

UPTOWN CROSSING

BUSINESS IMPROVEMENT DISTRICT



Uptown Crossing BID is seeking proposals for the purchase and redevelopment of

Klapper & Company
5038 West North Avenue
located in the Uptown Crossing neighborhood

PROPERTY DETAILS
See attached Ogden & Company information sheets.

OFFERING PRICE AND INVESTMENT
The asking prices for each parcel are listed per attached Ogden & Company information sheets.

PROPERTY SHOWING
BID #16 personnel will show the properties upon request. Contact Marsha McNeil at 414.270.4163 or marsham@ogdenre.com to arrange a showing.
Note: BID#16 and its personnel are serving as owner's representatives and does not own the property herein.

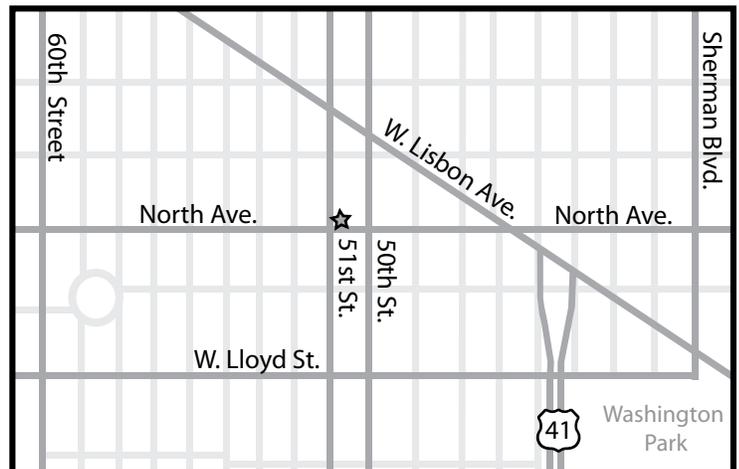
- PROPERTY USE & REDEVELOPMENT**
- The building should be renovated according to the standards attached to the RFP.
 - The Buyer must obtain City Building & Occupancy Permits for the buildings as evidence of buyer's redevelopment.
 - The Uptown Crossing BID is willing to make a financial investment in the redevelopment of between \$25,000 to \$75,000, with terms to be negotiated, based on the merit of the project proposal and how it aligns with the goals of the BID.

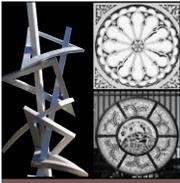
Alternate use may be permitted if allowed under current zoning. Conversion to an alternate use or change in the current site configuration may trigger additional zoning requirements.

Proposals may be submitted any time and will be considered on a first-come basis, subject to a 24-hour notice period. Proposals must be received at:
Uptown Crossing, BID #16,
c/o Ogden & Company, Inc.
1665 North Water Street
Milwaukee, WI 53202

Proposals may also be submitted via e-mail to: marsham@ogdenre.com.

Please provide three (3) copies of the proposal. Proposals submitted to other locations will not be accepted.





UPTOWN CROSSING BUSINESS IMPROVEMENT DISTRICT

Bid #16 is working with the City of Milwaukee Department of City Development. Funding may be available depending upon the proposal being submitted and how the proposal supports BID#16 and DCD objectives.

The BID may also consider a letter of interest from potential users if the parties are not prepared to submit a full RFP.

PROPOSAL PROCESS

Submit the following information:

- A Letter of Interest
 - We welcome businesses and development teams to submit a proposal on the property.
- A Project Summary
 - Identify the proposed use for the property.
 - Outline preliminary budget (hard & soft costs). A line-item renovation budget may be submitted with the scope of work.
 - Identify financing sources. Attach a letter of interest from a financial institution if possible.
 - Discuss development team; include development experience and past projects.
- Scope of work detailing proposed renovations and site improvements. The Uptown Crossing BID is most interested in the improvements to the exterior of the building and the ground floor retail space.
 - Proposed renderings must be included if any exterior alternations are to be made.
 - A site plan must be provided if changes are made to the lot.
 - A proposed project schedule must be provided showing construction phases and completion of the work.
- Proposals may be submitted any time and will be considered on a first-come basis, subject to a 24-hour notice period. Please provide three (3) copies of the proposal. Proposals may be submitted via e-mail to marsham@ogdenre.com.

BID POLICIES

- Proposals will be rejected from any party (as an individual or as part of an entity) who:
 - Is delinquent in the payment of taxes for property in the City of Milwaukee
 - Has outstanding judgments from the City or if the City acquired property-tax-foreclosure judgment
 - Has outstanding health or building code violations or order from the City's Health Department or Department of Neighborhood Services that are not actively being abated
 - Has been convicted of a felony that relates to neighborhood stability, health, safety or welfare
- Tax and court records will also be checked prior to Closing. If any of these conditions are found to exist, the BID will terminate the Purchase and Sale Agreement and retain all fees submitted by Buyer.

REVIEW & SELECTION

Submissions will be reviewed by BID #16 within three (3) weeks of submittal according to the following criteria:

- Offering price
- Extent of proposed renovation
- Rehabilitation experience of buyer and/or buyer's contractors
- Schedule and completion of all minimum rehab standards

OTHER APPROVALS

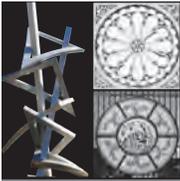
Buyer is solely responsible for obtaining approval of the Board of Zoning Appeals for uses or development requirements that are not expressly permitted by the zoning code. If BOZA approval is required, BID #16 will assist buyer to obtain such approval prior to closing.

