



## Greenwich Park Apartments

Milwaukee, Wisconsin

Detailed Plan Development Submittal



**KORB TREDO ARCHITECTS**

790 N. Milwaukee Street, Suite 210

Milwaukee, Wisconsin 53202

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## Project Team

### Owner



Mercy Housing Lakefront  
David Lyon - Regional Director of Real Estate Development  
Mercy Housing Lakefront  
120 S. LaSalle, Suite 1850  
Chicago, Illinois 60603  
Ph: 312.447.4560  
Fax: 312.447.4750  
Email: [dlyon@mercyhousing.org](mailto:dlyon@mercyhousing.org)

### Architect



Jason Korb - Architect  
790 N. Milwaukee Street, Suite 210  
Milwaukee, WI 53202  
Ph: 414.273.8230  
Fax: 414.273.8231  
Email: [jason@korbtredo.com](mailto:jason@korbtredo.com)

### Civil Engineer / Surveyor

Edwards Engineering  
Marc Hilliard - Engineer  
7665 North Port Washington Road  
Milwaukee, WI 53217-3175  
Ph: 414.228.8998

## Project Information - New Development

- Gross land area\_\_\_\_\_25,594 square feet
- Land covered by principal building\_\_\_\_\_26,332 square feet
- Land devoted to parking, drives, and parking structures\_\_\_\_\_19,422 square feet
- Minimum amount of land devoted to landscape\_\_\_\_\_1,002 square feet
- Maximum dwelling unit density\_\_\_\_\_54 units
- Total SF devoted to non-residential uses\_\_\_\_\_24,949 square feet
- Proposed number of buildings\_\_\_\_\_1 building
- Maximum number of dwelling units per building\_\_\_\_\_54 living units within the 1 proposed building
- Bedrooms per unit\_\_\_\_\_Varies: studios, 1, 2, and 3 bedroom units
- Parking spaces provided\_\_\_\_\_48 public spaces, 61 resident spaces, 110 total
- Metered Street parking provided\_\_\_\_\_13 metered spaces
- Parking ratio per unit\_\_\_\_\_1:1

## Project Information - US Bank Parcel

- Gross land area\_\_\_\_\_18,793 square feet
- Land covered by principal building\_\_\_\_\_7,221 square feet
- Land devoted to parking, drives, and parking structures\_\_\_\_\_11,167 square feet
- Minimum amount of land devoted to landscape\_\_\_\_\_TBD
- Maximum dwelling unit density\_\_\_\_\_0
- Total SF devoted to non-residential uses\_\_\_\_\_18,793 square feet
- Proposed number of buildings\_\_\_\_\_1 building (existing)
- Maximum number of dwelling units per building\_\_\_\_\_0
- Bedrooms per unit\_\_\_\_\_0
- Parking spaces provided\_\_\_\_\_0

## Project Description/Owner's Statement of Intent



The Greenwich Park project will bring Mercy Housing Lakefront's (MHL) workforce housing model to Milwaukee by creating 54 housing units in what is currently a City of Milwaukee and US Bank surface parking lot. There is a critical need for this type of housing in Milwaukee and in this neighborhood to support employers such as Columbia St. Mary's with affordable, walk-to-work housing for their employees.

Mercy Housing's past experience in providing successful supportive and workforce housing prompted an invitation from City and County officials to have Mercy build a demonstration project in Milwaukee. This demonstration project, The Johnston Residences, was completed in September on Milwaukee's near south side at 13th street and Windlake avenue, it will offer 91 units of permanent supportive housing. A phased move-in is underway and a total of 91 residents will call Johnston Residences home.

MHL elected to enter the Milwaukee market as it is home to Columbia - St. Mary's, an Ascension Health system hospital, and one of Mercy Housing's national Strategic Healthcare partners. The proposed project will benefit from this relationship and Columbia St. Mary's strength in the community. Mercy continues to benefit from strong support from the Milwaukee community at the City, County and Aldermanic levels as well as the private sector.

The site for this project was selected after a thorough review of available land and buildings in all parts of the city. Proximity to transportation, shopping, employment and parks as well as the terms and timing of acquisition were all factors in determining the appropriate site. The City has given MHL the Exclusion Right to Negotiate for the property. However, MHL will not take title to the property until tax credit funding allocations are secured and all due diligence is complete. The proposed schedule for the project is to begin as early as October of 2011 and to occupy the building October of 2012.

MHL is not only a developer but a long-term owner and property manager. Our investment in Milwaukee is an investment in community and we plan to remain a part of the community for many years to come. The primary source of capital finding for this project will be LIHTC's administered by the Wisconsin Housing and Economic Development Authority (WHEDA). Applications for 2011 funding are due no later than February of 2011.

The Greenwich Park project would be the second of many projects that Mercy hopes to complete in Milwaukee in the coming years. It is our intention to build and/or preserve a portfolio of 300 to 500 units of affordable housing in the next 5 years. We hope to complete an array of affordable housing products and drawing on the strength of our national organization. Mercy Housing Inc. has developed more than 19,000 affordable homes, both rental and single family, serving more than 58,999 residents on a given day.

A handwritten signature in black ink, appearing to read "David Lyon", is written over a horizontal line.

David Lyon  
Regional director, Housing Development  
Mercy Housing Lakefront

Mercy Housing Lakefront - Mercy Services Corporation - Mercy Portfolio Services  
120 South LaSalle Street, Suite 1850 - Chicago, Illinois 60603 - 312.447.4500 - Fax: 312.447.4750  
[www.mercyhousing.org](http://www.mercyhousing.org)

# LEED Target Matrix



## LEED 2009 for New Construction and Major Renovation Project Scorecard

Project Name: Mercy Housing at Greenwich  
Project Address: 2353 N. Farwell Avenue, Milwaukee, Wisconsin

Yes	?	No	<b>21</b>   <b>2</b>   <b>3</b> <b>SUSTAINABLE SITES</b>		<b>26 Points</b>
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Y	Prereq 1	Construction Activity Pollution Prevention	Required
1	Credit 1	Site Selection	1
5	Credit 2	Development Density and Community Connectivity	5
3	Credit 3	Brownfield Redevelopment	1
6	Credit 4.1	Alternative Transportation - Public Transportation Access	6
1	Credit 4.2	Alternative Transportation - Bicycle Storage and Changing Rooms	1
3	Credit 4.3	Alternative Transportation - Low-Emitting and Fuel-Efficient Vehicles	3
2	Credit 4.4	Alternative Transportation - Parking Capacity	2
1	Credit 5.1	Site Development - Protect or Restore Habitat	1
1	Credit 5.2	Site Development - Maximize Open Space	1
1	Credit 6.1	Stormwater Design - Quantity Control	1
1	Credit 6.2	Stormwater Design - Quality Control	1
1	Credit 7.1	Heat Island Effect - Nonroof	1
1	Credit 7.2	Heat Island Effect - Roof	1
1	Credit 8	Light Pollution Reduction	1

