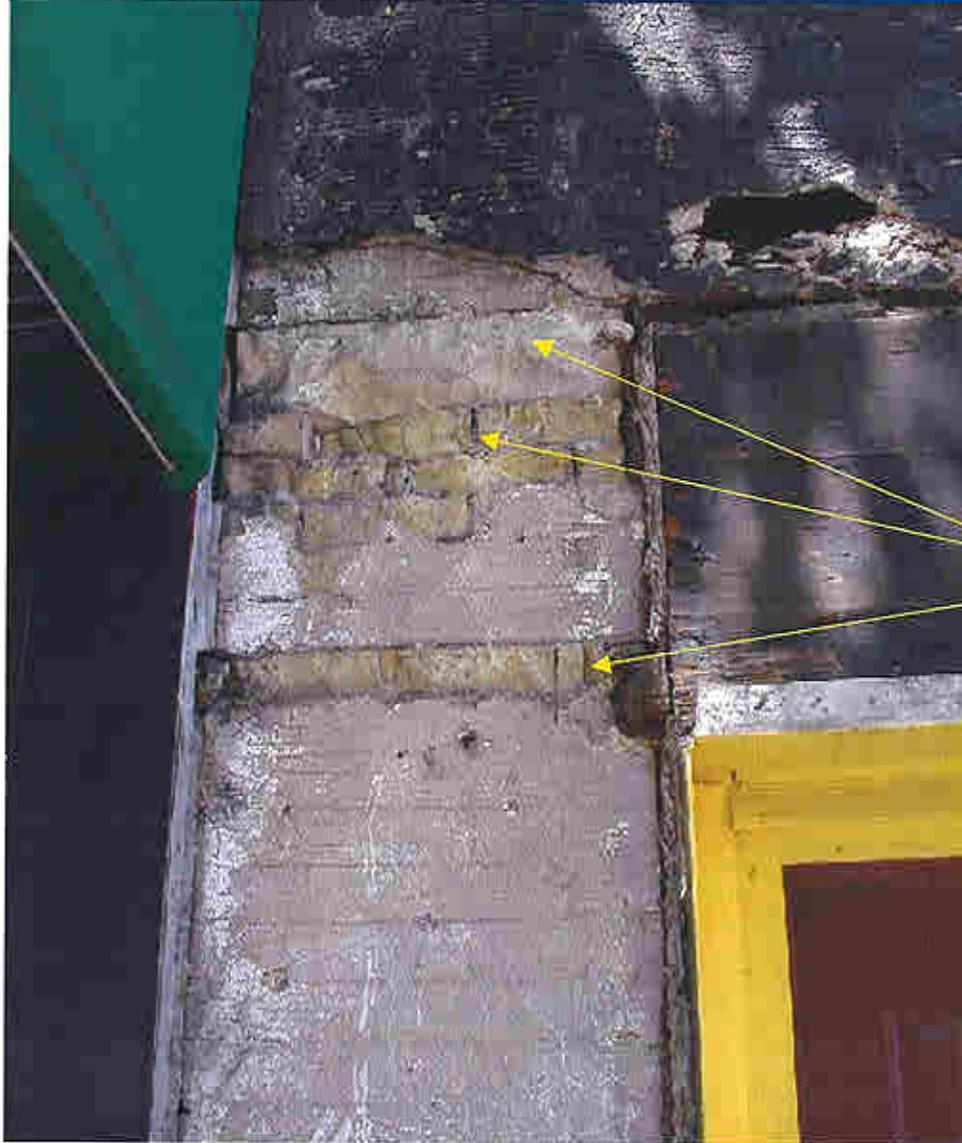
HPC staff must review configuration of top panel after window is removed or made accessible

This panel is not original and should be removed if window is restored or duplicated