BID #16 reserves the right to reject any and all proposals for any reason at its sole discretion, to negotiate the terms and conditions of the eventual contract with the Buyer awarded the purchase and development rights, and to impose additional use restrictions, if necessary.

The contents of this packet are for informational purposes only and the representations made herein, though thought to be accurate, and without warranty. Buyer should rely exclusively on their own investigations and analyses.

QUESTIONS & ADDITIONAL SHOWINGS

Contact Marsha McNeil, 414.270.4163 or marsham@ogdenre.com.



UPTOWN CROSSING BUSINESS IMPROVEMENT DISTRICT

PROPERTY

Klapper Building
5038 West North Avenue
Milwaukee, WI

OFFER INFORMATION

Offer Price: \$ _____

Contingences :

Is the offer being submitted by a licensed broker? Yes No

Broker Name _____ Telephone _____

Firm _____ Address _____

Brokerage fee paid as outlined in the RFP and only if a broker submits the initial offer.

BUYER IDENTIFICATION

Legal Name _____

Mailing Address _____

Primary Contact _____ Telephone _____

Email: _____ Fax _____

Buyer Attorney _____

Legal Entity

Individual(s) If multiple, identify:

Joint Tenants Tenants in Common Corporation LLC Partnership Other _____

If not a Wisconsin corporation/partnership, state where organized: _____

Will new entity be created for ownership Yes No

Principals of existing or proposed corporation/partnership and extent of ownership interest.

Name _____

Address _____

Title Interest :

Attach a list of properties in the City of Milwaukee in which buyer has an ownership interest either as individual or as part of a corporation/partnership.

PROJECT DESCRIPTION

Describe project/proposed use:

PROPERTY SUMMARY

Building Area _____ SF # Stories _____ Basement Yes No
Land Area _____ SF # Units _____ # Parking Spaces _____

How will storm water be managed? _____

Will project incorporate any "sustainable" concepts? _____

Will development include private land? Yes No

For income property, estimated sale or rental range _____

Will a zoning change be requested? _____

Identify other approvals, permits or licenses (i.e. BOZA, Health Department, etc.)

Discuss neighborhood impact/support:

Note: Project must be fully taxable for property tax purposes. See BID Polices below.

DEVELOPMENT TEAM

Developer _____

Community Partners _____

Architect _____

Surveyor _____

Contractor _____

Sales Agent/Property Manager _____

Other Members _____

Describe team expertise and experience:

Other Team projects:

PROJECT BUDGET & FINANCIAL STRATEGY

Budget Summary

Property Acquisition (public & private)	\$ _____
Environmental testing/remediation (Buyer's share)	\$ _____
Demolition (if applicable)	\$ _____
Hard construction/rehabilitation costs	\$ _____
Soft costs – architectural fees, permits, misc. Charges, overhead & profit, etc.	\$ _____
Financing fees	\$ _____
Total cost	\$ _____

Budget source Developer Architect Contractor Other _____

Attached detailed summary or pro-forma income analysis as necessary. _____

Financing

Property purchase will be Financed Cash

Construction/rehabilitation will be Financed Cash

Lender _____

Loan Amount \$ _____ Pre-approved Yes No

(Attach pre-approval or letter of interest; May be asked to provide evidence of equity)

Grants involved Yes No

Sources _____

Application status _____

Likelihood of award _____

Other funding _____

ESTIMATED SCHEDULE

Final Plan/Specification Preparation _____

Bidding & Contracting _____

Firm Financing Approval _____

Construction/Rehabilitation _____

Landscaping/Site Work _____

Occupancy/Lease Up _____

CONFLICT OF INTEREST DISCLOSURE

Buyer covenants that no member of the Common Council of the City of Milwaukee, nor any of its officers or employees, has any interest in the Buyer or the intended redevelopment of the property, except as follows:

Is Buyer a City of Milwaukee employee or member of any City board? Yes No

If yes, identify the department, board and/or position: _____



Klapper & Company Building
5038 West North Avenue, Milwaukee, WI 53202
Quorum Architects Project #10020.00

Preliminary Pricing Scope Specifications

Based on Plans: SK-1, EC1.0, EC1.3, D1.1, D1.2, SP1.1, SP1.2-1, and SP1.2-2
Dated 10/4/2010

The following scope is based on a conditions assessment of the Klapper & Company Building at 5038 West North Avenue, Milwaukee, WI 53202. This document has been compiled by BID #16 and its personnel. These parties are serving as the owner's representative and do not own the properties referenced herein.

At a minimum, all mechanical work must be completed to stabilize the buildings for occupancy. The BID prefers the completion of all exterior work to improve the overall look and image condition of the buildings. All interior work is based on recommendations by the architects to create marketable spaces for the buildings' reuse and is not required to be considered the successful proposer. Existing equipment, identified as removed in the attached drawings, may be retained for if deemed appropriate by end user.

General Conditions

Completely developed Architectural Plans and Scope Specifications are to be for competitive bidding at a future date. General Conditions of the Contract for Construction, AIA Document A201, 1997 Edition will be incorporated by reference and will be a part of the Project Manual.

- Contractor will be responsible for providing shop drawings, product cut sheets, samples, etc. for review and approval by the Architect or Owner.
- Architect will submit plans to the City of Milwaukee and pay any plan exam fees.
- Contractor will be responsible for obtaining and paying for construction and occupancy permits.
- Contractor will be responsible for obtaining and paying for any permits to do work in or temporarily occupy the public right-of-way.
- Contractor shall allow for other miscellaneous fees including, but not limited to equipment rental, scaffolding, dumpster rental, landfill fees, temporary barriers, erosion control permits, etc.
- Contractor shall develop a written or graphic construction schedule for Owner approval and shall be responsible for updating same at weekly construction meetings.
- Work in all divisions listed below to be done under the general construction contract unless specifically listed as by Owner or other party.



