

Chapter 5 • Neighborhood Code

The Neighborhood Code consists of the following: Regulating Plan, Urban Code, Architectural Code, and Landscape Code. The Neighborhood Code will be administered by the Redevelopment Authority of the City of Milwaukee (RACM) through the DCD staff based upon adherence to this code.

5.1 Regulating Plan

The enclosed Regulating Plan is intended as the master organizational plan for the Beer Line "B" development. Every building lot has been designated for particular building types as identified in the Regulating Plan.

5.2 Urban Code

5.2.1 Introduction

The Urban Code addresses issues of building use, building placement, building heights, fencing, parking and accessory buildings on each building site. Used in conjunction with the Regulating Plan, this code is written to ensure a cohesive urban design for the Beer Line "B" development.

5.2.2 Building and Spatial Hierarchy

This section recognizes and codifies a basic sense of order and hierarchy proposed within the entire built urban context of the Beer Line "B" site. As such, the built form of the buildings and the resultant open spaces; both public and private, which make up this neighborhood must be considered in their totality.

The neighborhood consists of blocks on a network of streets and open spaces. These are laid out to create appropriate building sites and to shorten pedestrian routes. An interconnecting street pattern provides multiple routes, diffusing and slowing automobile traffic while increasing pedestrian activity and encouraging the casual meetings that form the bonds of community.

Public space shall be recognized as the principal space. This includes but is not limited to streets, squares, parks, riverwalks, and pedestrian and bike paths. Private space bordering public space shall be developed

and designed to support and contribute to the quality and character of the public space. This includes but is not limited to building porches, balconies and stoops, front yards, backyards, courtyards, walkways, and surface parking areas.

Public spaces and public buildings enhance community identity and helps to foster civic pride. Only by the participation and cooperation of the private sector in the creation of both the public and private space will a successful environment be produced for the benefit of all those who live in Beer Line "B".

It is important to maintain or create a hierarchy that reinforces visual order in the development. In order to define this hierarchy, the different allowable building types as well as the public and private spaces have been categorized. The following building typologies define a variety of potential building combinations while at the same time reinforce the visual coherence and spatial hierarchy of the neighborhood.

5.2.3 Permitted Building Use and Placement

The narratives and diagrams on the following pages illustrate the different uses and placements of the four individual building types.

The Neighborhood Code is a refinement of the zoning codes permitted, special and prohibited uses. In the Beerline "B" Redevelopment Area, the following list describes those uses from the zoning code which will be allowed:

Permitted Uses

- Single-family, two-family and multi-family dwellings.
- Community living arrangements for not more than 15 persons, subject to s. 295-14-1 of the Milwaukee Code of Ordinances.
- Elementary and secondary schools.
- Public parks and playgrounds.
- Libraries, art galleries and museums.
- Public police and fire facilities.
- Offices.

Chapter 5 • Neighborhood Code

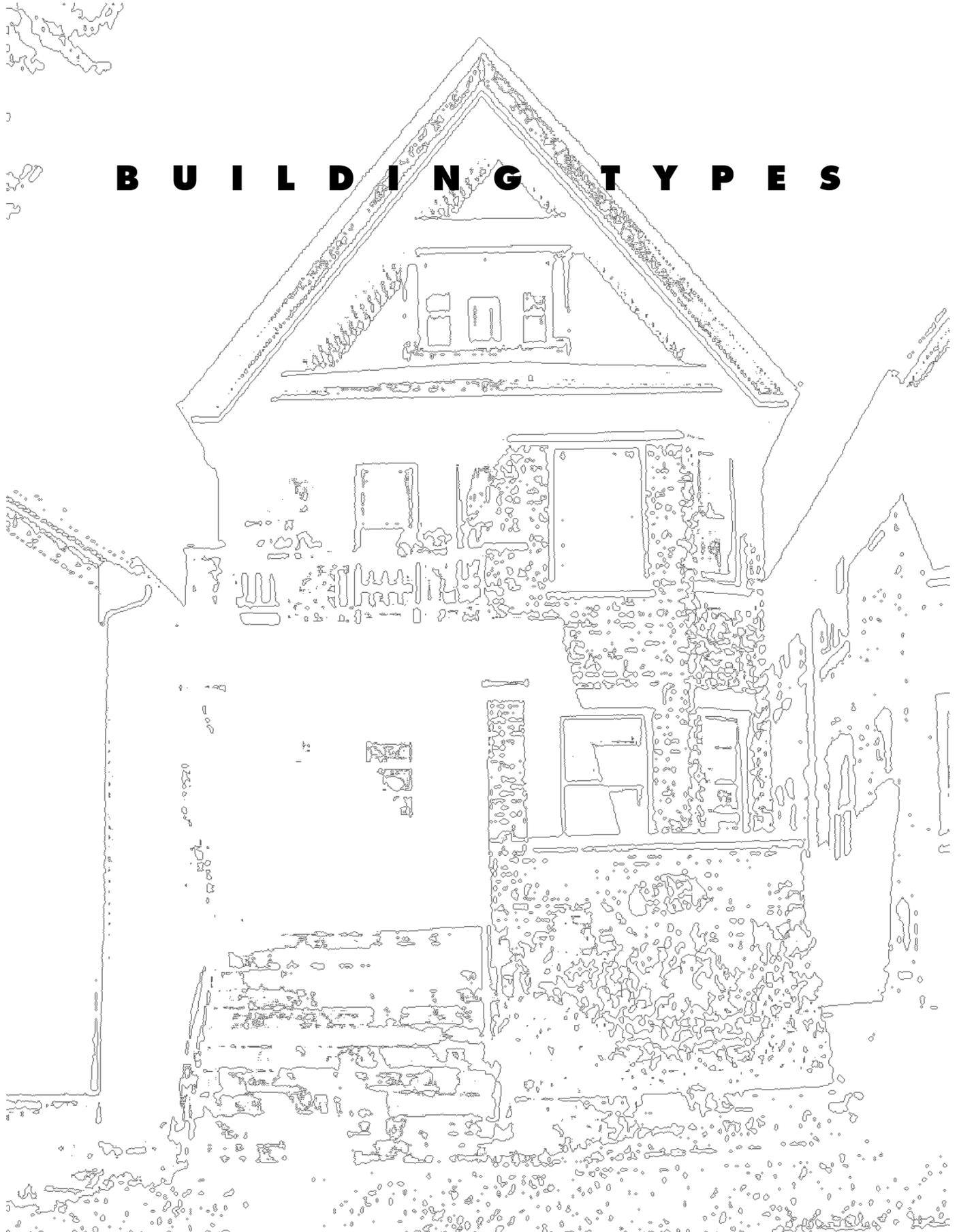
Permitted Uses (continued)

- Banks and other financial institutions.
- Membership organizations.
- General retail establishments not exceeding 15,000 square feet.
- Parking structures if at least 40% of the street frontage of the street level area is devoted to uses permitted by s. 295-422 of the Milwaukee Code of Ordinances subs. 4, 6, 7, 8-a, 9 and 10 or uses approved by the Boards of Zoning Appeals.
- Personal service establishment.
- Business services.
- Dry cleaning and laundry stations.
- Commercial hotels.
- Type "A" restaurants.
- Taverns including those with live entertainment or amusement machine premises.
- Theaters, except outdoor theaters, adult motion picture theaters and adult coin-operated moving picture premises.
- Marinas.
- Production of handicrafts, with no more than 3 employees.
- On premise canopy, hood, marquee, projecting, wall and permanent ground signs.
- Accessory uses exclusive of signs.

Special Uses

- Day care centers.
- Specialty schools.
- Health clinics.
- Consumer services.
- Antique or secondhand stores.
- Parking structures if less than 40% of the street frontage of the street level area is devoted to permitted uses or uses approved by the Board of Zoning Appeals.
- Recreation facilities.
- Manufacturing, fabricating, assembling or industrial processing of products listed in s. 295-472-14-b of the Milwaukee Code of Ordinances and the production of handicrafts using more than 3 employees.
- Live/work buildings subject to s. 295-14-2.5 of the Milwaukee Code of Ordinances.
- That portion of a permitted use which contains, alters or adds a drive-through facility.