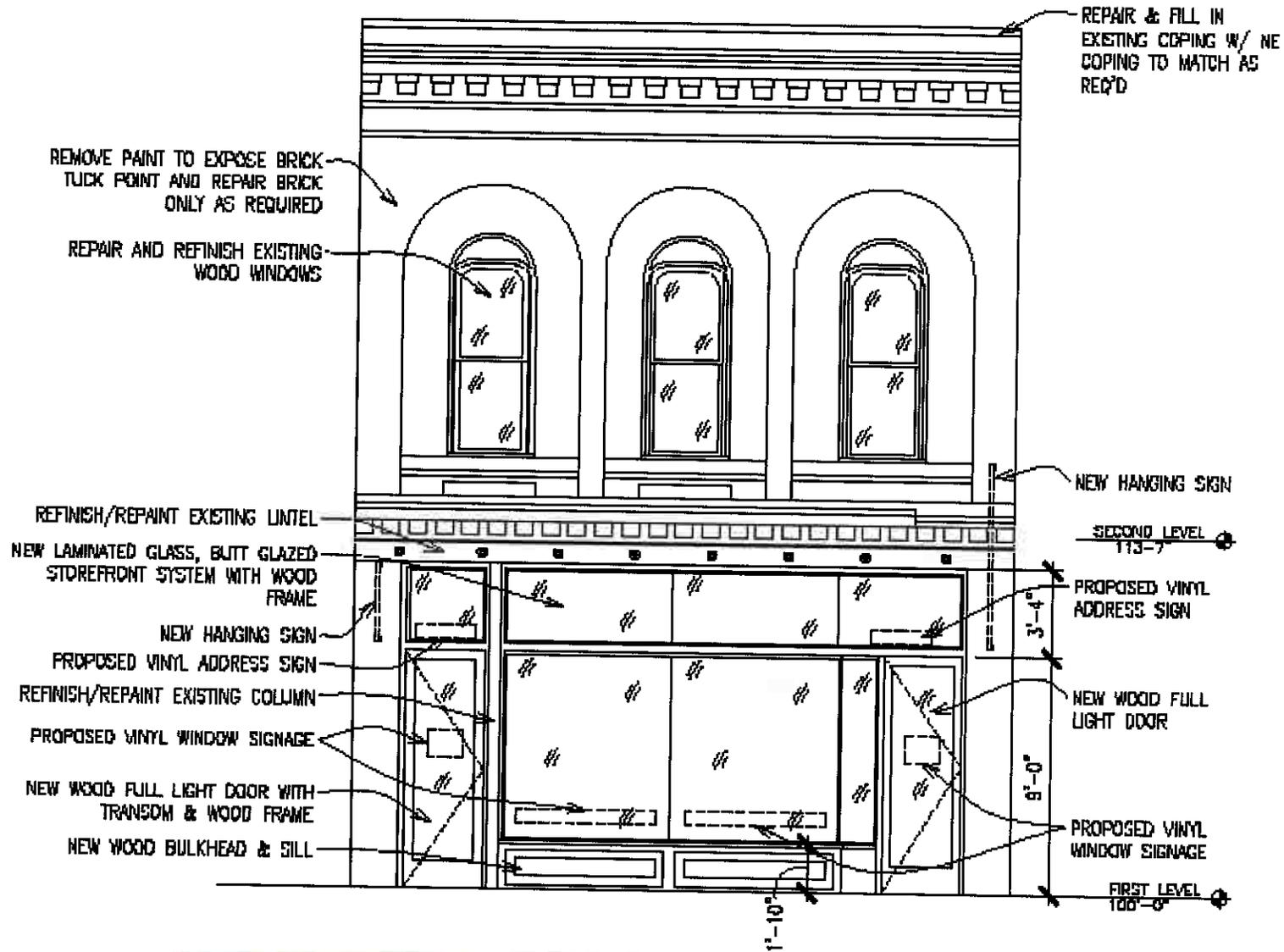
HPC staff to review shop drawings for rebuilt windows prior to construction