Architectural Design • Interior Design • Site Design

3112 West Highland Blvd • Milwaukee, Wisconsin 53208 • ph. 414-265-9265 • fax. 414-265-9465 • www.quorumarchitects.com

Contingency

Contractor shall carry a contingency of 15% of construction cost for the preliminary pricing plan.

Code Review

- Zoning: LB2
 - o Two-Family Dwelling: Permitted
 - o Multi-Family Dwelling: Permitted
 - o Live-Work Unit: Permitted
 - o General Office: Permitted
 - o Retail Establishment, General: Limited Use
- Building Construction Type: IIIB
- Existing Building Use Group:
 - o 1st Floor: M (Mercantile)
 - o 2nd Floor: B (Business) and R-3 (Residential)
- Proposed Building Use Group:
 - o 1st Floor: M (Mercantile)
 - o Option 1- 2nd Floor : B (Business) and R-3 (Residential)
 - o Option 2- 2nd Floor : R-2 (Residential)
- Alteration Level: IEBC Level 2 [(Altered Area/Total Area)x100 < 50%]
 - o (3,644 SF/9,464 SF) x 100 = 35 %

General Demolition

- Remove existing interior partitions on the first and second floors per plans.
- Remove existing carpet and 9x9 floor tile (possible ACM) on the first floor.
- Remove existing wood paneling from walls on first floor.
- Remove existing acoustical ceiling tile on the first floor and expose underside of existing joists.
- Remove existing signage, glass block, and storefront including awning cover. Patch as required.

Existing Utilities

- Confirm existing conditions are sufficient for future use of the building and provide for necessary upgrades.
 - o Existing Conditions:
 - Two (2) 50 gallon electric hot water heaters
 - One (1) 20 gallon electric hot water heater
 - Power supply to building from north alley to northwest corner of the building and fed to two meters on the west façade. Power enters building through garage wall.
 - Water supply comes in the building in the basement at the south wall through a 1-1/2" pipe from North Avenue. Contractor to verify supply.
 - A 6" waste line goes out to North Avenue through the south wall of the basement.



Site Work – Division 2

- Restore existing public walk and street as required if portions must be removed to install new utilities.
- Removal of trees, shrubs, bushes, and general debris between Klapper and the Social Security office.
- Provide new fence and gate between Klapper and the Social Security office.

Masonry – Division 4

- Provide allowance for stabilizing and tuckpointing cracks in façade on the east and west sides of the building.
- Tuck point existing limestone sills.
- Provide 8.5 SF of split faced CMU block of similar color to the rest of the building on the west façade where the glass block has been removed.
- Provide new CMU base at storefront.
- Provide new granite veneer below storefront.
- Provide tuckpointing for the chimney.

Wood & Plastic – Division 6

- Remove existing kitchenette and bathroom cabinets on the first floor.
- Provide new kitchen cabinets and appliances for second floor apartments per plan. (Option 1)

Thermal and Moisture Protection – Division 7

- Provide new gutters and downspouts at garage building.
- Replace flat roof between main building and garage.
- Replace existing conductor box and downspout at the west façade with new prefinished aluminum.
- Replace roof on garage structure.
- Replace small roof at east side of the building outside apartment kitchen.

Doors & Windows – Division 8

- Provide new double hung aluminum clad wood windows throughout building.
- Provide three (3) new exterior doors per plan. New exterior to second floor from North Avenue to have a half light.
- Remove 8.5 SF of glass block at the west façade.
- Provide new electric strike at apartment entry door on North Avenue.
- Provide all new interior doors at the second floor per plan. (Option 1 & Option 2)
- Provide second floor apartment doors off of the corridor to have a 20 minute fire rating. (Option 2)
- Provide new glass block and window vent for second floor apartment bathrooms.

- Provide new 60-minuted rated doors per first floor space plan.

Glazing – Division 8

- Provide new storefront glazing.
- Provide new front door.

Finishes – Division 9

- Paint existing exterior metal window grates at the west side of the building.
- Remove existing tile between front door and sidewalk.
- Provide new ceramic tile between front door and sidewalk.
- Refinish stain and sealant at soffit at recessed entry.
- Laminate 5/8" gypsum board on first floor exterior and remaining interior walls.
- Provide new sheet good flooring at back stairs, front stairs/entry, and second floor hallway over existing flooring.
- Provide new 4" rubber base in back stairs, front stairs/entry, and second floor hallway.
- Patch and paint walls at second floor corridor and stairs.
- Infill small door between the second floor corridor and the northwest bedroom.
- Provide a 2-hour fire separation at the underside of structure for the second floor. See Detail 2/SP1.2-2. (Option 1 & Option 2)
- Second floor corridor walls to maintain or be established as a 1-hour fire rating per IEBC 912.5.3 Exception.
- Provide new tile floor in first floor toilet rooms.
- Provide new tile floor in new second floor bathrooms (Option 1 & Option 2)
- Provide new kitchen tile in west unit (Option 1 & Option 2)
- Patch and paint where indicated on plan.
- Refinish existing wood floors in second floor west apartment. (Option 1 & Option 2)