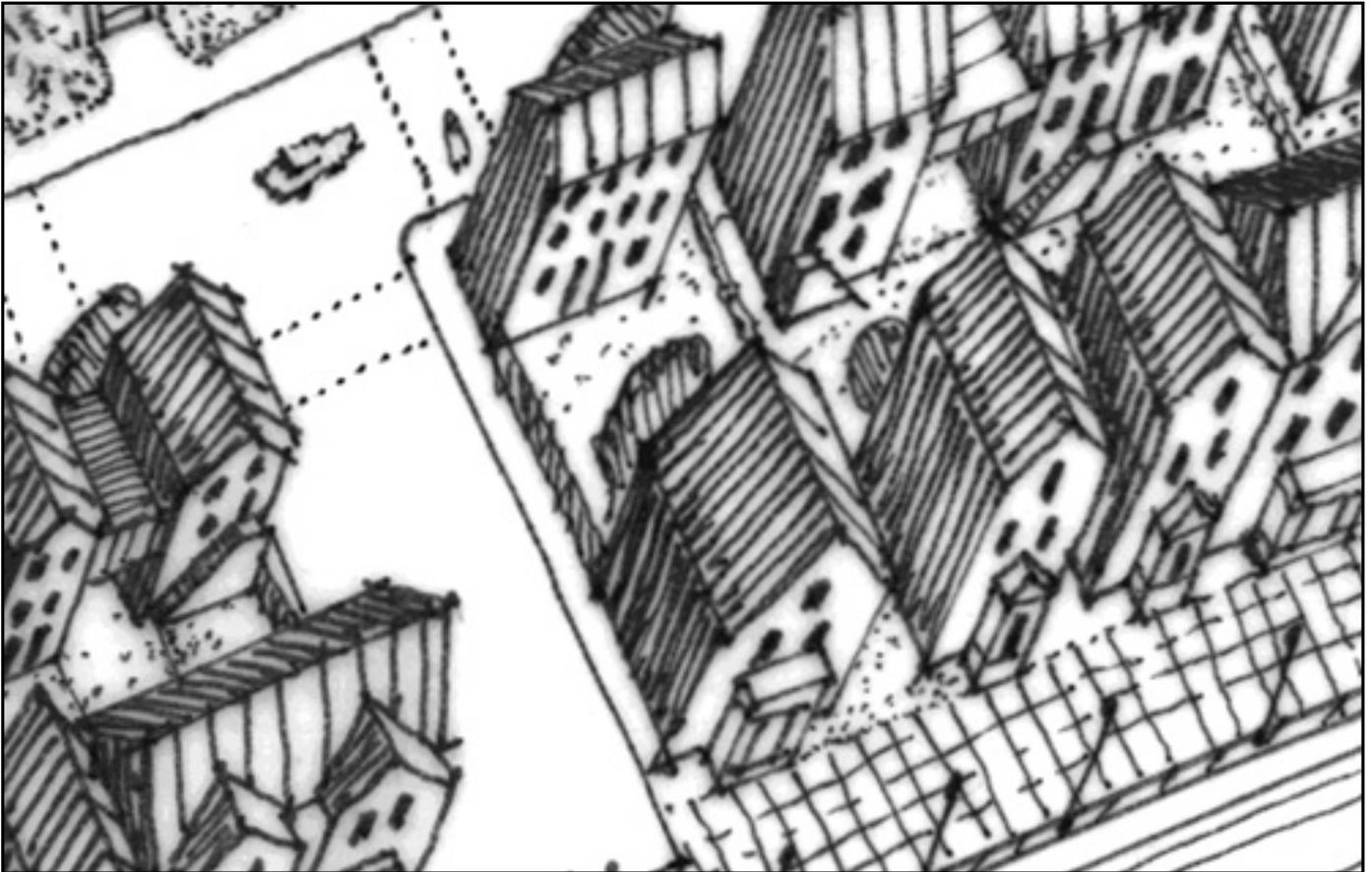
BUILDING TYPES



Chapter 5 • Neighborhood Code

Key of Building Types

Building Type I:	Single and Two Family Residences
Building Type II:	Single Family Rowhouses
Building Type III:	Courtyard Multi-Family Residential Building
Building Type IV:	Mixed-Use: Residential/Commercial



Building Type I

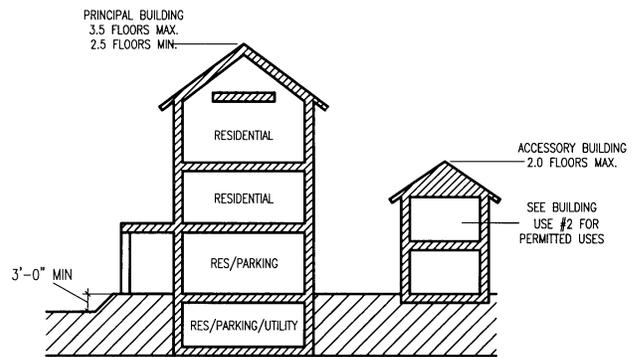
SINGLE AND TWO FAMILY RESIDENCES

Chapter 5 • Neighborhood Code • Building Type I • Single and Two Family Residences

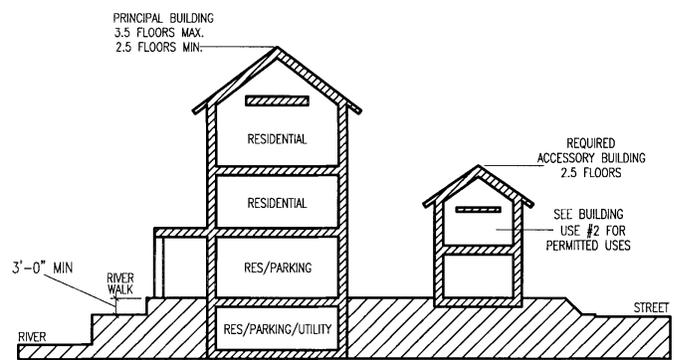
All building plans will be reviewed by the DCD to confirm compliance with the standards listed below. All building plans shall conform to the Wisconsin Administrative Code and all applicable building codes. DCD shall be responsible for interpreting the Neighborhood Code as well as approving minor variations.

Building Use

1. The permitted location of building uses are as shown on the appropriate Building Use Diagram.
2. The following uses are permitted either within the principal building or as an accessory building: garage, greenhouse, artist studio, guest cottage, office, rental apartment, workshop.
3. The maximum number of accessory buildings on a lot with a principal building is one. All lots abutting the Riverwalk are required to provide an accessory building upon occupancy.
4. The minimum size of an accessory building on Riverwalk lots is 1,000 gross square feet with a maximum enclosed footprint of 500 square feet. Accessory buildings on all other lots shall have a maximum enclosed footprint of 500 square feet.
5. An accessory building is not required on a Riverwalk lot if the principal building is configured to meet the standards of both the principal and accessory building requirements.
6. Open air structures such as arbors, gazebos and playground equipment are allowed in addition to an accessory building.
7. Trash containers shall be screened from public view by means of fences, walls or other approved enclosures.
8. Basements are allowed in all structures and are not counted as additional gross floor area.



Building Use Diagram

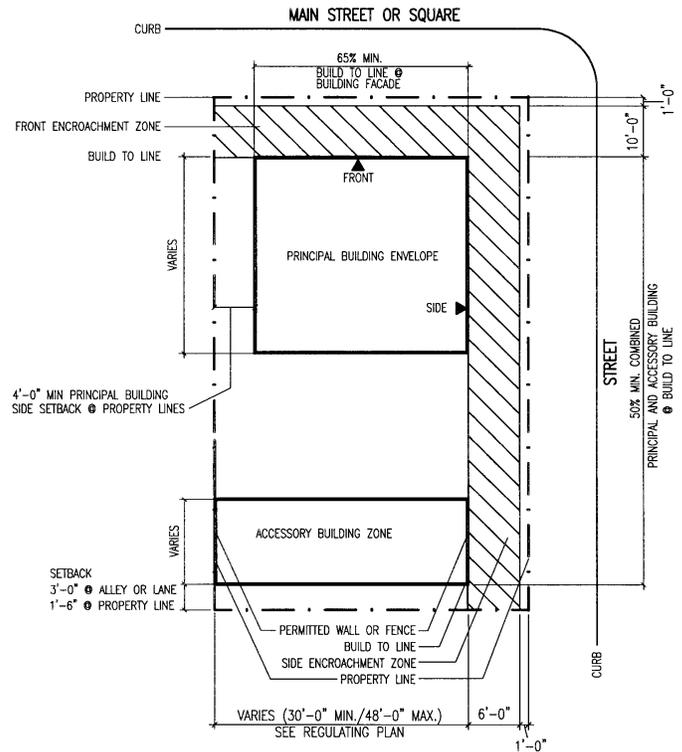


Riverwalk Building Use Diagram

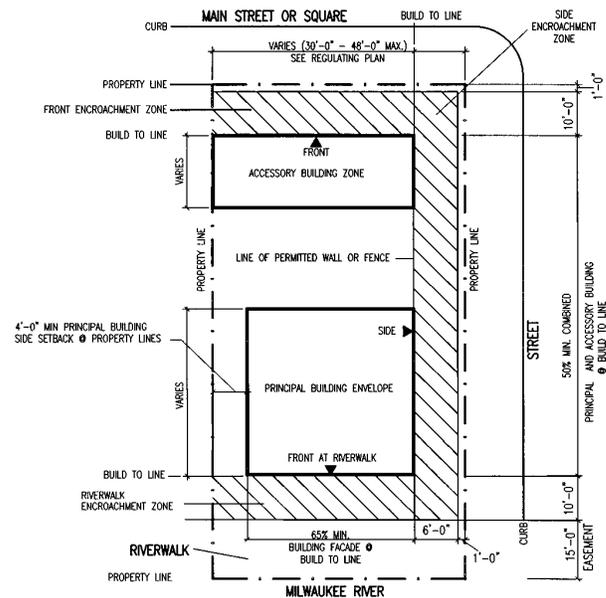
Chapter 5 • Neighborhood Code • Building Type I • Single and Two Family Residences

Building Placement

1. Principal buildings and accessory buildings shall be set on lots relative to the property lines as shown on the appropriate Lot Diagram.
2. The total accumulated lot width shall be no less than 30'-0" and no more than 48'-0".
3. The front building façade must occupy a minimum of 65% of the lot frontage at the build to line. Building entries must be located on the front building façade. Refer to the Regulating Plan and lot diagrams for the designated front locations.
4. Build to lines located on lots with curved property lines at the street (see Regulating Plan) may be substituted with a straight line located at the average depth of the curved line.
5. All lots abutting the Riverwalk are required to provide front building facades facing both the street and the Riverwalk.
6. Accessory buildings on interior lots shall be grouped together whenever possible at common property lines.
7. For lots at the intersection of two streets or other public spaces, principal buildings shall have the entry walkway and porch accessed from the front of the lot as indicated on the Regulating Plan.
8. For lots at the intersection of two streets or other public spaces, the side of the structure facing the public way which is not designated as 'front' is intended to create a built edge defining the boundary of the other street or public space. To achieve this, the principal building and accessory building adjacent to the other street or public space must occupy a cumulative minimum length of 50% of the sideyard at the build to line.