Yes	?	No	<b>6</b>   <b>2</b>   <b>2</b> <b>WATER EFFICIENCY</b>		<b>10 Points</b>
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Y	Prereq 1	Water Use Reduction	Required
2	Credit 1	Water Efficient Landscaping	2 to 4
		Reduce by 50%	2
		No Potable Water Use or Irrigation	4
	Credit 2	Innovative Wastewater Technologies	2
4	Credit 3	Water Use Reduction	2 to 4
		Reduce by 30%	2
		Reduce by 35%	3
		Reduce by 40%	4

Yes	?	No	<b>13</b>   <b>15</b>   <b>7</b> <b>ENERGY &amp; ATMOSPHERE</b>		<b>35 Points</b>
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Y	Prereq 1	Fundamental Commissioning of Building Energy Systems	Required
Y	Prereq 2	Minimum Energy Performance	Required
Y	Prereq 3	Fundamental Refrigerant Management	Required
9	Credit 1	Optimize Energy Performance	1 to 19
		Improve by 12% for New Buildings or 8% for Existing Building Renovations	1
		Improve by 14% for New Buildings or 10% for Existing Building Renovations	2
		Improve by 16% for New Buildings or 12% for Existing Building Renovations	3
		Improve by 18% for New Buildings or 14% for Existing Building Renovations	4
		Improve by 20% for New Buildings or 16% for Existing Building Renovations	5
		Improve by 22% for New Buildings or 18% for Existing Building Renovations	6
		Improve by 24% for New Buildings or 20% for Existing Building Renovations	7
		Improve by 26% for New Buildings or 22% for Existing Building Renovations	8
		Improve by 28% for New Buildings or 24% for Existing Building Renovations	9
		Improve by 30% for New Buildings or 26% for Existing Building Renovations	10
		Improve by 32% for New Buildings or 28% for Existing Building Renovations	11
		Improve by 34% for New Buildings or 30% for Existing Building Renovations	12
		Improve by 36% for New Buildings or 32% for Existing Building Renovations	13
		Improve by 38% for New Buildings or 34% for Existing Building Renovations	14
		Improve by 40% for New Buildings or 36% for Existing Building Renovations	15
		Improve by 42% for New Buildings or 38% for Existing Building Renovations	16
		Improve by 44% for New Buildings or 40% for Existing Building Renovations	17
		Improve by 46% for New Buildings or 42% for Existing Building Renovations	18
		Improve by 48%+ for New Buildings or 44%+ for Existing Building Renovations	19
3	Credit 2	On-Site Renewable Energy	1 to 7
		1% Renewable Energy	1
		3% Renewable Energy	2
		5% Renewable Energy	3
		7% Renewable Energy	4
		9% Renewable Energy	5
		11% Renewable Energy	6
		13% Renewable Energy	7
2	Credit 3	Enhanced Commissioning	2
2	Credit 4	Enhanced Refrigerant Management	2
3	Credit 5	Measurement and Verification	3
2	Credit 6	Green Power	2

Yes	?	No	<b>6</b>   <b>2</b>   <b>6</b> <b>MATERIALS &amp; RESOURCES</b>		<b>14 Points</b>
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## LEED 2009 for New Construction and Major Renovation Project Scorecard

Project Name: Mercy Housing at Greenwich  
Project Address: 2353 N. Farwell Avenue, Milwaukee, Wisconsin

Yes	?	No	<b>11</b>   <b>3</b>   <b>1</b> <b>INDOOR ENVIRONMENTAL QUALITY</b>		<b>15 Points</b>
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Y	Prereq 1	Storage and Collection of Recyclables	Required
3	Credit 1.1	Building Reuse - Maintain Existing Walls, Floors and Roof	1 to 3
		Reuse 55%	1
		Reuse 75%	2
		Reuse 95%	3
1	Credit 1.2	Building Reuse - Maintain Interior Nonstructural Elements	1
1	Credit 2	Construction Waste Management	1 to 2
		50% Recycled or Salvaged	1
		75% Recycled or Salvaged	2
2	Credit 3	Materials Reuse	1 to 2
		Reuse 5%	1
		Reuse 10%	2
2	Credit 4	Recycled Content	1 to 2
		10% of Content	1
		20% of Content	2
2	Credit 5	Regional Materials	1 to 2
		10% of Materials	1
		20% of Materials	2
1	Credit 6	Rapidly Renewable Materials	1
1	Credit 7	Certified Wood	1

Yes	?	No	<b>11</b>   <b>3</b>   <b>1</b> <b>INDOOR ENVIRONMENTAL QUALITY</b>		<b>15 Points</b>
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Y	Prereq 1	Minimum Indoor Air Quality Performance	Required
Y	Prereq 2	Environmental Tobacco Smoke (ETS) Control	Required
1	Credit 1	Outdoor Air Delivery Monitoring	1
1	Credit 2	Increased Ventilation	1
1	Credit 3.1	Construction Indoor Air Quality Management Plan - During Construction	1
1	Credit 3.2	Construction Indoor Air Quality Management Plan - Before Occupancy	1
1	Credit 4.1	Low-Emitting Materials - Adhesives and Sealants	1
1	Credit 4.2	Low-Emitting Materials - Paints and Coatings	1
1	Credit 4.3	Low-Emitting Materials - Flooring Systems	1
1	Credit 4.4	Low-Emitting Materials - Composite Wood and Agrifiber Products	1
1	Credit 5	Indoor Chemical and Pollutant Source Control	1
1	Credit 6.1	Controllability of Systems - Lighting	1
1	Credit 6.2	Controllability of Systems - Thermal Comfort	1
1	Credit 7.1	Thermal Comfort - Design	1
1	Credit 7.2	Thermal Comfort - Verification	1
1	Credit 8.1	Daylight and Views - Daylight	1
1	Credit 8.2	Daylight and Views - Views	1

Yes	?	No	<b>3</b>   <b>3</b>   <b>0</b> <b>INNOVATION IN DESIGN</b>		<b>6 Points</b>
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2	Credit 1	Innovation in Design	1 to 5
1		Innovation or Exemplary Performance	1
1		Innovation or Exemplary Performance	1
		Innovation or Exemplary Performance	1
		Innovation	1
		Innovation	1
1	Credit 2	LEED Accredited Professional	1