Specialties – Division 10

- Provide the following at each toilet room: brushed stainless steel grab bars, waste unit, hand towel dispenser, liquid soap dispenser, stainless toilet tissue dispensers and stainless steel sanitary napkin waste can.
- Provide new intercom system to upstairs apartments.
- Provide new window coverings for all windows.
- Provide sprinkler system for second floor apartments and common corridor to meet IEBC 912.2.1. (Option 2)
- Provide new interconnected fire alarm and carbon monoxide system with battery back-up for the second floor units.
- Provide new kitchen appliances per plan. (Option 1 & 2)





Plumbing – Division 15

- Remove existing kitchenette and bathroom plumbing on the first floor.
- Provide plumbing fixtures for two new ADA toilet rooms on the first floor.
- Provide plumbing and fixtures for new office toilet room. (Option 1)
- Provide new kitchen plumbing per plan. (Option 1 & Option 2)
- Provide new plumbing and fixtures for new bathroom. (Option 2)
- Provide new shower head and controls in second floor west unit. (Option 1 & Option 2)

Mechanical – Division 15

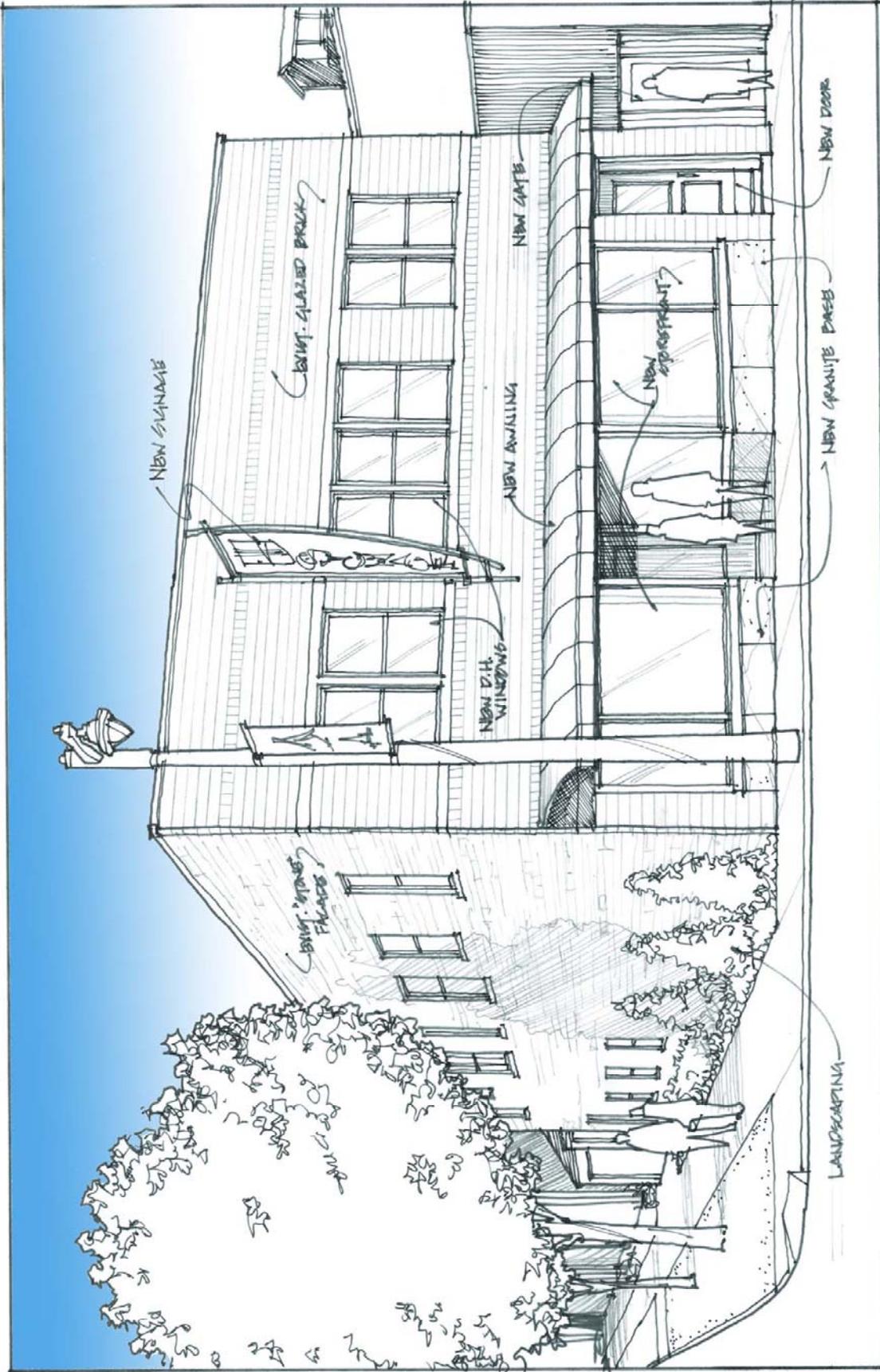
- Remove freestanding AC Unit on the first floor.
- Provide new radiators at second floor where previously removed.
- Remove existing oil fired boiler and replace with upgraded natural gas system.

Electrical – Division 16

- Provide wired carbon monoxide and smoke detectors in the second floor apartments.
- Provide new exit signs with battery back up.
- Provide sub-metered electrical for second floor apartments.

This document and the related drawings are intended only to provide a basis for developing a comprehensive preliminary budget and are not meant to be used for developing a guaranteed maximum price or as actual construction documents. The Owner and Architect reserve their right to change the design and/or specifications prior to actual construction.