Lot Diagram



Riverwalk Lot Diagram

Chapter 5 • Neighborhood Code • Building Type I • Single and Two Family Residences**Permitted Encroachments****Beyond Build To Line and Setback Lines**

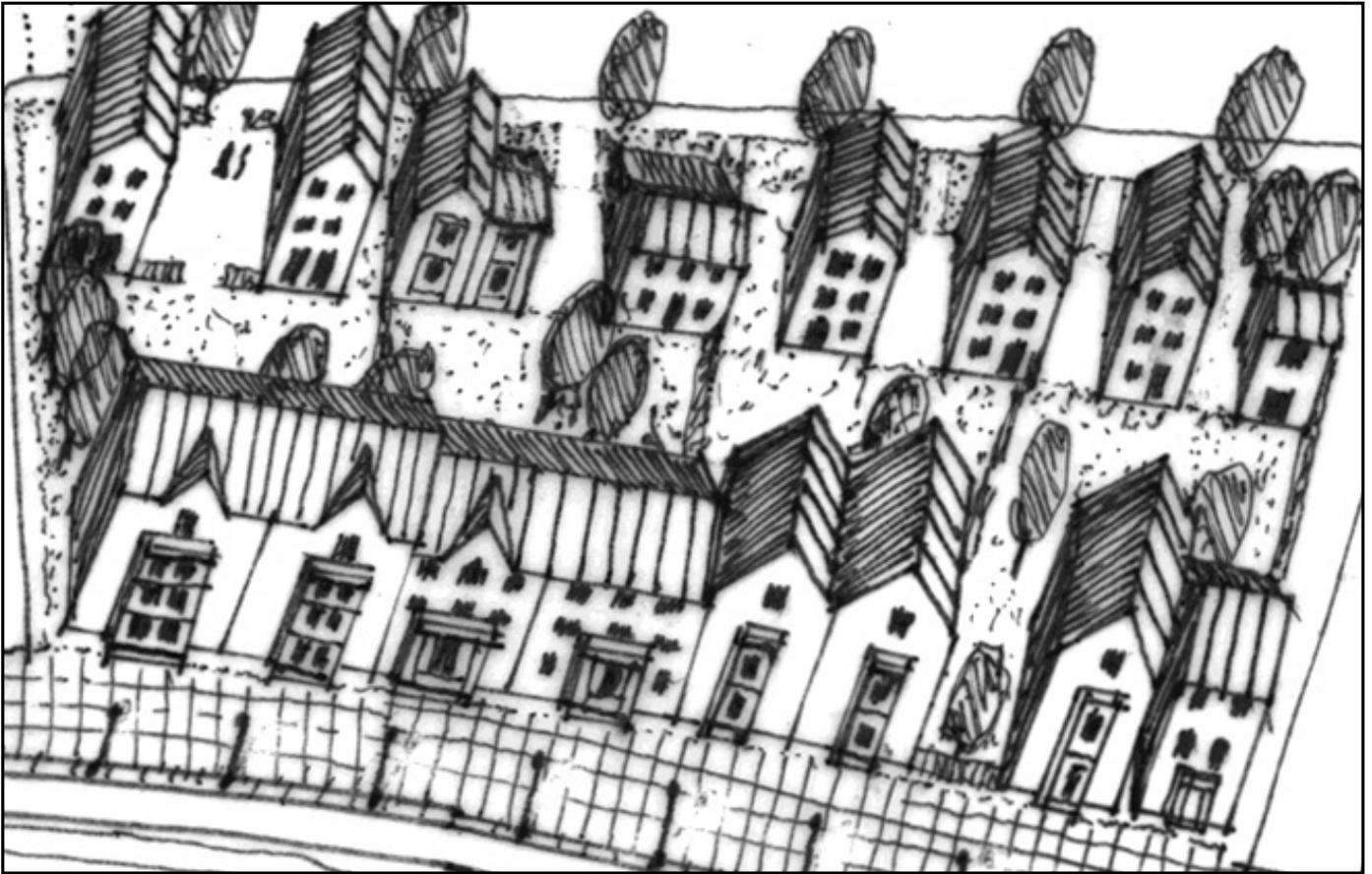
1. Covered or uncovered open porches, balconies, stoops, bay windows and stairs to the first floor level are permitted within the encroachment zone as shown in the appropriate Lot Diagram.
2. Covered open porches are required on the front of the principal building. The length of the porch is to be no less than 50% of the total length of the front façade with a minimum depth of 6'-0".
3. Garden walls and/or fences not exceeding 3'-6" in height shall be permitted within the encroachment zone. Garden walls and/or fences exceeding 3'-6" feet but not more than 6'-0" in height shall be permitted on the build to line, a common property line, or within side or rear yards.
4. Eaves may extend up to 4'-0" into the encroachment zone, and no closer than 1'-0" from a common property line. In no case may an eave extend beyond the property line or over a utility easement.

Parking

1. Garage doors are not permitted directly on the street or public way façade of a principal or accessory building, except those that face alleys, unless noted otherwise on the Regulating Plan. Covered open portals leading to parking are allowed and encouraged.
2. One driveway curb cut with a maximum of 12'-0" in width is allowed per building parcel. Shared driveways are permitted and shall have a maximum width of 18'-0" between the curb line and build to line.

Building Height

1. Minimum and maximum building heights for the principal building shall be measured in number of floors. Minimum height shall be 2 floors and a maximum height of 3.5 floors.
2. A half story indicates a floor level above the eave line which is designed to be habitable.
3. First floor elevation shall be a minimum of 3'-0" above the adjacent sidewalk elevation. ADA housing units may be an exception.
4. Accessory buildings adjacent to North Commerce Street shall have a required height of 2.5 floors. All other accessory buildings shall be a maximum of 2 floors.
5. Basements are allowed in all structures and not counted as an additional floor.



Building Type II

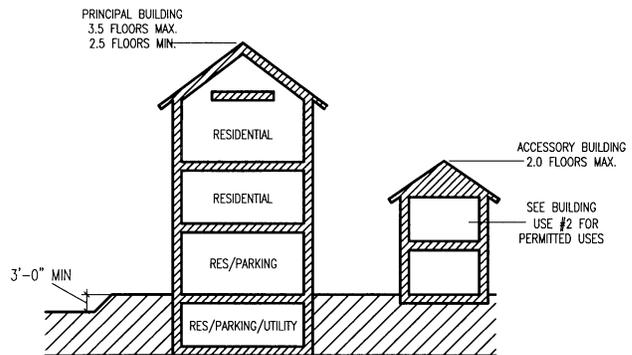
SINGLE FAMILY ROWHOUSES

Chapter 5 • Neighborhood Code • Building Type II • Single Family Rowhouses

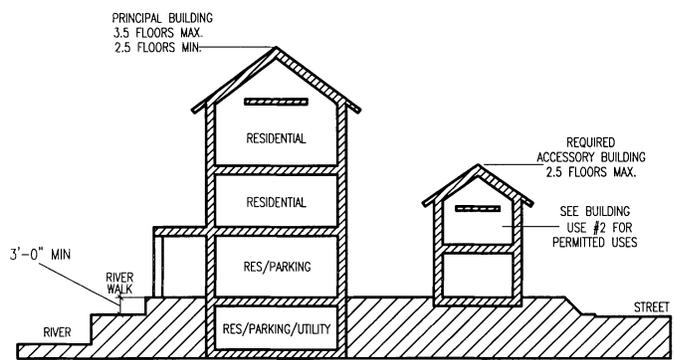
All building plans will be reviewed by the DCD to confirm compliance with the standards listed below. All building plans shall conform to the Wisconsin Administrative Code and all applicable building codes. DCD shall be responsible for interpreting the Neighborhood Code as well as approving minor variations.

Building Use

1. The permitted location of building uses are as shown on the Building Use Diagrams.
2. The following uses are permitted either within the principal building or as an accessory building: garage, greenhouse, artist studio, guest cottage, office, rental apartment, workshop.
3. The maximum number of accessory buildings on a lot with a principal building is one. All lots abutting the Riverwalk are required to provide an accessory building upon occupancy.
4. The minimum size of an accessory building on Riverwalk lots is 1,000 gross square feet with a maximum enclosed footprint of 500 square feet. Accessory buildings on all other lots shall have a maximum enclosed footprint of 500 square feet.
5. An accessory building is not required on a Riverwalk lot if the principal building is configured to meet the standards of both the principal and accessory building requirements.
6. Open air structures such as arbors, gazebos and playground equipment are allowed in addition to an accessory building.
7. Trash containers shall be screened from public view by means of fences, walls or other approved enclosures.
8. Basements are allowed in all structures and are not counted as additional gross floor area.