Yes	?	No	<b>4</b>   <b>0</b>   <b>0</b> <b>REGIONAL PRIORITY</b>		<b>4 Points</b>
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4	Credit 1	Regional Priority	1 to 4
1		Regionally Defined Credit Achieved	1
		Regionally Defined Credit Achieved	1
		Regionally Defined Credit Achieved	1
		Regionally Defined Credit Achieved	1

Yes	?	No	<b>60</b>   <b>31</b>   <b>19</b> <b>PROJECT TOTALS (Certification Estimates)</b>		<b>110 Points</b>
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Certified: 40-49 points Silver: 50-59 points Gold: 60-79 points Platinum: 80+ points

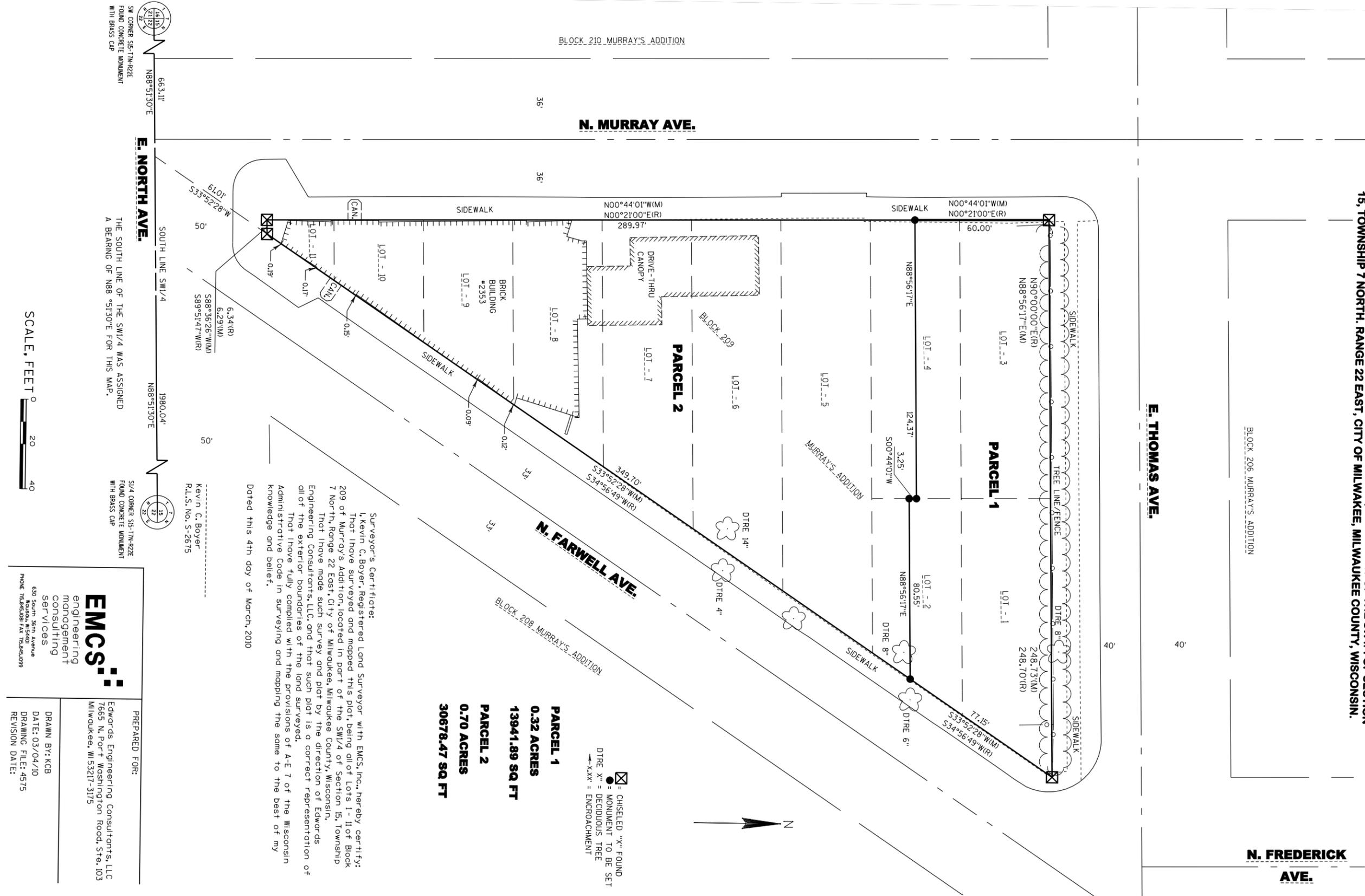




Vicinity Maps



**PRELIMINARY PLAT OF SURVEY**  
 ALL OF LOTS 1 - 11 OF BLOCK 209 OF MURRAY'S ADDITION, BEING PART OF THE SW1/4 OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 22 EAST, CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.



☒ = CHISELED "X" FOUND  
 ● = MONUMENT TO BE SET  
 DTRE "X" = DECIDUOUS TREE  
 ←-XXX- = ENCROACHMENT

**PARCEL 1**  
 0.32 ACRES  
 13941.89 SQ FT

**PARCEL 2**  
 0.70 ACRES  
 30678.47 SQ FT

Surveyor's Certificate:  
 I, Kevin C. Boyer, Registered Land Surveyor with EMCS, Inc., hereby certify:  
 That I have surveyed and mapped this plat, being all of Lots 1 - 11 of Block 209 of Murray's Addition, located in part of the SW1/4 of Section 15, Township 7 North, Range 22 East, City of Milwaukee, Milwaukee County, Wisconsin.  
 That I have made such survey and plot by the direction of Edwards Engineering Consultants, LLC, and that such plot is a correct representation of all of the exterior boundaries of the land surveyed.  
 That I have fully complied with the provisions of A-E-7 of the Wisconsin Administrative Code in surveying and mapping the same to the best of my knowledge and belief.