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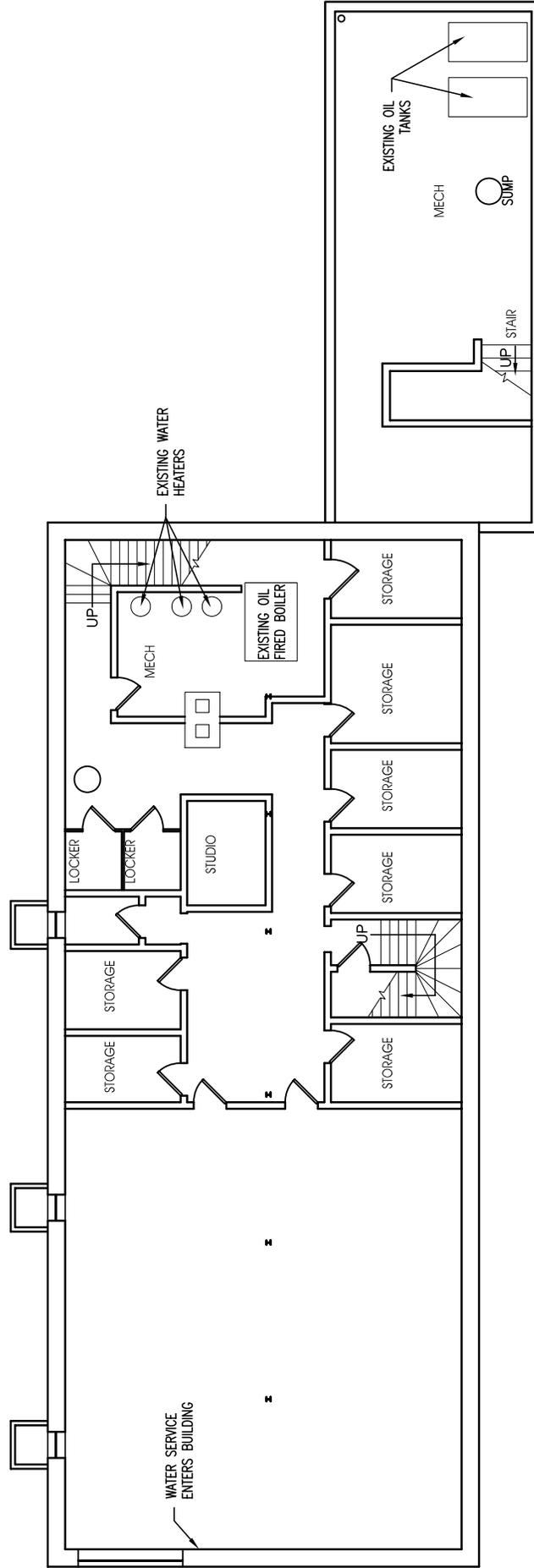
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DATE: 10/4/10	PROJECT: KLAPPER BUILDING 5038 WEST NORTH AVENUE MILWAUKEE, WI	DRAWING: SK-1
SHEET REF:		

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Quorum Architects, Inc.
312 West Highland Boulevard
Milwaukee, Wisconsin 53208
Phone: 414.333.7265
Fax: 414.333.7266
www.quorumarchitects.com



1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/8"=1'-0"

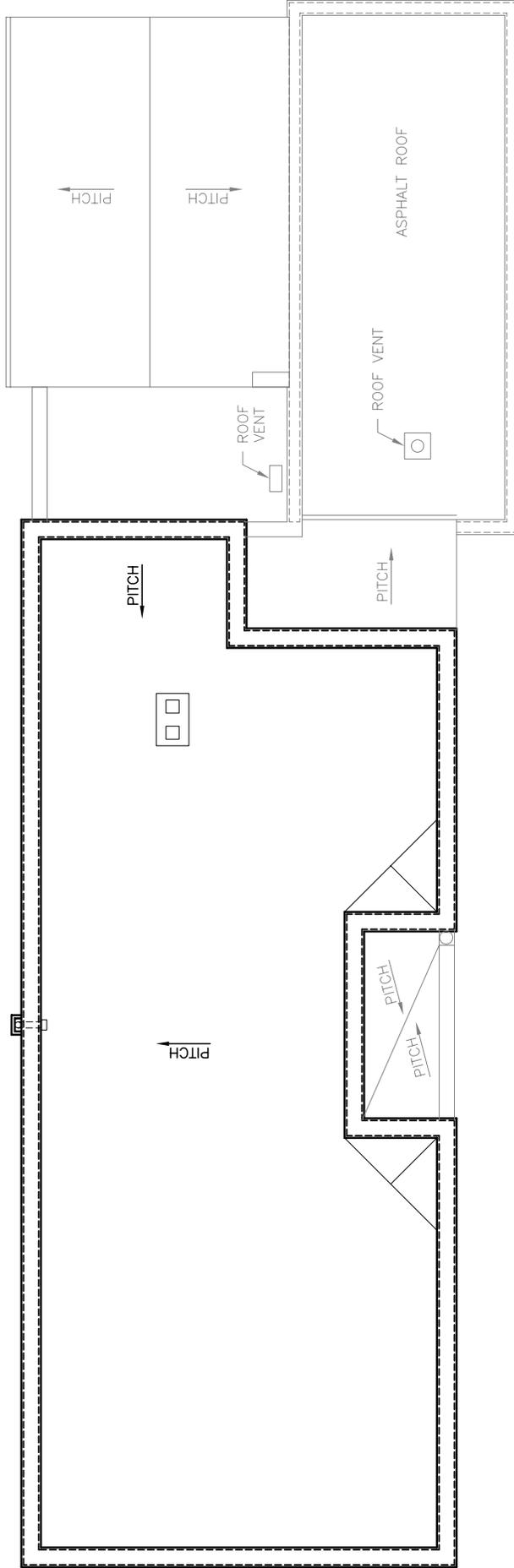


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DRAWN: AJD	REVISION:	PROJECT NO. 10020.00
DATE: 10/4/10	PROJECT: KLAPPER BUILDING	DRAWING: EC1.0
SHEET REF:	5038 WEST NORTH AVENUE MILWAUKEE, WI	QUORUM ARCHITECTS, INC.