Building Use Diagram

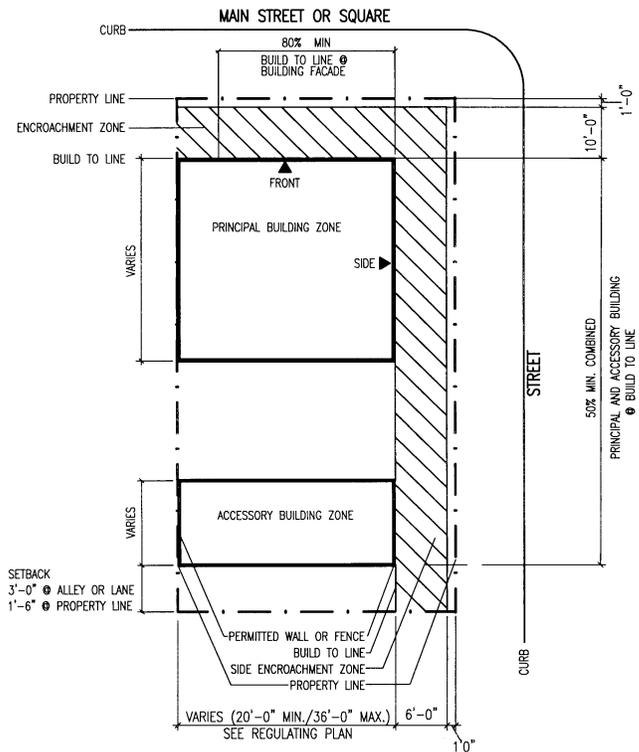


Riverwalk Building Use Diagram

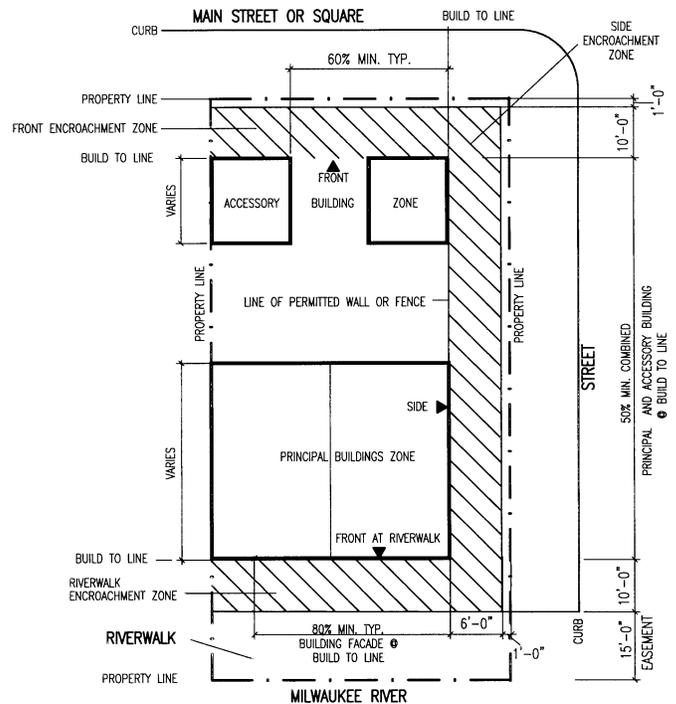
Chapter 5 • Neighborhood Code • Building Type II • Single Family Rowhouses

Building Placement

1. Principal buildings and accessory buildings shall be set on lots relative to the property lines as shown on the appropriate Lot Diagram.
2. The total accumulated lot width for individual units shall be no less than 20'-0" and no more than 36'-0". Grouping of Riverwalk lots shall be a minimum width of 60'-0" with a minimum of two principal buildings and two accessory buildings. If three principal buildings are built on the minimum Riverwalk lot width, one accessory building may be omitted to allow vehicular access to an interior court.
3. The front building façade must occupy a minimum of 80% of the lot frontage at the build to line. The front building façade of accessory buildings shall occupy a minimum of 60% of lot frontage at the build to line. Building entries must be located on the front building façade. Refer to the Regulating Plan and lot diagrams for the designated front locations.
4. Build to lines located on lots with curved property lines at the street (see Regulating Plan) may be substituted with a straight line located at the average depth of the curved line.
5. All lots abutting the Riverwalk are required to provide front building facades facing both the street and the Riverwalk.
6. Accessory buildings on interior lots shall be grouped together whenever possible at common property lines.
7. For lots at the intersection of two streets or other public spaces, principal buildings shall have the entry walkway and porch accessed from the front of the lot as indicated on the Regulating Plan.
8. For lots at the intersection of two streets or other public spaces, the side of the structure facing the public way which is not designated as 'front' is intended to create a built edge defining the boundary of the other street or public open space. To achieve this, the principal building and accessory building adjacent to the other street or public space must occupy a cumulative minimum length of 50% of the sideyard at the build to line.



Lot Diagram



Riverwalk Lot Diagram

Chapter 5 • Neighborhood Code • Building Type II • Single Family Rowhouses

**Permitted Encroachments
Beyond Build To Line and Setback Lines**

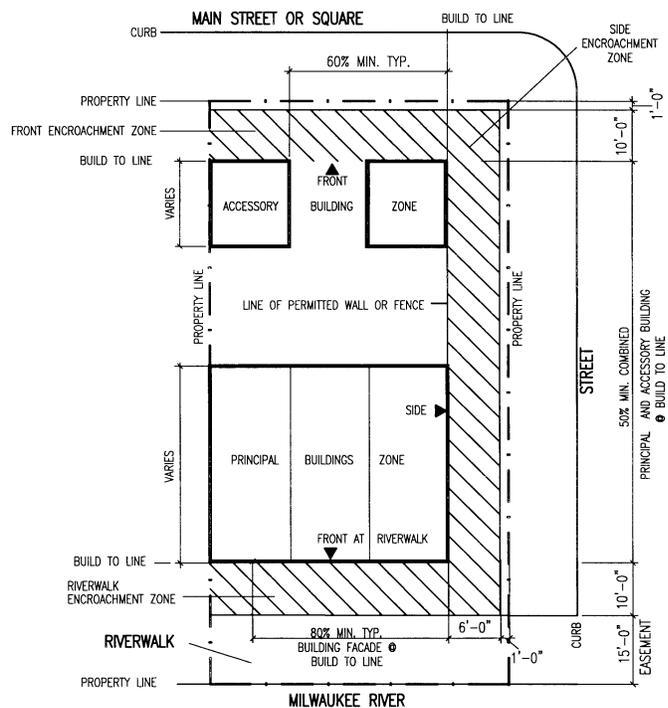
1. Covered or uncovered open porches, balconies, stoops, bay windows and stairs to the building's first floor level are permitted within the encroachment zone as shown in the appropriate Lot Diagram.
2. Covered front stoops are required on the front of the principal building if covered porches are not incorporated in the front encroachment zone.
3. Garden walls and/or fences not exceeding 3'-6" in height shall be permitted within the encroachment zone. Garden walls and/or fences exceeding 3'-6" feet but not more than 6'-0" in height shall be permitted on the build to line, a common property line, or within side or rear yards.
4. Eaves may extend up to 4'-0" into the encroachment zone, and no closer than 1'-0" from a common property line. In no case may an eave extend beyond the property line or over a utility easement.

Parking

1. Garage doors are not permitted directly on the street or public way façade of a principal or accessory building, except those that face alleys, unless noted otherwise on the Regulating Plan. Covered open portals leading to parking are allowed and encouraged.
2. One driveway curb cut with a maximum of 12'-0" in width is allowed. Shared driveways are permitted and shall have a maximum width of 18'-0" between the curb line and the build to line.

Building Height

1. Minimum and maximum building heights for the principal building shall be measured in number of floors. Minimum height shall be 2.5 floors and a maximum height of 3.5 floors.
2. A half story indicates a floor level above the eave line which is designed to be habitable.
3. First floor elevation shall be a minimum of 3'-0" above the adjacent sidewalk elevation. ADA housing units may be an exception.



Riverwalk Lot Diagram

4. Accessory buildings adjacent to North Commerce Street shall have a required height of 2.5 floors. All other accessory buildings shall be a maximum of 2 floors.
5. Basements are allowed in all structures and not counted as an additional floor.



Building Type III

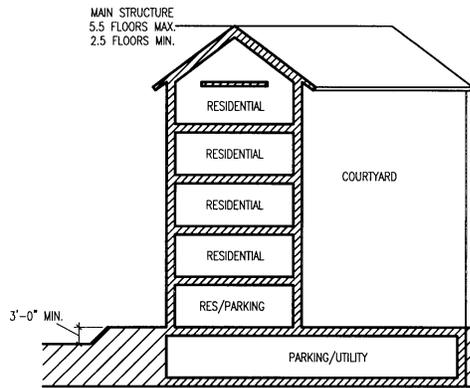
COURTYARD MULTI-FAMILY RESIDENTIAL BUILDING

Chapter 5 • Neighborhood Code • Building Type III • Courtyard Multi-Family Residential Building

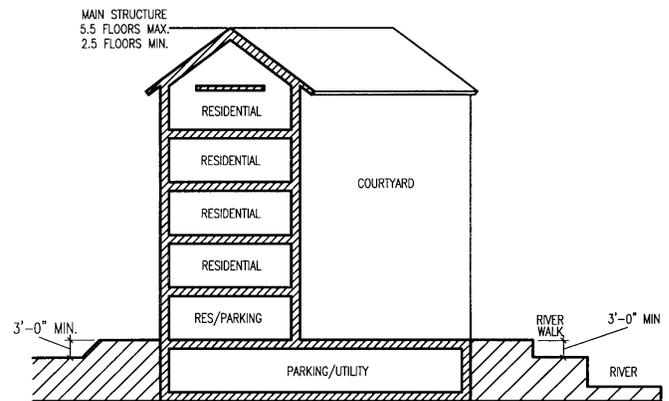
All building plans will be reviewed by the DCD to confirm compliance with the standards listed below. All building plans shall conform to the Wisconsin Administrative Code and all applicable building codes. DCD shall be responsible for interpreting the Neighborhood Code as well as approving minor variations.

Building Use

1. The permitted location of building uses are as shown on the Building Use Diagrams.
2. Open air structures such as arbors, gazebos and playground equipment are allowed.
3. Trash containers shall be screened from public view by means of fences, walls or other approved enclosures.
4. Basements are allowed and are not counted as additional gross floor area.