Dated this 4th day of March, 2010

Kevin C. Boyer  
 R.L.S. No. S-2875



**EMCS**  
 engineering management consulting services

630 South 36th Avenue  
 Milwaukee, WI 53204  
 PHONE 754-9508 FAX 754-9509

PREPARED FOR:  
 Edwards Engineering Consultants, LLC  
 7665 N. Port Washington Road, Ste. 103  
 Milwaukee, WI 53217-3175

DRAWN BY: KCB  
 DATE: 03/04/10  
 DRAWING FILE: 4575  
 REVISION DATE:

SW CORNER SB-17N-R22E FOUND CONCRETE MONUMENT WITH BRASS CAP  
 N88°51'30"E 663.11'

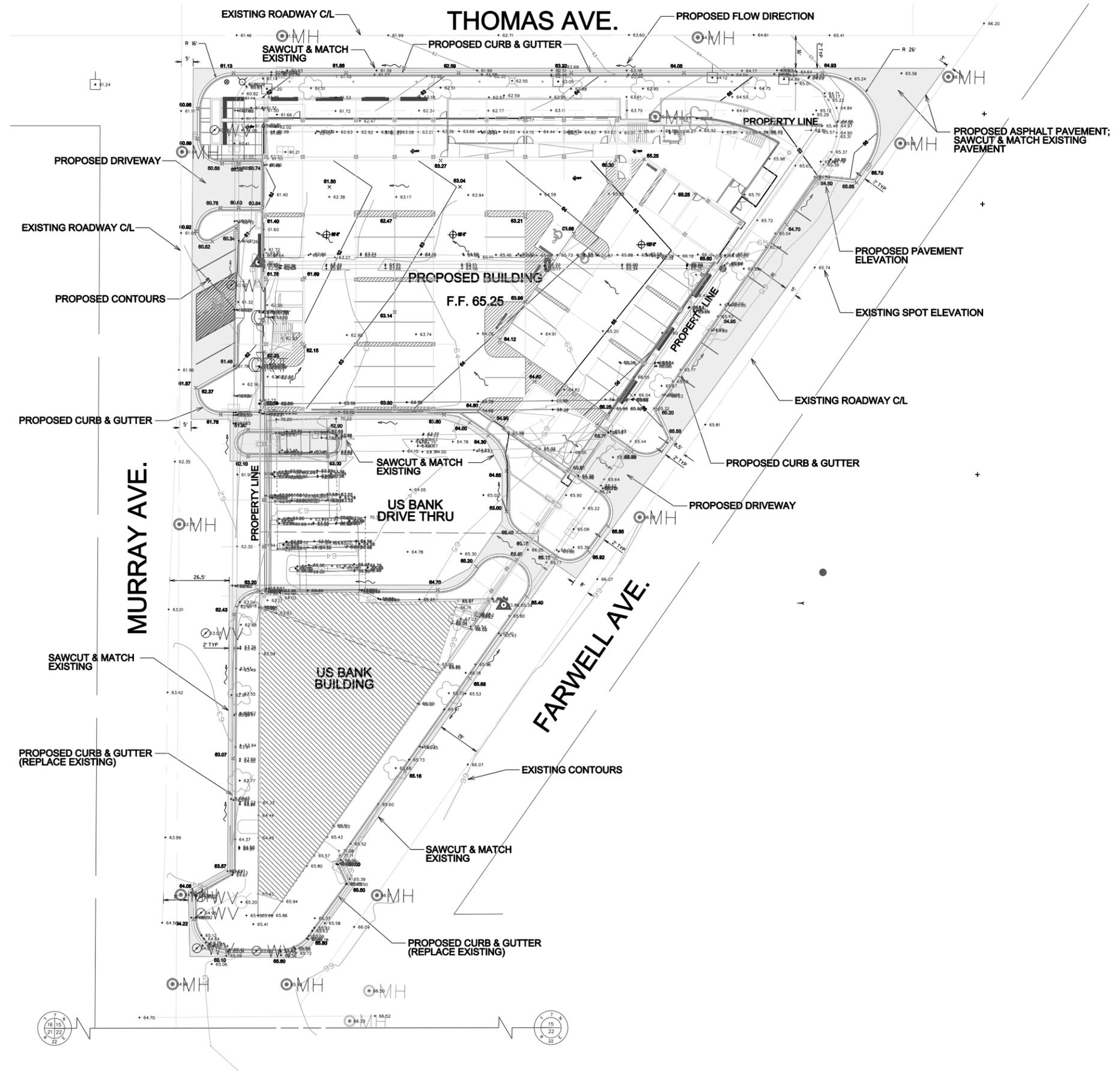
**E. NORTH AVE.**

SOUTH LINE SW1/4 1980.04'  
 N88°51'30"E

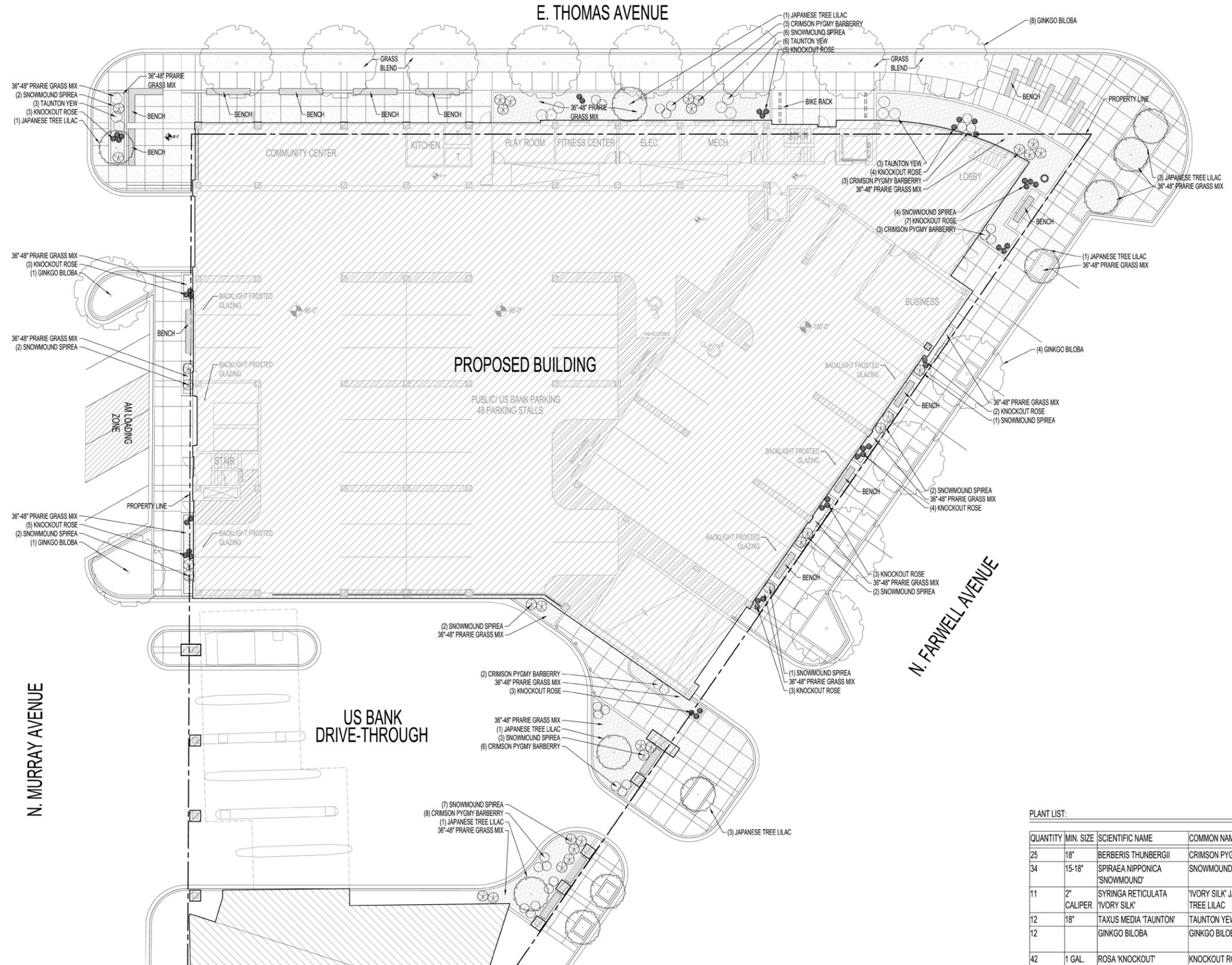
SE1/4 CORNER SB-17N-R22E FOUND CONCRETE MONUMENT WITH BRASS CAP



Site Grading Plan