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1
 EXISTING
 ROOF PLAN
 SCALE: 1/8"=1'-0"

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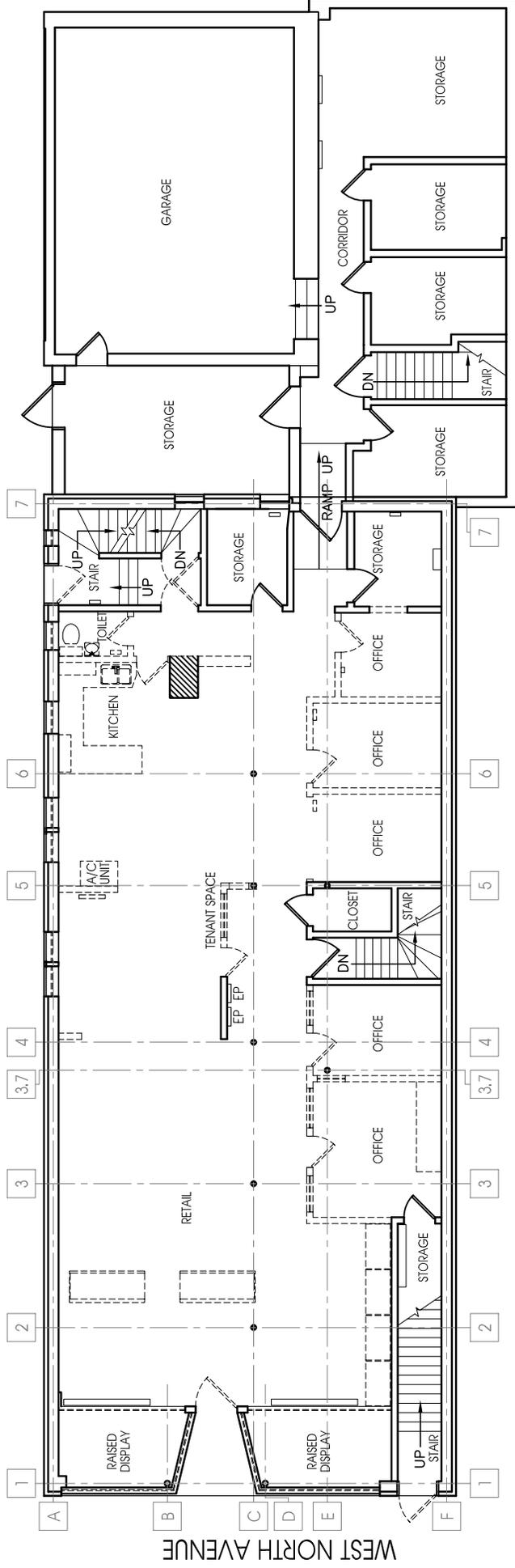
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NORTH 51ST STREET



DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED



1 FIRST FLOOR
DEMOLITION PLAN
SCALE: 1/8"=1'-0"

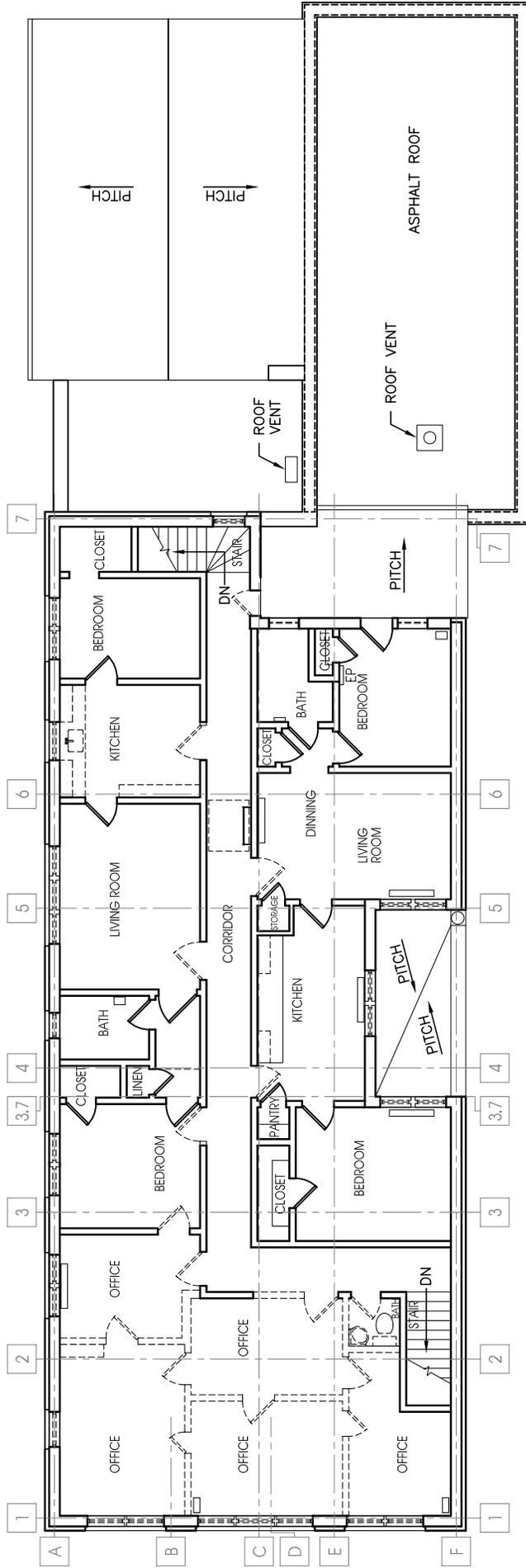
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DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- - - - EXISTING WALLS TO BE REMOVED
- |— EXISTING DOOR TO REMAIN
- - -|— EXISTING DOOR TO BE REMOVED