Building Use Diagram

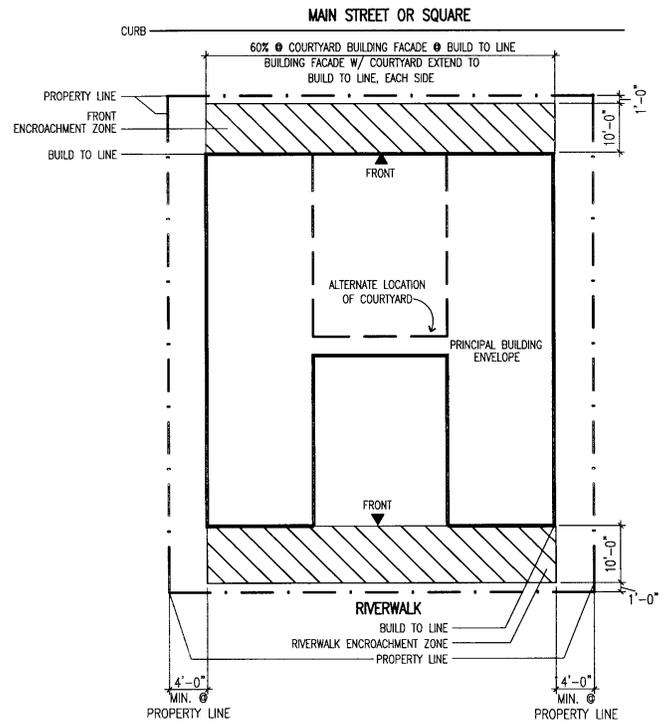


Riverwalk Building Use Diagram

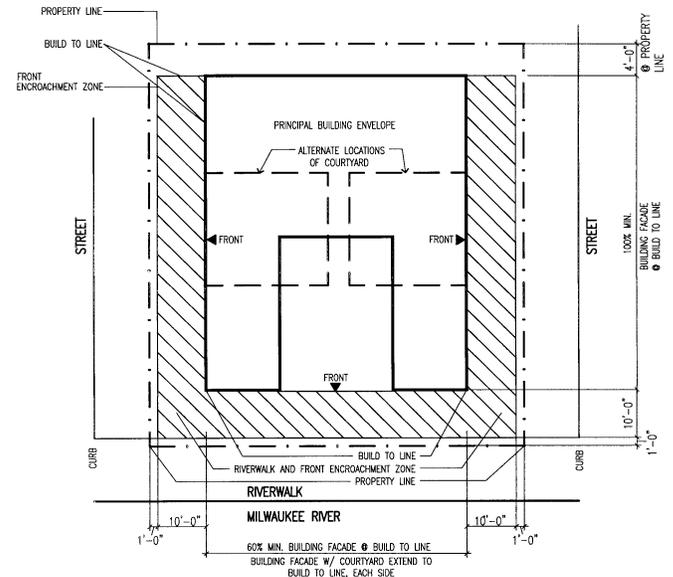
Chapter 5 • Neighborhood Code • Building Type III • Courtyard Multi-Family Residential Building

Building Placement

1. Principal buildings shall be set on lots relative to the property lines as shown on the appropriate Lot Diagram.
2. The front building façade must occupy a minimum of 60% of the lot frontage at the build to line. Building entries must be located on the front building façade, at either the build to line or in the courtyard. Refer to the Regulating Plan and lot diagrams for the designated front locations.
3. Build to lines located on lots with curved property lines at the street (see Regulating Plan) may be substituted with a straight line located at the average depth of the curved line.
4. For lots at the intersection of two streets or other public spaces, principal buildings shall have the entry walkway accessed from the front of the lot as indicated on the Regulating Plan.
5. For lots at the intersection of two streets or other public spaces, the side of the structure facing the public way which is not designated as 'front' is intended to create a built edge defining the boundary of the other street or public space. To achieve this, the principal building adjacent to the open space shall occupy both corners at the adjacent build to lines and a minimum of 60% of the lot frontage at the build to line.



Lot Diagram



Riverwalk Lot Diagram

Chapter 5 • Neighborhood Code • Building Type III • Courtyard Multi-Family Residential Building

Permitted Encroachments

Beyond Build To Line and Setback Lines

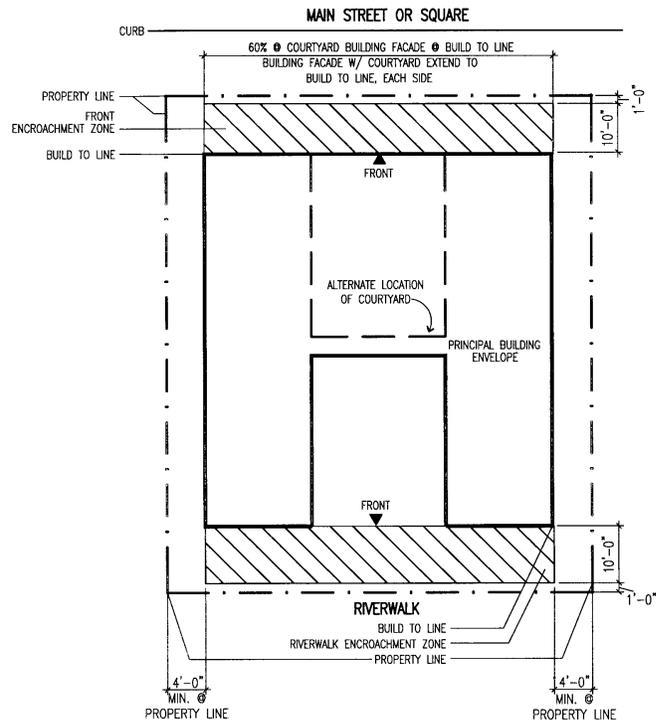
1. Covered or uncovered open porches, balconies, stoops, bay windows and stairs to the building's first floor level are permitted within the encroachment zone shown in the appropriate Lot Diagram.
2. Garden walls and/or fences not exceeding 3'-6" in height shall be permitted within the encroachment zone. Garden walls and/or fences exceeding 3'-6" feet but not more than 6'-0" in height shall be permitted on the build to line, a common property line, or within side or rear yards.
3. Eaves may extend up to 4'-0" into the encroachment zone, and no closer than 1'-0" from a common property line. In no case may an eave extend beyond the property line or over a utility easement.

Parking

1. One garage door per street per building is permitted. Covered open portals leading to parking are allowed and encouraged.
2. Driveways shall have a maximum width of 18'-0" between the curb line and the build to line.
3. On-site parking is not permitted within the encroachment zone.

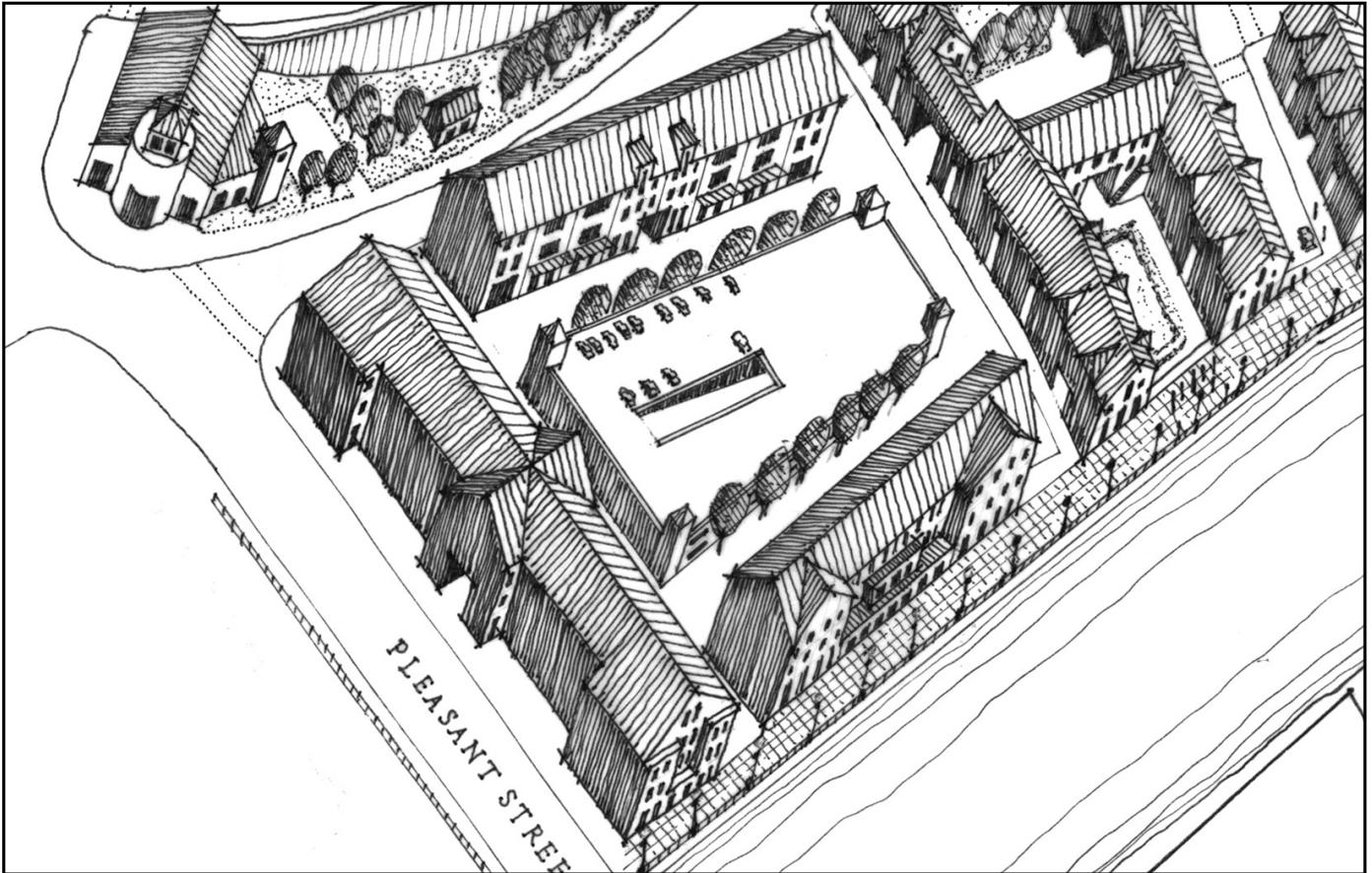
Building Height

1. Minimum and maximum building heights for the principal building shall be measured in number of floors. Minimum height shall be 2.5 floors and a maximum height of 5.5 floors.
2. A half story indicates a floor level above the eave line which is designed to be habitable.
3. First floor elevation shall be a minimum of 3'-0" above the adjacent sidewalk elevation. ADA housing units may be an exception.
4. Basements are allowed in all structures and not counted as an additional floor.