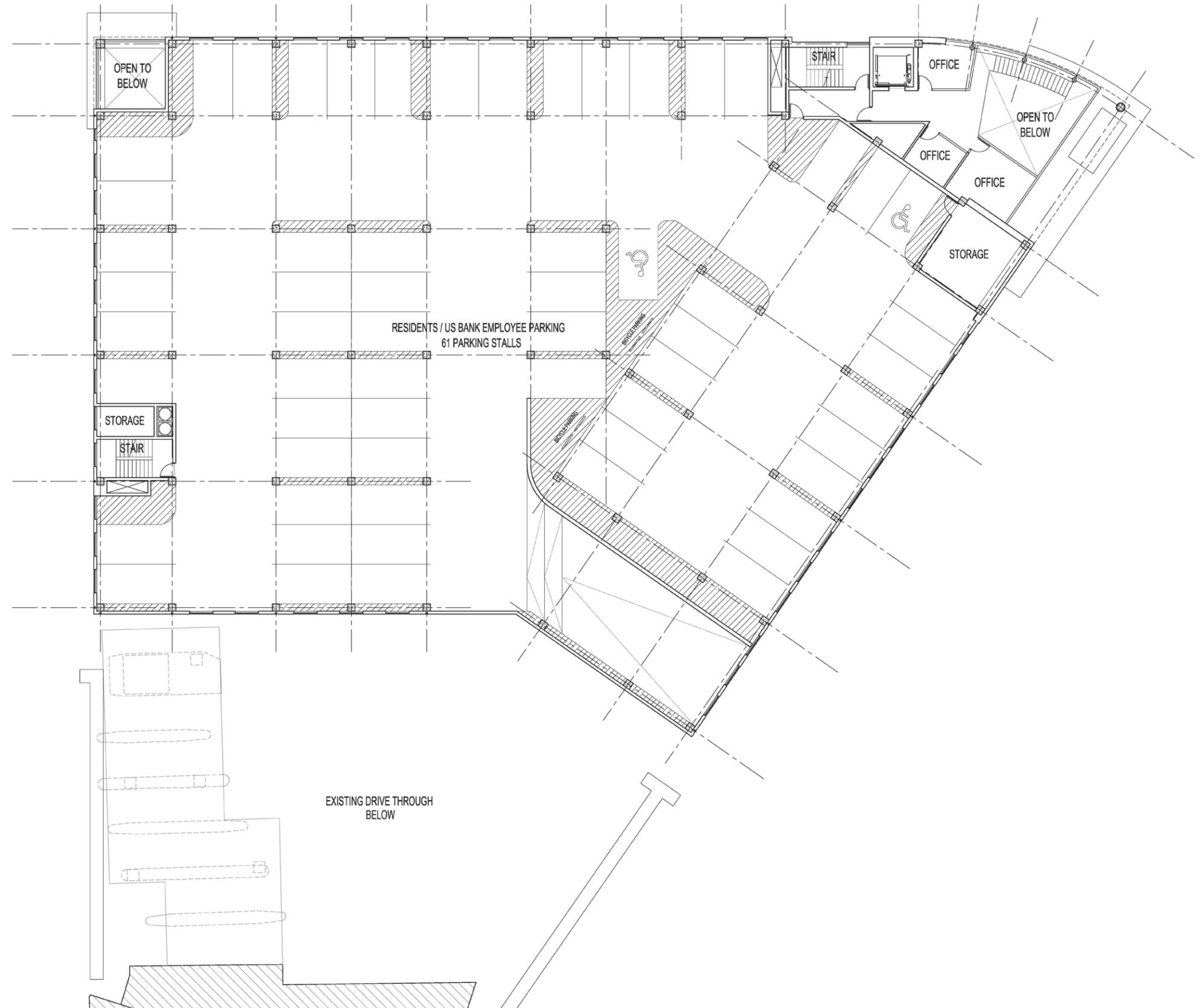
# Site and Landscape Plan



# First Floor Plan



Second Floor Plan



Third Floor Plan



Fourth & Fifth Floor Plan



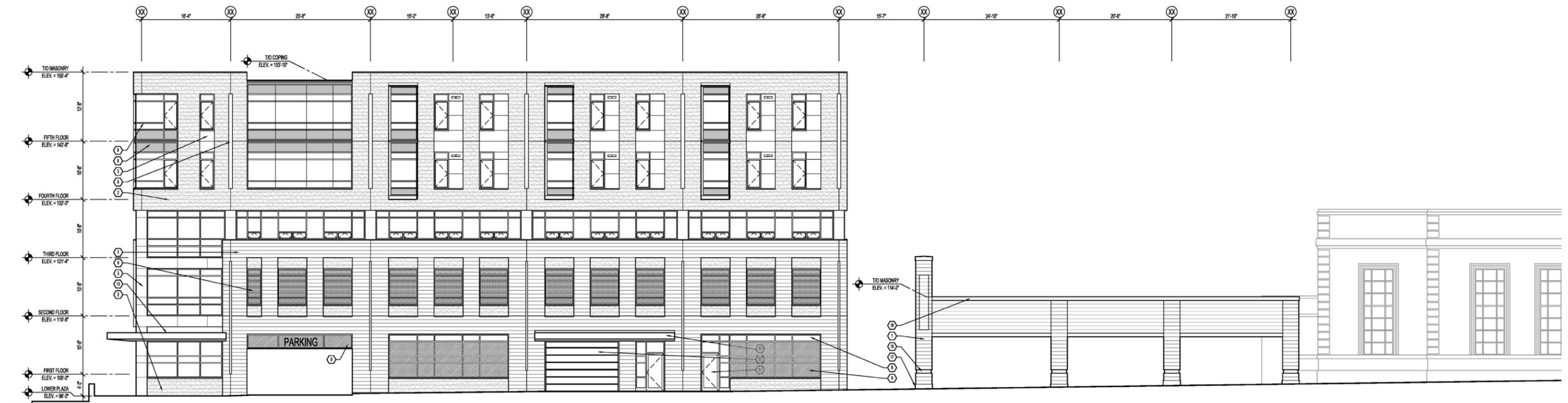
# North Elevation

EXTERIOR MATERIALS KEY	
MATERIAL	
1	MASONRY TO COMPLEMENT EXISTING BANK - FINAL MATERIAL TBD
2	FACE BRICK
3	METAL WALL PANEL 1
4	METAL WALL PANEL 2
5	METAL PANEL REVEAL
6	PERFORATED STEEL PANEL 1
7	PERFORATED STEEL PANEL 2
8	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM - CLEAR GLAZING
9	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM - SPANDREL PANEL
10	THERMALLY BROKEN ALUMINUM STOREFRONT DOORS
11	SUNSHADE SYSTEM - INTEGRAL TO STOREFRONT
12	OVERHEAD GARAGE DOOR - TRANSPARENT GLASS PANELS