1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0"

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DATE: 10/4/10	PROJECT: KLAPPER BUILDING 5038 WEST NORTH AVENUE MILWAUKEE, WI	DRAWING: D1.2
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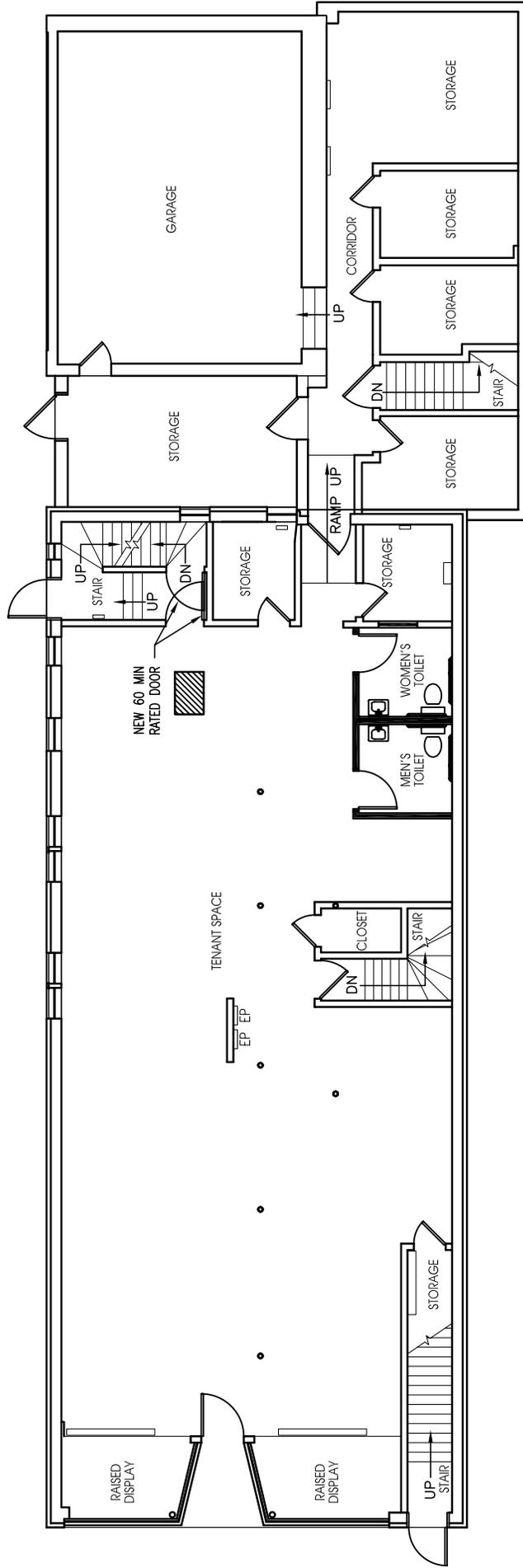
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NORTH 51ST STREET

WEST NORTH AVENUE



FIRST FLOOR
SPACE PLAN

SCALE: 1/8"=1'-0"

1

NEW CONSTRUCTION LEGEND

- EXISTING WALLS
- NEW WALLS
- EXISTING DOOR
- NEW 3'-0" DOOR EXCEPT WHERE OTHERWISE INDICATED
- EXISTING COLUMN
- NEW MILLWORK

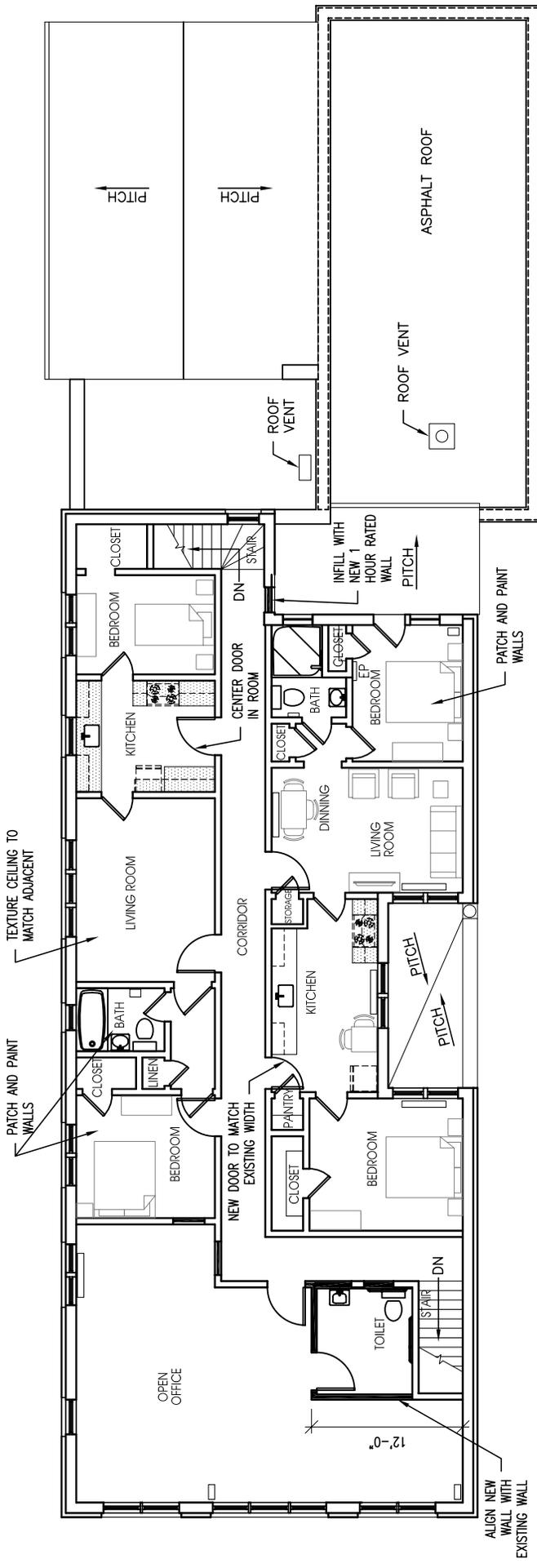
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NEW CONSTRUCTION LEGEND