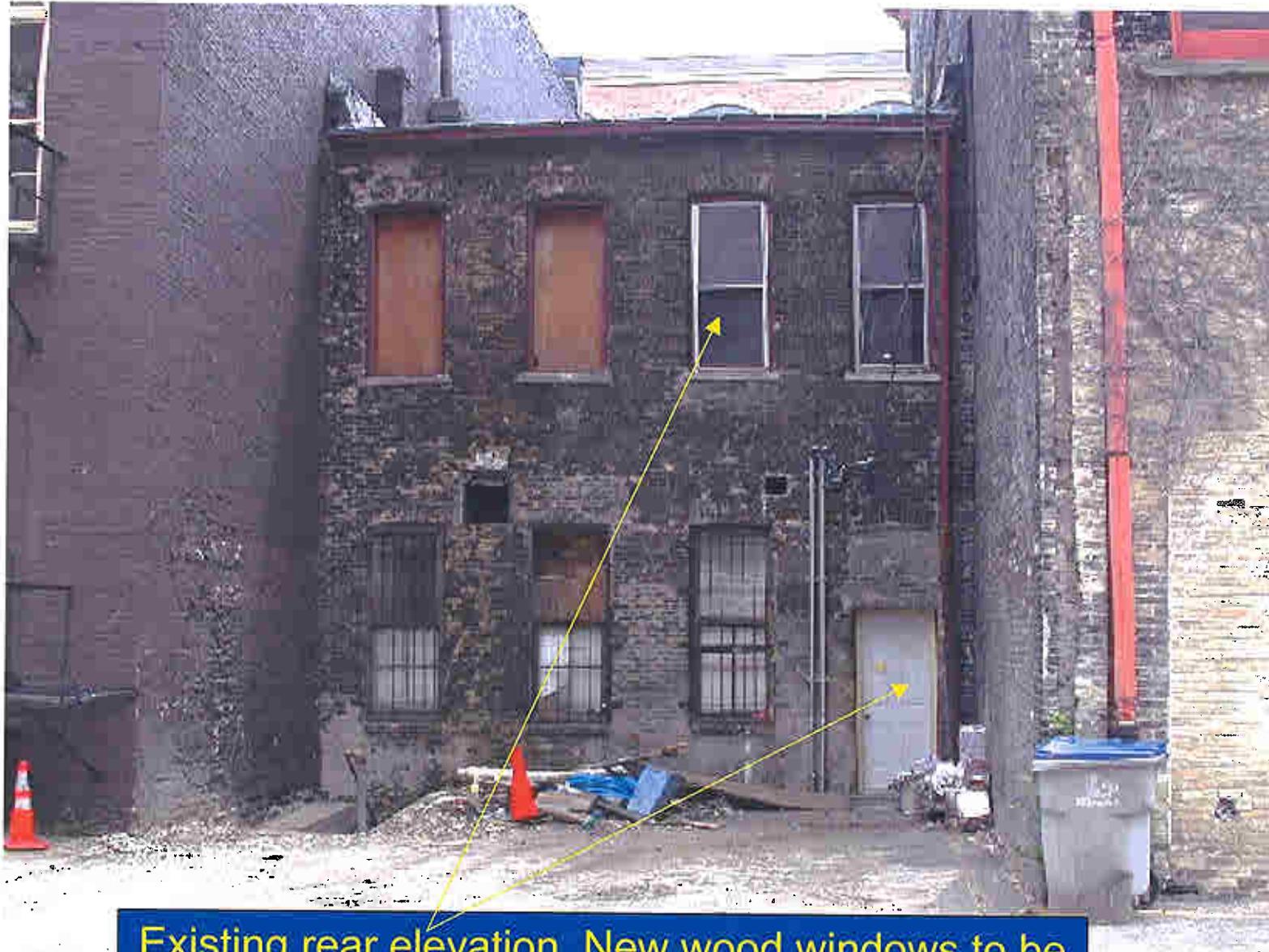
Drawings for replacing these details on storefront must be submitted for review and approval by HPC staff prior to their construction.