13	METAL CLAD STEEL FRAMED CANOPY
14	LOUVERED STEEL VENT
15	DECORATIVE STEEL CHANNEL
16	PRECAST COPING
17	PRECAST BASE

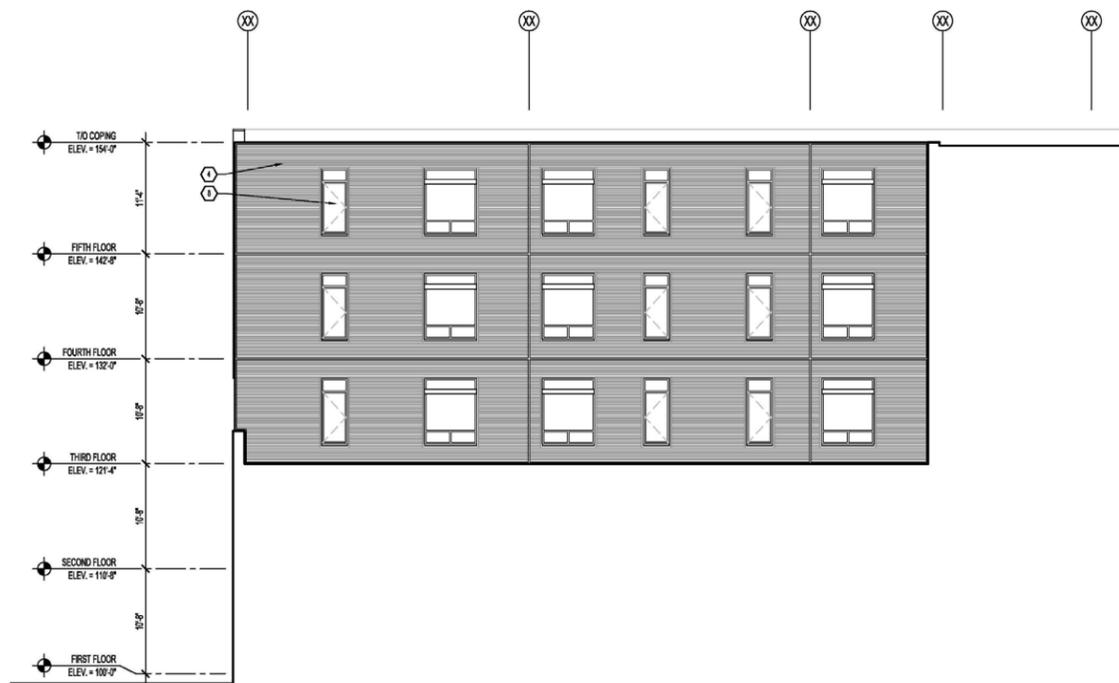


# West Elevation

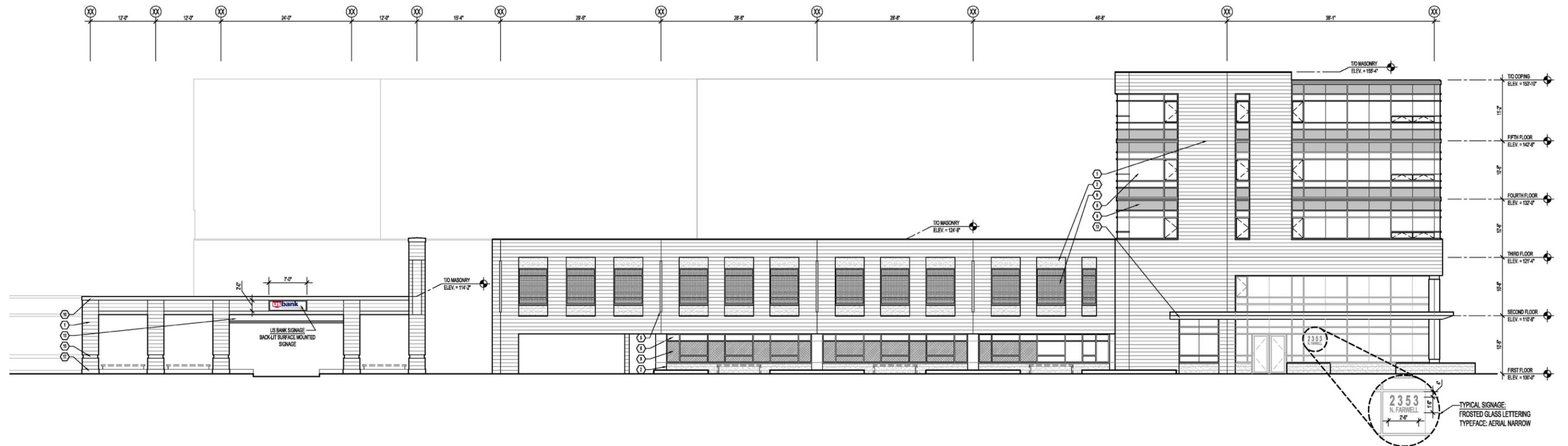
EXTERIOR MATERIALS KEY	
MATERIAL	
1	MASONRY TO COMPLEMENT EXISTING BANK - FINAL MATERIAL TBD
2	FACE BRICK
3	METAL WALL PANEL 1
4	METAL WALL PANEL 2
5	METAL PANEL REVEAL
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8	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM - CLEAR GLAZING
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13	METAL CLAD STEEL FRAMED CANOPY
14	LOUVERED STEEL VENT
15	DECORATIVE STEEL CHANNEL
16	PRECAST COPING
17	PRECAST BASE



