

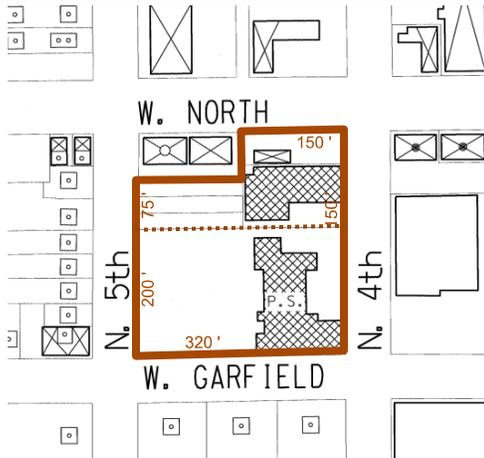


Bronzeville Redevelopment Opportunity

Historic Garfield School - 4th & North Site

School Conversion / Cultural Center

Development Site & Public Plaza



Transform the former Garfield Elementary School into the focal point for Bronzeville Cultural and Entertainment District. The Redevelopment Authority, in partnership with MPS, is seeking a developer to implement the community plan envisioned by the UWM Bronzeville Design Charette (see website).



\$500,000 ASKING PRICE (\$250,000 FOR SCHOOL/\$250,000 FOR NORTH AVENUE CORNER SITE)

SCHOOL SITE: 2215 NORTH 4TH STREET

- 52,804 SF school built in 1887 with a 1960's annex
- National Register designation of Romanesque Revival design by H.S. Koch
- 64,000 SF lot – large fenced playground and parking lot

Property information for project site on website including conceptual plans, plat map, environmental reports and Historic Designation Report

NEW CONSTRUCTION SITE: 411 WEST NORTH, 2235 NORTH 4TH & 2226-34 NORTH 5TH

- 33,750 SF with 150' frontage on North Avenue
- Repurpose Pagoda roof (last remain roof of this style in the City) after demolition of existing museum and restaurant

DEVELOPMENT REQUIREMENTS

- Adapt existing school for residential use; all renovation must be according to historic standards
Tax Credit Information - www.wisconsinhistory.org/hp/architecture/tax_credit.asp
- Incorporate accessible, community arts center on ground floor of school; programming entity to be determined
- Create a public plaza on North Avenue that repurposes the Pagoda roof and provides linkages to arts center
- Construct a building/addition at 4th & North compatible to the school and Bronzeville standards (on website)
- Install landscaping and parking for full project and create linkages with arts center and Bronzeville District
- Provide a fully taxable use; Prohibited uses school use and full social service use.
- Complete rehabilitation and construction in timely manner

SUBMITTAL -- on or before 2:00 PM October 30, 2014

1) "Proposal Summary" (on website) and 2) preliminary architectural plans (scaled - 11" x 17") --site plan, floor plans for building renovation and floor plans and elevations for new construction -- to Elaine Miller at the address below before deadline. Consult website for update, clarifications or changes.

REVIEW & APPROVAL

Review factors include, but not limited to, implementation of charette, contribution to the Bronzeville District, financial viability, developer expertise, tax base to be generated, schedule and offer price.

- Offers subject to approval by the Redevelopment Authority, MPS and Common Council
- Buyer to apply for Planned Development zoning for consideration concurrently with sale approval
- Closing contingent on firm financing and RACM approval of final plans, firm financing and permits
- Purchase & Sale Agreement to be executed prior to closing to outline performance obligations and timely rehabilitation
- Conveyance subject to deed restrictions for performance, prohibition for property tax-exemption and prohibition on use by choice, voucher or for-profit schools by buyer or future owner.

Contact/Submittal: Elaine Miller, DCD, 809 North Broadway, Milwaukee, WI 53202-3617 or emille@milwaukee.gov

School Showings: Tuesday, September 23, 2014 9:00-10:00 AM and Wednesday, October 1, 2014 from 1:00-2:00 PM

No brokerage fee will be paid by the City

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