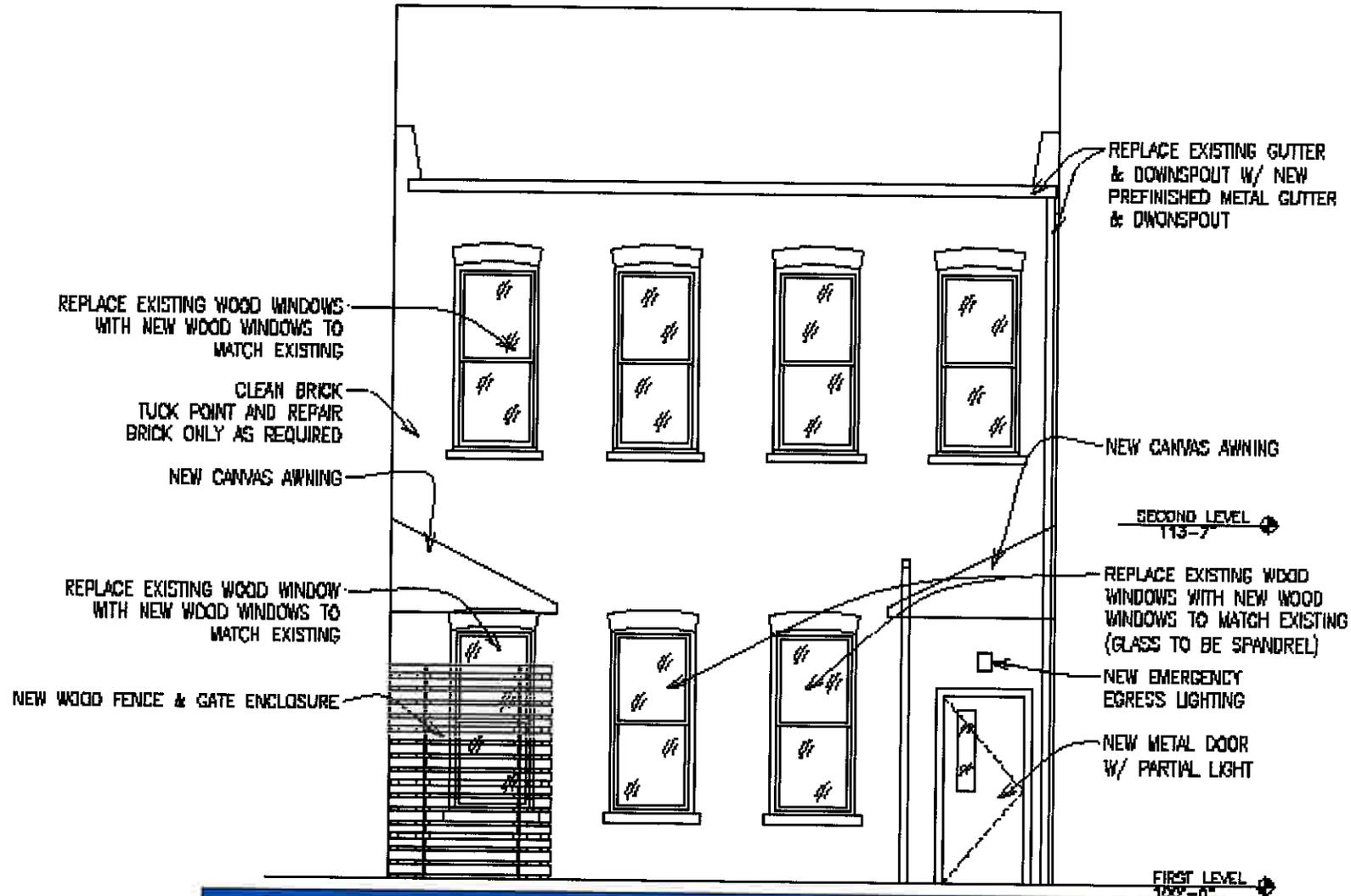
Missing
ornamental
brickwork and
stone at tops
of pilasters