# East Elevation



EXTERIOR MATERIALS KEY	
MATERIAL	
1	MASONRY TO COMPLEMENT EXISTING BANK - FINAL MATERIAL TBD
2	FACE BRICK
3	METAL WALL PANEL 1
4	METAL WALL PANEL 2
5	METAL PANEL REVEAL
6	PERFORATED STEEL PANEL 1
7	PERFORATED STEEL PANEL 2
8	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM - CLEAR GLAZING
9	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM - SPANDREL PANEL
10	THERMALLY BROKEN ALUMINUM STOREFRONT DOORS
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12	OVERHEAD GARAGE DOOR - TRANSPARENT GLASS PANELS
13	METAL CLAD STEEL FRAMED CANOPY
14	LOUVERED STEEL VENT
15	DECORATIVE STEEL CHANNEL
16	PRECAST COPING
17	PRECAST BASE

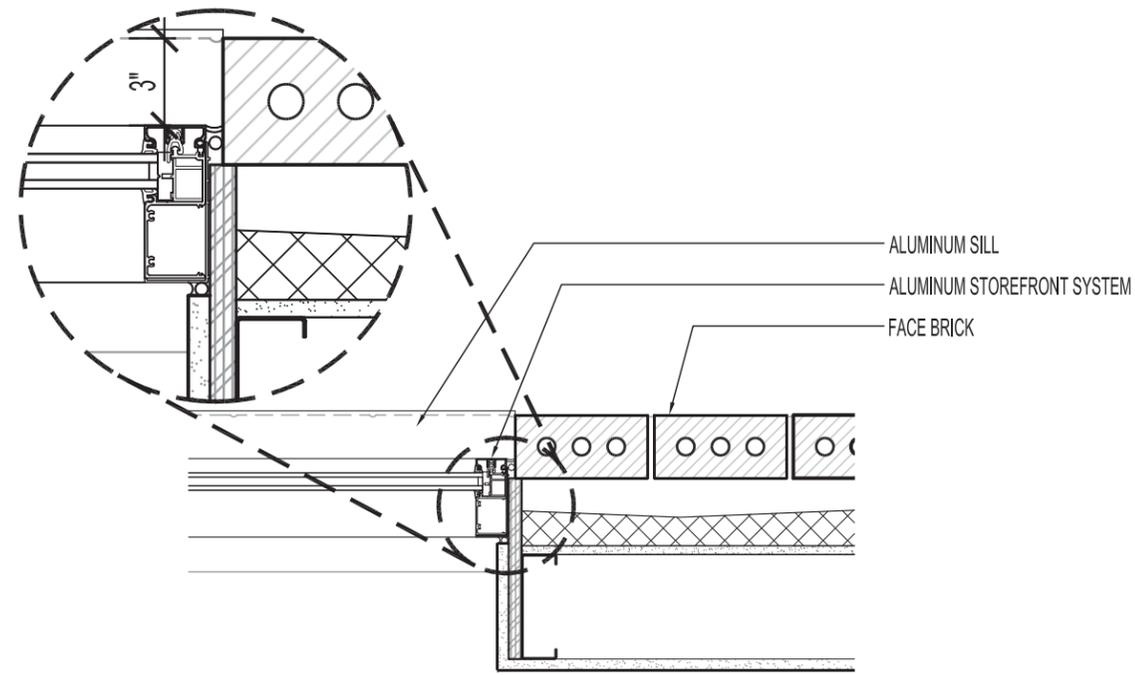


# South Elevation

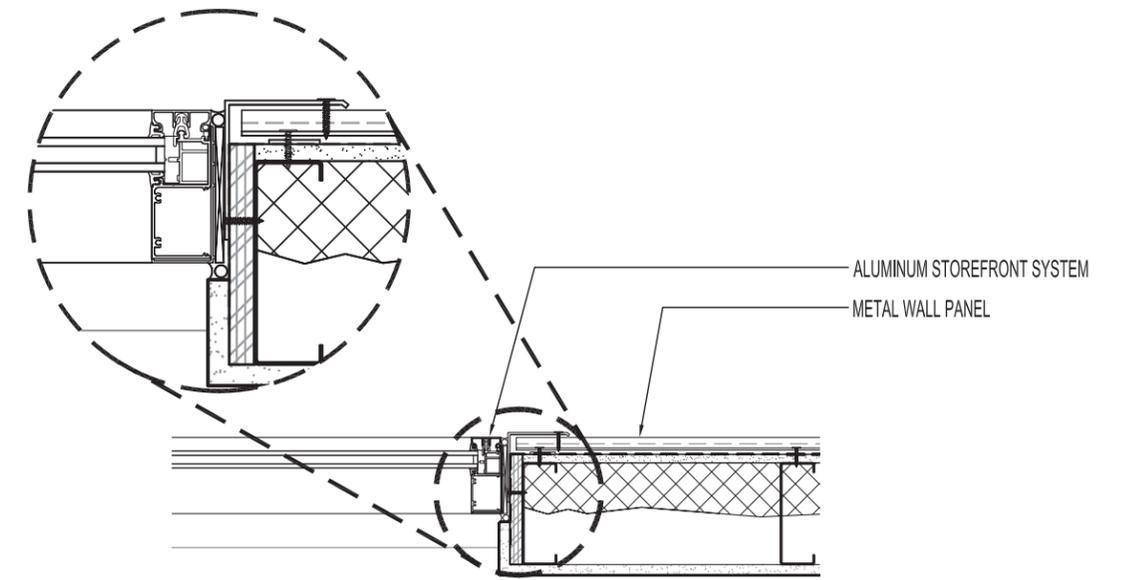
EXTERIOR MATERIALS KEY	
MATERIAL	
1	MASONRY TO COMPLEMENT EXISTING BANK - FINAL MATERIAL TBD
2	FACE BRICK
3	METAL WALL PANEL 1
4	METAL WALL PANEL 2
5	METAL PANEL REVEAL
6	PERFORATED STEEL PANEL 1
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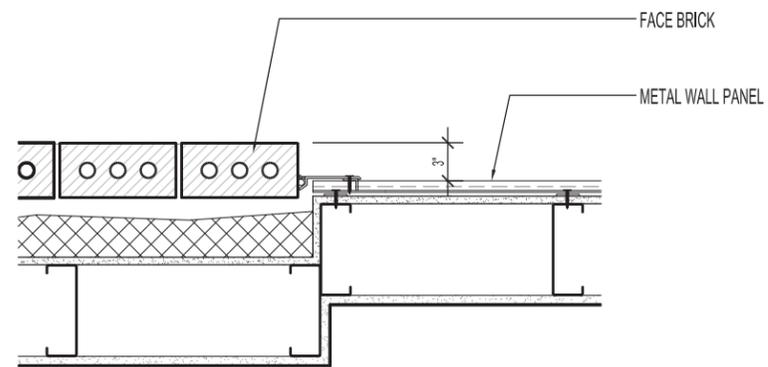
Typical Construction Details