Riverwalk Lot Diagram

Chapter 5 • Neighborhood Code • Building Type IV • Mixed Use: Residential/Commercial



Building Type IV

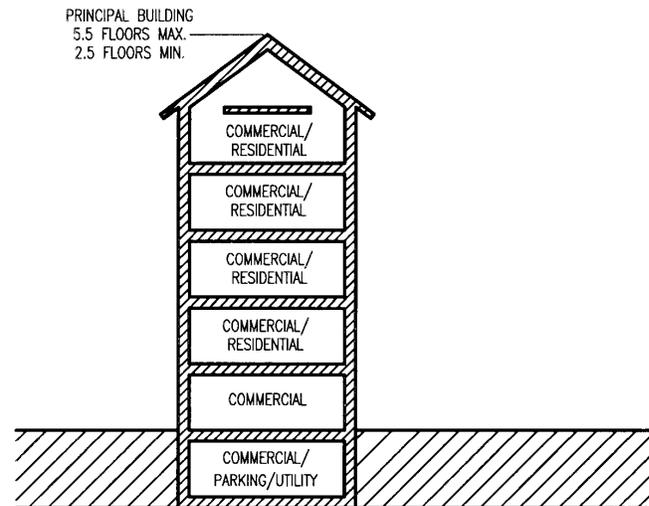
MIXED USE: RESIDENTIAL/COMMERCIAL

Chapter 5 • Neighborhood Code • Building Type IV • Mixed Use: Residential/Commercial

All building plans will be reviewed by the DCD to confirm compliance with the standards listed below. All building plans shall conform to the Wisconsin Administrative Code and all applicable building codes. DCD shall be responsible for interpreting the Neighborhood Code as well as approving minor variations.

Building Use

1. The permitted location of building uses are as shown on the Building Use Diagrams.
2. Open air structures, such as arbors, gazebos and playground equipment are allowed in addition to an accessory building.
3. Trash containers shall be screened from public view by means of fences, walls or other approved enclosures.
4. Basements are allowed in all structures and are not counted as additional gross floor area.

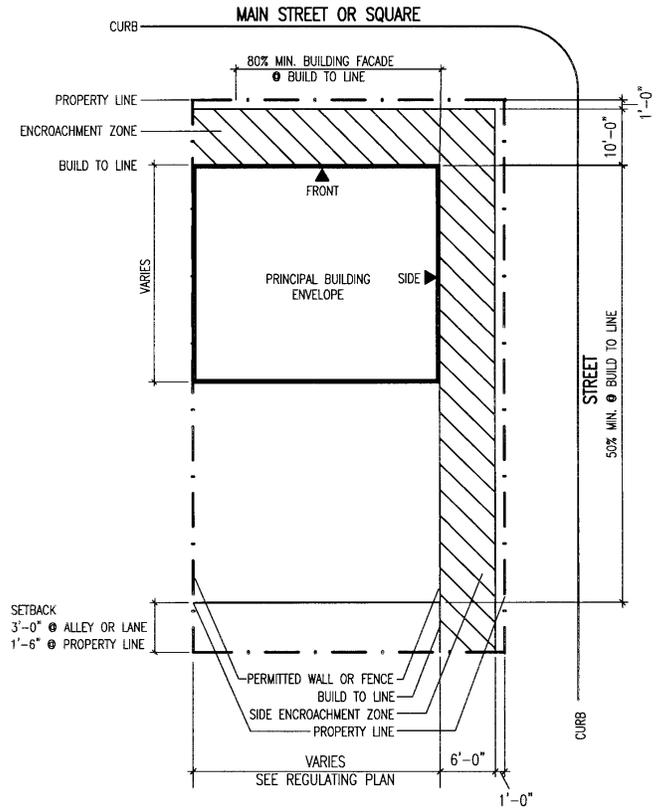


Building Use Diagram

Chapter 5 • Neighborhood Code • Building Type IV • Mixed Use: Residential/Commercial

Building Placement

1. Principal buildings and accessory buildings shall be set on lots relative to the property lines as shown on the Lot Diagram.
2. The front building façade must occupy a minimum of 80% of the lot frontage at the build to line. Building entries must be located on the front building façade. Refer to the Regulating Plan and lot diagrams for the designated front locations.
3. Build to lines located on lots with curved property lines at the street (see Regulating Plan) may be substituted with a straight line located at the average depth of the curved line.



Lot Diagram

Chapter 5 • Neighborhood Code • Building Type IV • Mixed Use: Residential/Commercial**Permitted Encroachments****Beyond Build To Line and Setback Lines**

1. Covered or uncovered open porches, balconies, stoops, bay windows and stairs to the building's first floor are permitted within the encroachment zone shown in the appropriate Lot Diagram.
2. Front encroachment zones are to be hard surface between the build-to line and the curb.
3. Garden walls and/or fences not exceeding 3'-6" in height shall be permitted within the encroachment zone. Garden walls and/or fences exceeding 3'-6" feet but not more than 6'-0" in height shall be permitted on the build to line, a common property line, or within side or rear yards.
4. Eaves may extend up to 4'-0" into the encroachment zone, and no closer than 1'-0" from a common property line. In no case may an eave extend beyond the property line or over a utility easement.

Parking

1. One garage door per street per building is permitted. Covered open portals leading to parking are allowed and encouraged.
2. Driveways shall have a maximum width of 18'-0" between the curb line and the build to line.
3. On-site parking is not permitted within the encroachment zone.

Building Height

1. Minimum and maximum building heights for the principal building shall be measured in number of floors. Minimum height shall be 2.5 floors and a maximum height of 5.5 floors.
2. A half story indicates a floor level above the eave line which is designed to be habitable.
3. Basements are allowed in all structures and not counted as an additional floor.

5.3 Architectural Code

5.3.1 Introduction

The Architectural Code addresses issues of architectural character of the development.

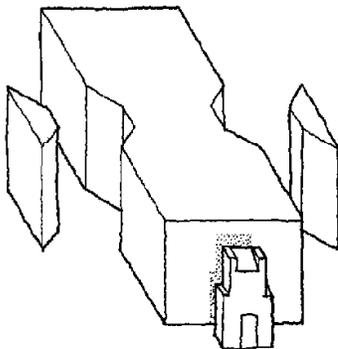
The purpose of the Architectural Code is to ensure that the Master Plan is realized in a manner compatible with the best architectural qualities of Milwaukee's traditional buildings. Specifically, it is an attempt to resist the loss of urban character and identity by insisting new development recognize and blend with the existing urban fabric and neighborhood character. This is done in order to form a harmonious addition to the existing community sharing those characteristics of traditional buildings with respect to form and materials.

The Architectural Code which was derived from examples in the surrounding neighborhoods of Brewers Hill, Riverwest, and the Lower Eastside should be used as an aesthetic guide for the implementation of built elements in response to the goals of the Neighborhood Code. Many of these architectural precedents are found in Section 3.2 Surrounding Built Context.

5.3.2 Architectural Code

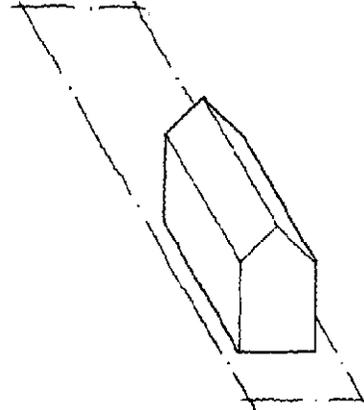
Common Language

The similarities within design solutions that transcend architectural style, and building type to create an enduring sense of design and character within a region are termed the "common language". This section identifies specific design elements or attitudes which serve as the common language that contribute to Milwaukee's sense of place and are thus recommended for the Beer Line "B" development.



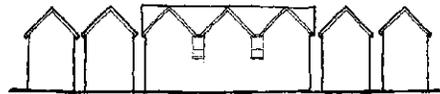
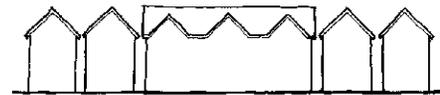
Massing

- Milwaukee buildings are typically compact block masses from which pieces are then carved out of or added to. New construction shall seek to emulate this precedent.



- Traditionally Milwaukee buildings are narrow but deep, and tall. These conditions are historically a result of the typical building lot, which is narrow (30 feet) and deep (120 feet). While Beer Line "B" lots may be a compilation of several lots, new construction should maintain the appearance of the narrow and tall Milwaukee building.

Building facades shall be vertically oriented. Where a building's size or organization promotes a horizontal massing, the façade shall be articulated to accentuate an overall reading of verticality.

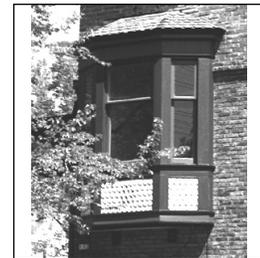


- Roof gables shall face the street. Ridgelines may be parallel to the street provided a large prominent gable is facing the street to maintain the rhythm of gables along the street. On long roofs paralleling the street, large prominent gables facing the street shall be repeated elements used to break up the mass of

Chapter 5 • Neighborhood Code

the roof, and to help maintain the rhythm of gables facing the street.

Building Elements



- For buildings on a street, main entries shall face the street and be visible from the street. Doors and frames shall be prominently articulated when visible from the street



- Porches and stoops help provide pedestrian scale to buildings and create an important transition from the public realm to private space. Refer to the Urban Code, section 5.2 for porch and stoop requirements.



- Balconies provide a porch element for upper floors, and are strongly encouraged, particularly with duplexes, townhouses and other residential conditions. Balconies should have enough room to promote their use as an outdoor space. They are a means of providing human scale to buildings and also provide “eyes on the street”.