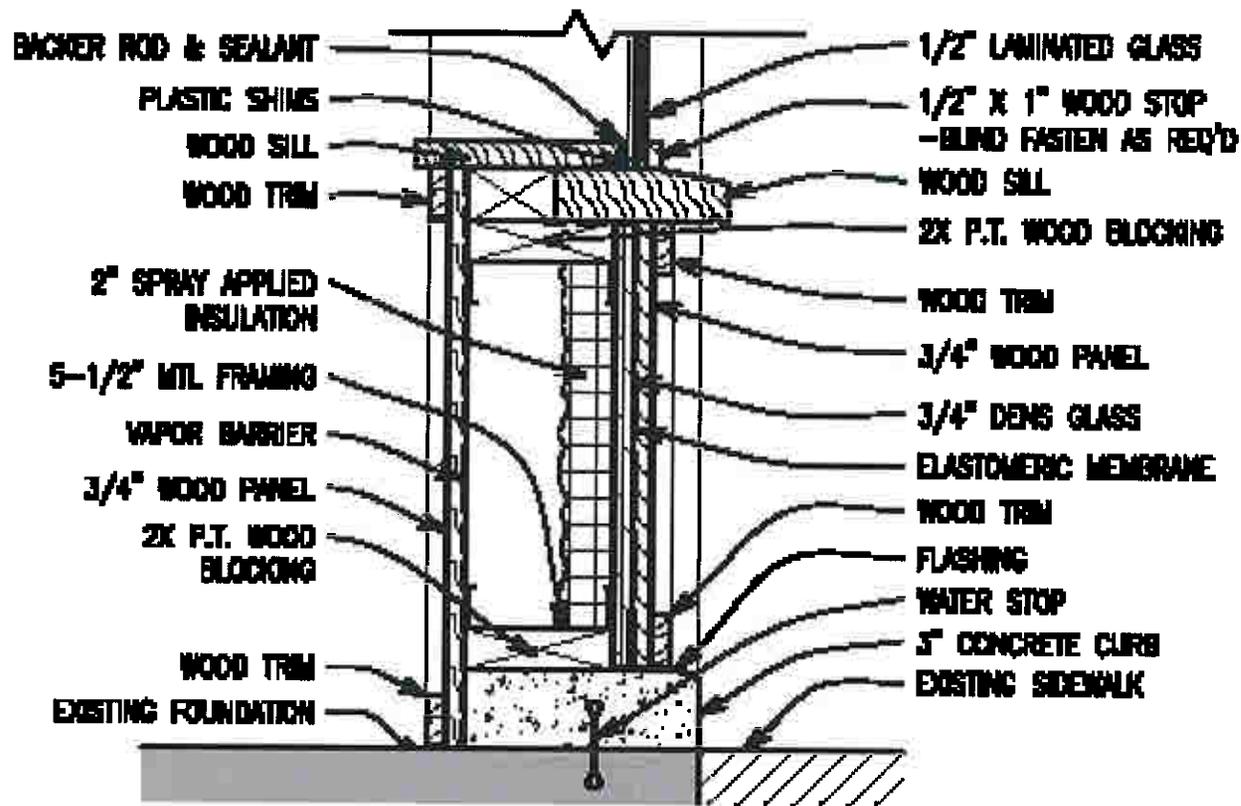
Front elevation. New storefront to be made of wood. Glazing bar in middle of storefront to be no more than 1-3/4" wide



Existing rear elevation. New wood windows to be installed; new door with awning; fence enclosure.



Rear elevation showing new replacement wood windows. Fence enclosure and new rear door with awning above.



Bulkhead beneath storefront windows

Old World Third St



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Property

1105-07 N. OLD WORLD THIRD ST., Rick Barrett, applicant

Description of work

Remove modern/contemporary infill materials from street-level storefront. Retain all historic materials in place. Plans to be furnished to HPC later for new storefront that will be compatible with the building and district guidelines. Remove old HVAC equipment from rear elevation and shed and remove brick infill from first floor window on rear elevation.

Date issued

4/29/2008

PTS ID 50322 COA, storefront work

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings. No original or historic materials may be removed without prior approval from HPC staff. Applicant will work with HPC to develop design for new street level storefront and rear elevation alterations that will be reviewed by HPC.