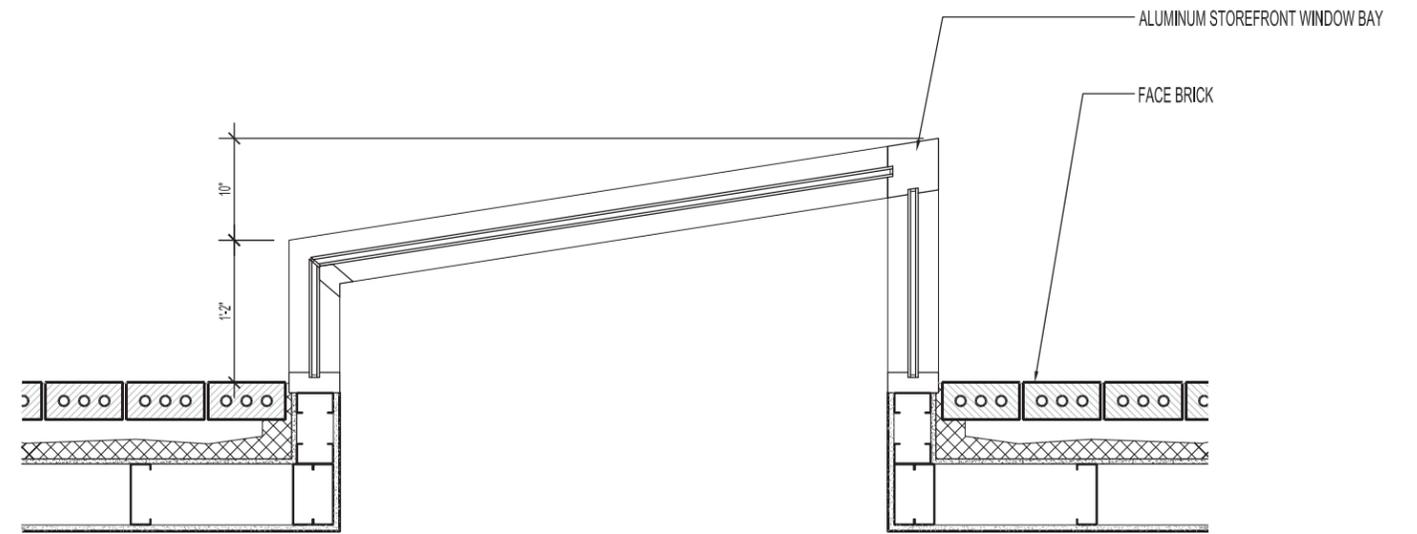
Typical Jamb Detail @ Face Brick



Typical Jamb Detail @ Metal Wall Panel



Plan Detail @ Brick / Metal Wall Panel



Plan Detail @ Typical Punched Window Bay

Site Images



N. Farwell Avenue

Site Images



E. Thomas Avenue

N. Murray Avenue

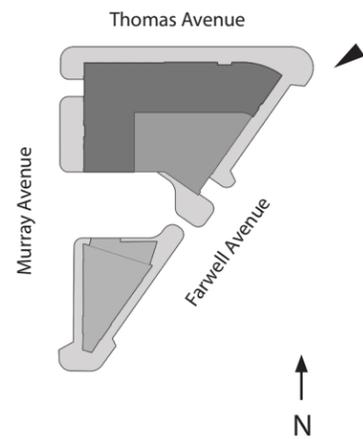
Building Images - Aerial Image



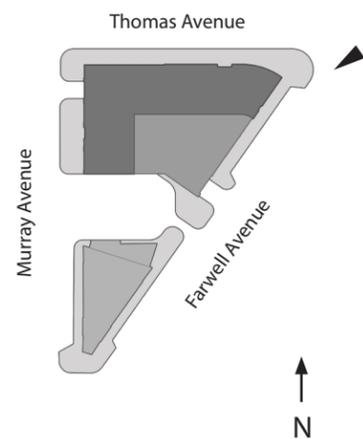
Building Images - Aerial Image



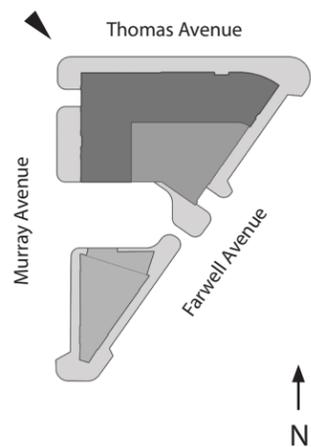
Building Images - Northeast Corner



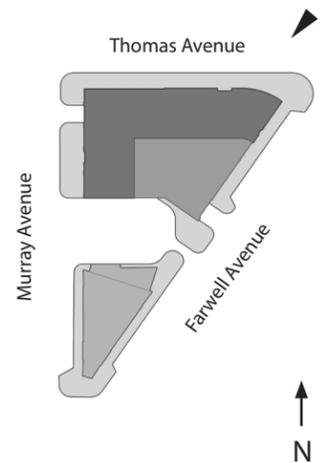
Building Images - Northeast Corner



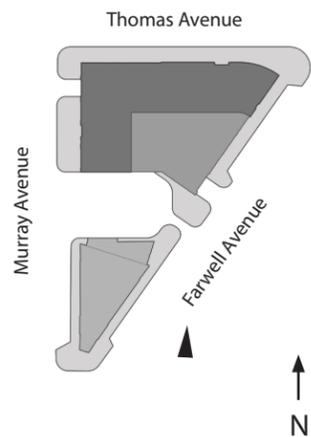
Building Images - Northwest Corner



Building Images - Thomas Avenue



Building Images - Farwell Avenue



Building Images - Murray Avenue