- Bays projecting out into the encroachment zone allow occupants to see up and down the street, providing for “eyes on the street”. The use of bays is encouraged.

- Gabled pitched roofs are required on all single and duplex houses. Pitches shall either be sloped at twelve horizontally for each twelve feet vertically (“12 in 12”), or 14 in 12. Gambrel roofs are allowed. Gables shall face the street. Framed gable roofs allow for attic space or future expansion space unlike trussed roofs, and therefore are strongly encouraged. On larger building types, gables or flat roofs are acceptable when in done accordance with common local precedents.



- Dormers provide a means to admit light and views to attic space areas. When converting attic into additional floor area, dormers can provide additional floor area with head-height space. Dormers also offer an opportunity to modify scale and proportion of large roof masses.

Chapter 5 • Neighborhood Code



- It is strongly encouraged that all primary windows be vertically oriented with a minimum ratio of 2 units vertical: 1 unit wide. The use of double hung windows is also strongly encouraged. With the exception of storefront windows on the ground floor of commercial buildings, all windows considered to be primary elements of a facade shall be at least square.

Window openings shall be articulated. In masonry- and stucco-finished exterior walls, sills are mandatory and an articulated lintel is encouraged. In clapboard or shingled exterior walls, windows shall be trimmed and “cased out”, with ornamental lintels encouraged.



- Buildings are encouraged to utilize traditional tripartite massing and façade composition (base, body, and cap). The height of these components should be coordinated between adjacent buildings. Articulation and materials are encouraged to change or be used differently between each layer.
- No specific “architectural style” is specified or required. Since the historic built environment is predominately Italianate and Victorian, these styles may provide a good starting point for the design and understanding of different building elements and materials.

Materials Palette

The following is a list of materials considered acceptable for use in the Beer Line “B” site. Some materials have restrictions or uses which are described per individual material. Other exterior materials may be used if prior approval is granted by the design review board, on an individual basis.

The acceptable buildings materials have been chosen to be complementary with the existing buildings in the surrounding neighborhoods. The acceptable materials should be used in a manor reflecting traditional building methods and detailing. Buildings will be reviewed on an individual basis to insure conformity with the intent of the Code.

- Stone: The use of limestone is acceptable for the construction of all building types. Other types of stone may also be acceptable upon review.
- Precast Concrete and Cast Stone: Precast concrete and/or cast stone is an acceptable substitute for natural stone, to be reviewed on a case by case basis.
- Brick: Common-sized brick is acceptable for the construction of all building types. This does not preclude the use of special and shapes sizes of brick for accents. Predominant brick colors to be used are “cream city”, reds, reddish browns, and browns. Larger sized brick is acceptable for all building types other than residential.
- Concrete Masonry Units (CMU): Decorative CMU is acceptable as an exterior cladding for all building types. It is to be restricted to a secondary material of less than 30% of an elevation or as an accent material, such as split faced block used as a rusticated base. The use of standard (gray, plain textured) utility block is not acceptable anywhere as an exposed material.
- Terracotta: Terracotta is an acceptable accent material on brick and stucco clad buildings.
- Stucco: Stucco is acceptable as an exterior building material for all building types. Used traditionally as a wall finish material on upper floors and gables, stucco may also be used as a primary wall finish material. Colors and textures should conform to the more traditional cladding colors found in the area.

Chapter 5 • Neighborhood Code

- Exterior Insulated Finish System (EIFS): EIFS is an acceptable substitute for stucco. The use of EIFS as a finish for trim in addition to a wall finish is not acceptable. The use of EIFS in locations susceptible to impacts and in close proximity to grade should be avoided.
- Clapboard Siding: Painted wood clapboard with exposed laps not greater than 6" is acceptable for the construction for all residential building types. Metal and vinyl siding should be avoided where possible as these systems easily warp and dent, and terminate in aesthetically awkward manners. They also come in very limited colors that can be difficult to match over time due to fading and different color runs. The use of vinyl and metal siding is restricted to difficult out-of-reach areas, such as dormers or gables above the second floor.
- Wood Shingle Siding: Wood shingle siding is acceptable as a siding material on upper floors and gables on all residential building types.
- Ornamental Metals: Ornamental metal is acceptable as an accent material for all building types. Railings, copper panels, grills, etc., provide a good opportunity for detail and articulation.
- Asphalt Shingles: Asphalt shingles are acceptable as a building material for roofing on all building types. The use of asphalt shingles as a vertical siding material is not acceptable. Attention should be paid to color and style selection to enhance compatibility with nearby use.
- Glazed Roofing Tile: Glazed roofing tile is acceptable as a roofing material on all building types.
- Standing Seam Metal Roofing: Standing seam metal is acceptable as a building material on all non-residential building types and low-pitched residential porch or balcony roofs less than 4:12 pitches.

Appropriate Use of Materials

- A visit to the neighborhoods surrounding the Beer Line "B" site will quickly reveal that the larger or more important a building is, the more likely it is to be constructed of more permanent/ solid materials. Schools and churches use brick and stone. Apartment blocks and mixed-use buildings tend to be

predominately brick construction with a variety of accent materials. Residences are usually, but not always built of wood. Industrial buildings are typically brick.

- When horizontal changes in materials are desired, different materials should meet only at a change of plane, particularly at an inside corner. This gives the material a sense of thickness and a perception of permanence and quality. Different materials should never meet at an outside corner as this reveals the thinness of the material.
- When adjacent vertical changes in materials are desired, different materials should meet with the upper material overlapping the lower material, sealed by an ornamental trim detail.

Performance

- A common language shall be used throughout the development. While based on extant examples in adjacent neighborhoods, the common language may be amended to include positive trends and practices occurring within the Beer Line "B" site that improve upon, reinforce, and complement nearby new development.
- The common language is intended to allow a variety of building and housing types, styles and economic levels to coexist in a harmonious manner.
- Every building should provide the opportunities for "eyes on the street." Porches, stoops, balconies, and bay windows allow residents to observe and even participate in the street life from their homes and places of employment.
- Because development will be visible from the surrounding bluffs and intersecting bridges, selection of roofing materials, the layout of roofs, and the location of rooftop mechanical equipment is of critical importance and should be designed in accordance with the rest of the building.
- All building elevations through the use of building elements and materials shall be designed to provide a sense of human scale at the street level.
- Design performance shall be evaluated not only by its ability to fulfill the needs of the new development, but also blend compatibly and/or enhance adjacent

Chapter 5 • Neighborhood Code

development and benefit the entire community.

5.4 Landscape Code

5.4.1. Introduction

The purpose of the Landscape Code is to encourage the establishment of a consistently high-quality landscape throughout the Beer Line "B" site. The code differentiates between types of spaces based on scale, degree of public use, and surrounding built pattern and identifies appropriate landscape treatments for each type of space.

Public space shall be recognized as the principal space. This includes but is not limited to streets, squares, parks, riverwalks, and pedestrian paths. Private space bordering public space shall be developed and designed to support and contribute to the quality and character of the public space. This includes but is not limited to building facades, front yards, backyards, courtyards, porches, walkways, and stoops.

Each of the space types is identified by name, diagrammed and described as to the intended character and appropriate palette. The public domain and private open spaces identified are as follows: Street Rights-of-Way, Residential Square, Crescent Street, Riverwalk, Bluff, Surface Parking, and Private Open Space.

Enforcement of this landscape code will yield a hardy, richly diverse, yet harmoniously balanced landscape throughout the project area.

5.4.2 Street Rights-Of Way

Street trees shall be planted in straight rows of single species that follow street alignments and curving long walks. Each street and drive should be assigned its own tree species. Trees shall be planted 20 feet on center. Select species from the following palette.

Plant Palette

Acer x freemanii "Autumn Blaze"
(Autumn Blaze Red Maple)

Celtis occidentalis
(Common Hackberry)

Fraxinus americana "Autumn Purple"
(Autumn Purple Ash)

Fraxinus pennsylvanica "Marshall's Seedless"

(Marshall's Seedless Green Ash)

Tilia x "Redmond"
(Redmond Linden)

Ulmus x "Regal"
(Regal Elm)

5.4.3 Residential Square

The Residential Square follows the traditional "village green" concept of being a public open space around which other uses can be organized. They are historically characterized by either well-managed lawns useful for picnics, socializing and play, or articulated pavement. Either ground condition is accompanied by trees that buffer wind and provide shade in season. Additionally, they provide an address and distinct identity for the surrounding buildings. The residential square should be planted in an even fashion, concentrated on the edges.

Trees to be planted 20 feet on center. A single species should be selected from the following palette to form the perimeter of the square.

Plant Palette

Acer x freemanii "Autumn Blaze"
(Autumn Blaze Red Maple)

Fraxinus americana "Autumn Purple"
(Autumn Purple Ash)

Ulmus x "Regal"
(Regal Elm)

5.4.4 Hubbard Street Promontory

The Hubbard Street promontory shall be planted with an alle' of trees, approximately 20 feet on center along the perimeter edge of the raised promontory, with smaller ornamental trees around deep tunnel access structure within the linear park along Commerce Street.

Plant Palette

To form the alle' along the perimeter road around the crescent, a single species should be planted from the following palette.

Shade Trees:

Tilia x "Redmond"
(Redmond Linden)

Acer x freemanii "Autumn Blaze"

Chapter 5 • Neighborhood Code

(Autumn Blaze Red Maple)

Fraxinus americana "Autumn Purple"
(Autumn Purple Ash)

Ulmus x "Regal"
(Regal Elm)

Ornamental Flowering Trees: Trees to be planted 15 feet on center. A single species should be selected from the following palette to follow the curvature of the paving around the tunnel access structure.