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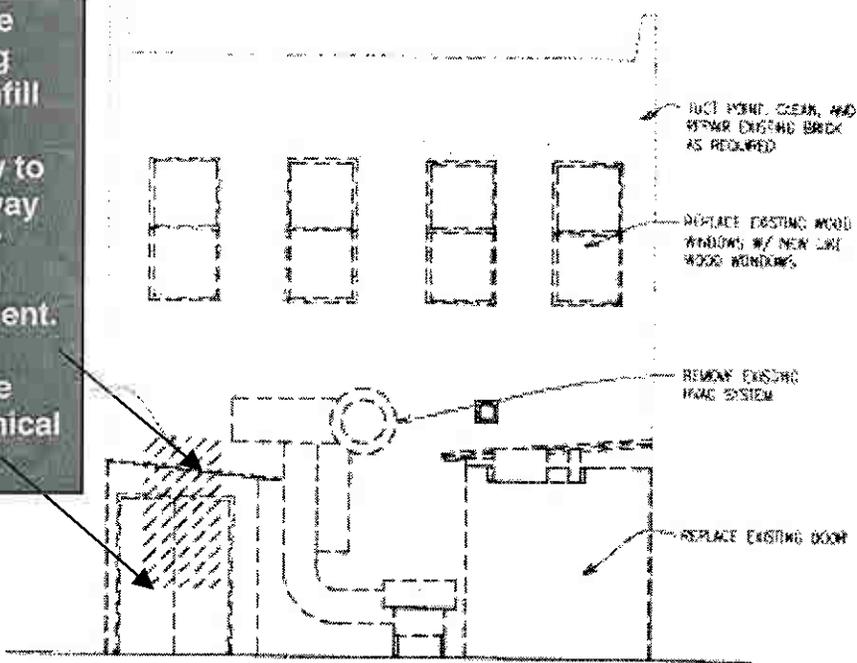
Second story to remain untouched at this point

Remove non-historic infill from street level storefront. (Area below steel lintel)

1105-07 N. Old World Third Street

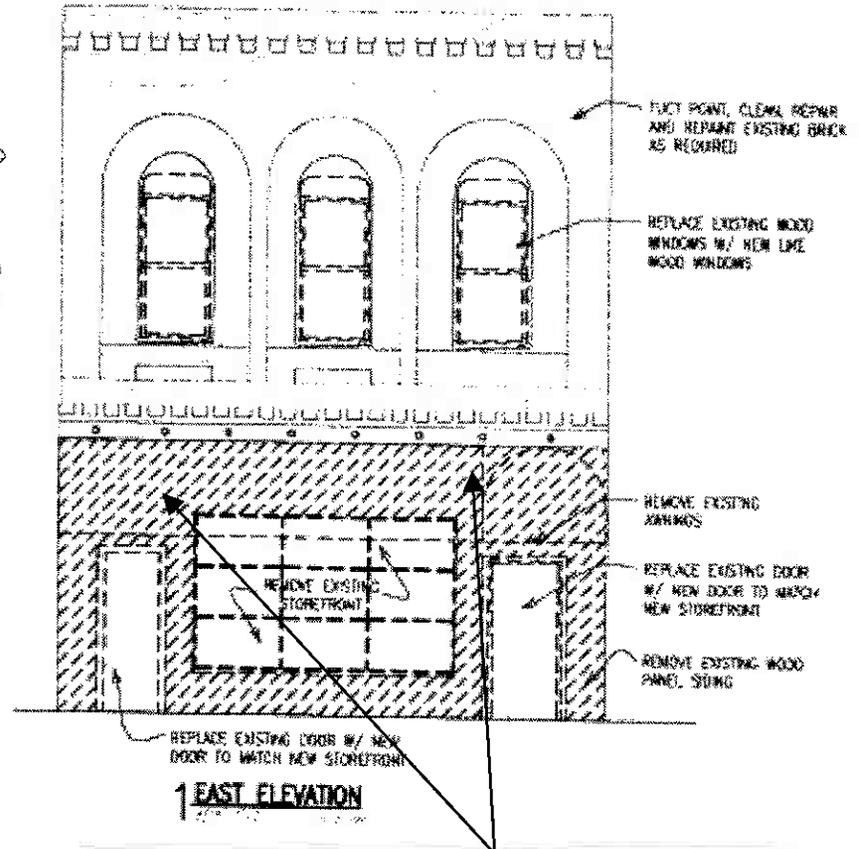
Remove existing brick infill from window to make way for new venting equipment.

Remove mechanical shed.



WEST ELEVATION

Mechanicals and shed to be removed from rear elevation



EAST ELEVATION

Shaded area to be removed to make way for new storefront (plans to be submitted and reviewed later)