- EXISTING WALLS
- NEW WALLS
- EXISTING DOOR
- NEW 3'-0" DOOR EXCEPT WHERE OTHERWISE INDICATED
- EXISTING COLUMN
- NEW MILLWORK

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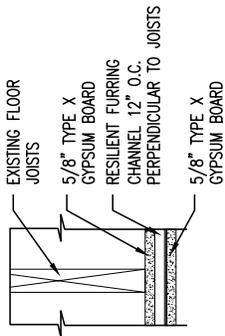
1 SECOND FLOOR
SPACE PLAN - OPTION 1
SCALE: 1/8"=1'-0"

DRAWN: AJD	REVISION:	SPACE PLAN - OPTION 1	PROJECT NO. 10020.00
DATE: 10/4/10	PROJECT:	KLAPPER BUILDING	DRAWING: SP1.2-1
SHEET REF:	PROJECT:	5038 WEST NORTH AVENUE MILWAUKEE, WI	

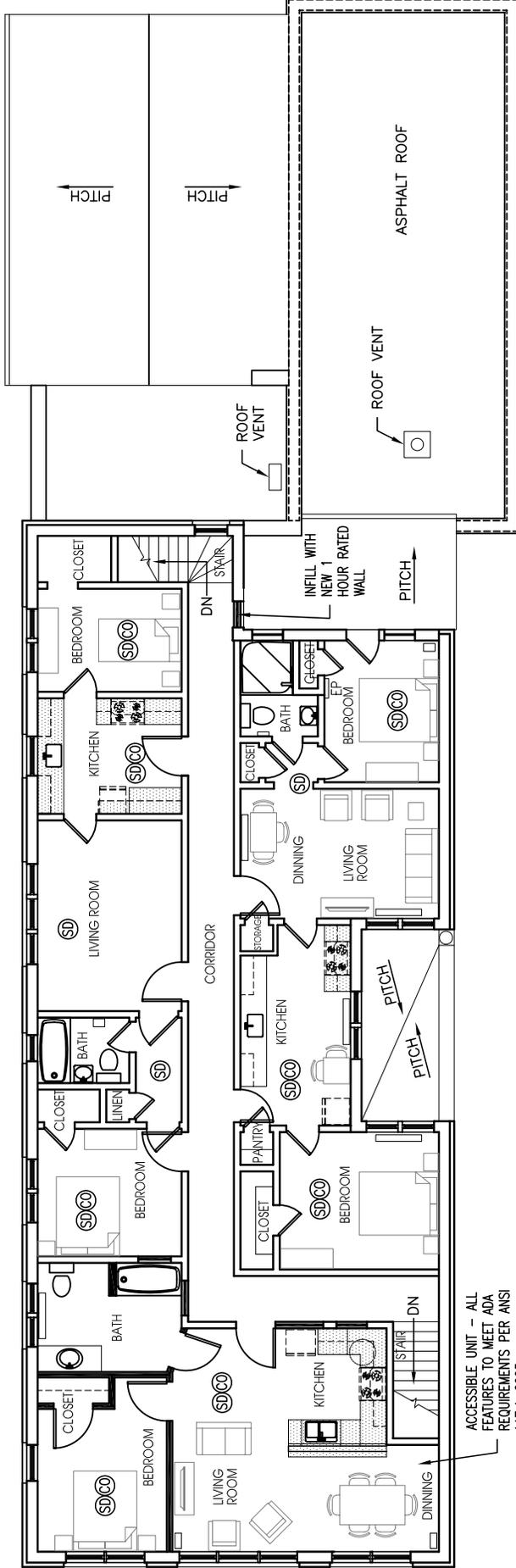
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2 2-HOUR FLOOR SEPARATION
SCALE: 1/4" = 1'-0"



NEW CONSTRUCTION LEGEND

- EXISTING WALLS
- NEW WALLS
- EXISTING DOOR
- NEW 3'-0" DOOR EXCEPT WHERE OTHERWISE INDICATED
- EXISTING COLUMN
- NEW MILLWORK

**PRELIMINARY
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1 SECOND FLOOR
SPACE PLAN - OPTION 2
SCALE: 1/8" = 1'-0"

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