Malus "Robinson"
(Robinson Crabapple)

Malus "Prairifire"
(Prairie Fire Crabapple)

Malus "Donald Wyman"
(Donald Wyman Crabapple)

5.4.5 Riverwalk

The riverwalk parallels the Milwaukee River and provides users with opportunities to view and engage the riverfront. The riverwalk will traverse areas where its river edge are at times either vertical walls or sloping rock revetment, as depicted in the diagrams below. The addition of trees and shrubs, which includes native species, will add a naturalizing element and increased wildlife habitat along the riverwalk.

Trees and shrubs shall be planted in a naturalistic manner. Trees shall be planted singly and as masses. Shrubs shall be planted in masses of odd numbers, usually 3, 5 or 7, and usually as understory to the canopy trees, from the following palette:

Plant Palette

Shade Trees:

Acer x freemanii "Autumn Blaze"
(Autumn Blaze Red Maple)

Celtis occidentalis
(Common Hackberry)

Fraxinus americana "Autumn Purple"
(Autumn Purple White Ash)

Tilia x "Redmond"
(Redmond Linden)

Small Trees (12-25' Ht.):

Acer ginnala
(Amur Maple)

Amelanchier laevis
(Allegheny Serviceberry)

Amelanchier x grandiflora
(Serviceberry)

Cornus alternifolia
(Pagoda Dogwood)

Large Shrubs (6'12' Ht.)
Cornus racemosa
(Grey Dogwood)

Cornus sericea
(Red-twig Dogwood)

Rosa setigera
(Prairie Rose)

Viburnum dentatum
(Arrowwood Viburnum)

Small Shrubs (2-1/2' - 6" Ht.):

Aronia melanocarpa
(Black Chokeberry)

Rosa regosa
(Rugosa Rose)

Rosa virginiana
(Virginia Rose)

Rhus aromatica "Gro Low"
(Gro Low Fragrant Sumac)

5.4.6 Bluff

The bluff shall remain articulated in a natural manner and stabilized with native trees, shrubs and grasses at the top of the slope (Zone 1) and shrubs and grasses down the slope (Zone 2). This area requires selective tree removal and pruning that will provide enhancement of views and, over time, the eradication of undesirable invasive species. As the bank is revegetated, the plant palettes below are recommended.

Chapter 5 • Neighborhood Code

Trees and shrubs shall be planted in a naturalistic manner. Trees shall be planted singly and as masses. Shrubs shall be planted in masses of odd numbers, usually 3, 5 or 7, and usually as understory to the canopy trees, from the following palette:

Plant Palette, Zone 1

Shade Trees:

Carya ovata
(Shagbark Hickory)

Celtis occidentalis
(Common Hackberry)

Gymnocladus dioica
(Kentucky Coffeetree)
Prunus serotina
(Black Cherry)

Quercus macrocarpa
(Bur Oak)

Quercus muehlenbergii
(Chinkapin Oak)

Quercus rubra
(Red Oak)

Small Trees (12'-25' Ht.):
Amelanchier laevis
(Allegheny Serviceberry)

Cornus alternifolia
(Pagoda Dogwood)

Crataegis crus-galli
(Cockspur Hawthorn)

Large Shrubs (6'-12' Ht.):
Amelanchier canadensis
(Shadblow Serviceberry)

Cornus racemosa
(Grey Dogwood)

Rhus glabra
(Smooth Sumac)

Viburnum dentatum
(Arrowwood Viburnum)

Small Shrubs (2-1/2'-6' Ht.):

Aronia melanocarpa
(Black Chokeberry)

Rosa setigera
(Prairie Rose)

Rosa virginiana
(Virginia Rose)

Rhus aromatica "Gro Low"
(Gro Low Fragrant Sumac)

Plant Palette, Zone 2:

Small Trees (12'-25' Ht.):

Rhus typhina
(Staghorn Sumac)

Large Shrubs (6'-12' Ht.):
Cornus racemos
(Grey Dogwood)

Cornus rugos
(Roundleaf Dogwood)

Rhus aromatica
(Fragrant Sumac)

Rhus glabra
(Smooth Sumac)

Viburnum dentatum
(Arrowwood Viburnum)

Small Shrubs (2-1/2' - 6' Ht.):

Diervilla lonicera
(Dwarf Bushhoneysuckle)

Rhus aromatica "Gro Low"
(Gro Low Fragrant Sumac)

Rosa setigera
(Prairie Rose)

Symphoricarpos orbiculatus
(Indiancurrent Coralberry)

Chapter 5 • Neighborhood CodeGrasses and Forbs Seed Mix:

Both Zones 1 and 2 shall be planted with native prairie seed mix. The seed mix shall be a balanced mixture of 20-25 forbs and 4-5 grasses from the following table in the quantities prescribed by a local native seed nursery, such as Prairie Nursery, Westfield, Wisconsin. See table of Dry Prairie Species.

5.4.7 Surface Parking

Surface parking lot(s) shall have planting medians with shade trees and screening along edges in the form of either an architectural wall plus vines or a vegetative hedge.

Trees shall be planted 20 feet on center. Select species from the following palette.

Plant PaletteShade Trees:

Acer x freemanii "Autumn Blaze"
(Autumn Blaze Red Maple)

Celtis occidentalis
(Common Hackberry)

Fraxinus americana "Autumn Purple"
(Autumn Purple Ash)

Fraxinus pennsylvanica "Marshall's Seedless"
(Marshall's Seedless Green Ash)

Tilia x "Redmond"
(Redmond Linden)

Shrub Hedge (3'-5' Ht.):

Lonicera x xylosteoides "Clavey's Dwarf"
(Clavey's Dwarf Honeysuckle)

Ribes alpinum
(Alpine Current)

Vines:

Clematis maximowicziana
(Sweet Autumn Clematis)

Hedera helix "Baltica"
(Baltic Ivy)

Parthenococcus tricuspidata

(Boston Ivy)

5.4.8 Private Open Space

Homes shall have a rich, more horticultural character that focuses on the use of native species, though non-natives may be used sparingly for special ornamental value. Perennial flower masses should include native wildflowers from the prairie palette recommended in 5.4.6.

Follow spacing and massing guidelines recommended by a local nursery professional.

Plant PaletteShade Trees:

Aesculus hippocastanum
(Horsechestnut)

Acer x freemanii "Autumn Blaze"
(Autumn Blaze Red Maple)

Acer saccharum
(Sugar Maple)

Acer rubrum "Red Sunset"
(Red Sunset Maple)

Fraxinus americana "Autumn Purple"
(Autumn Purple Ash)

Tilia cordata "Greenspire"
(Greenspire Littleleaf Linden)

Small Trees (12'-25' Ht.):

Acer ginnala
(Amur Maple)

Amelanchier laevis
(Allegheny Serviceberry)

Amelanchier x grandiflora "Princess Diana"
(Princess Diana Serviceberry)

Amelanchier x grandiflora "Strata"
(Strata Serviceberry)

Cornus alternifolia
(Pagoda Dogwood)

Crataegus phaenopyrum
(Washington Hawthorn)

Chapter 5 • Neighborhood Code

Crataegus viridis "Winter King"
(Winter King Hawthorn)
Hamamelis virginiana
(Witchhazel)

Viburnum prunifolium
(Blackhaw Viburnum)

Large Shrubs (6'-12' Ht.):
Aronia melanocarpa var. *alata*
(Glossy Black Chokeberry)

Viburnum carlesii
(Koreanspice Viburnum)

Viburnum dentatum
(Arrowwood Viburnum)

Small Shrubs (<6' Ht.):
Diervilla lonicera
(Dwarf Bushhoneysuckle)

Fothergilla gardenii
(Dwarf Fothergilla)

Lonicera x xylosteoides "Clavey's Dwarf"
(Clavey's Dwarf Honeysuckle)

Lonicera x xylosteoides "Miniglobe"
(Miniglobe Honeysuckle)

Rhus aromatica "Low Gro"
(Grow Low Fragrant Sumac)

Rosa virginiana
(Virginia Rose)

Groundcovers and Vines:
Clematis maximowicziana
(Sweet Autumn Clematis)

Euonymus fortunei "Coloratus"
(Purpleleaf Wintercreeper)

Hedera helix "Baltica"
(Baltic Ivy)

Parthenociccus tricuspidata
(Boston Ivy)

Parthenocissus quinquefolia "Engelmannii"

(Englemann Virginia Creeper)

Vinca minor
(Periwinkle)

Evergreen Trees (> 20'):
Abies concolor
(White Fir)

Picea glauca
(White Spruce)

Picea glauca var. *densata*
(Black Hills Spruce)

Pinus strobus
(White Pine)

Pseudotsuga menziesii
(Douglas Fir)

Tsuga canadensis
(Canada Hemlock)

Evergreen Large Upright Shrubs (10'-20'):
Juniperus chinensis "Mount Batten"
(Mountbatten Juniper)

Thuja occidentalis "Techny"
(Techny Arborvitae)

Evergreen Medium Shrubs (3'-10' Ht.):
Juniperus chinensis "Hetzii"
(Hetz Juniper)

Juniperus chinensis "Pfitzeriana"
(Pfitzer Juniper)

Taxus cuspidata "Nana"
(Dwarf Japanese Yew)

Evergreen Small Shrubs(<3' Ht.):
Juniperus chinensis var. *sargentii*
(Sargent's Juniper)

Juniperus procumbens
(Japanese Garden Juniper)

Juniperus sabina "Broadmoor"
(Broadmoor Savin Juniper)

Pinus mugo "Compacta"

Chapter 5 • Neighborhood Code

(Compact Mugho Pine)

Taxus cuspidata "Monloo"
(Monloo Yew)

Taxus x media "Andersonnii"
(Anderson's Yew)

Prostate Evergreens (<1' Ht.):
Juniperus horizontalis "Hughes"
(Hughes Juniper)

Juniperus horizontalis "Wiltonii"
(Blue Rug Juniper)

Juniperus horizontalis "Wisconsin"
(Wisconsin Juniper)

Juniperus procumbens "Nana"
(Dwarf Japanese Garden Juniper)