



Hitchcock Design Group

Creating Better Places[®]

221 West Jefferson Avenue
Naperville, Illinois 60540

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www.hitchcockdesigngroup.com

AutoZone

Milwaukee, Wisconsin

Detailed Planned Development Submittal November 19, 2010

AutoZone, Inc.

123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103

Project Number:

01-0966-001-01-06

Civil Engineer
V3 Companies
7325 Janes Ave.,
Woodridge, IL 60517

Main: 630.724.9200
Fax: 630.724.9202

AUTOZONE
DPD PLAN SUBMITTAL
NOVEMBER 19, 2010
01-0966-001-01-06

Sheet Index

L1.0 Landscape Plan

General Notes

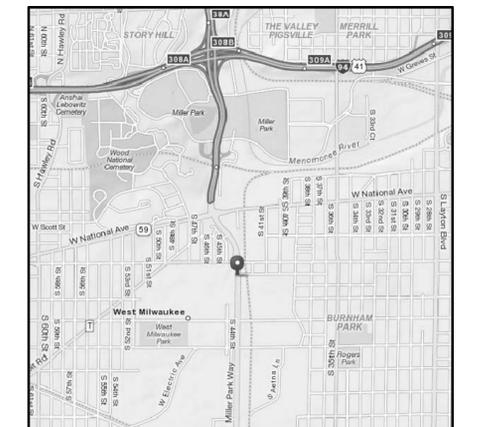
1. Basemap information obtained from plans prepared by V3 received 11-19-2010.
2. Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
3. Secure and pay for permits, fees and inspections necessary for the proper execution of this work. Comply with codes applicable to this work.
4. Do not locate plants within 10' of utility structures. Do not locate plants within 5' horizontally of underground utility lines.
5. Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn. No additional payments will be made for materials required to complete the work as drawn.

Project Location Map



NOT TO SCALE

NORTH





Looking SE across the site from the NW corner of the property

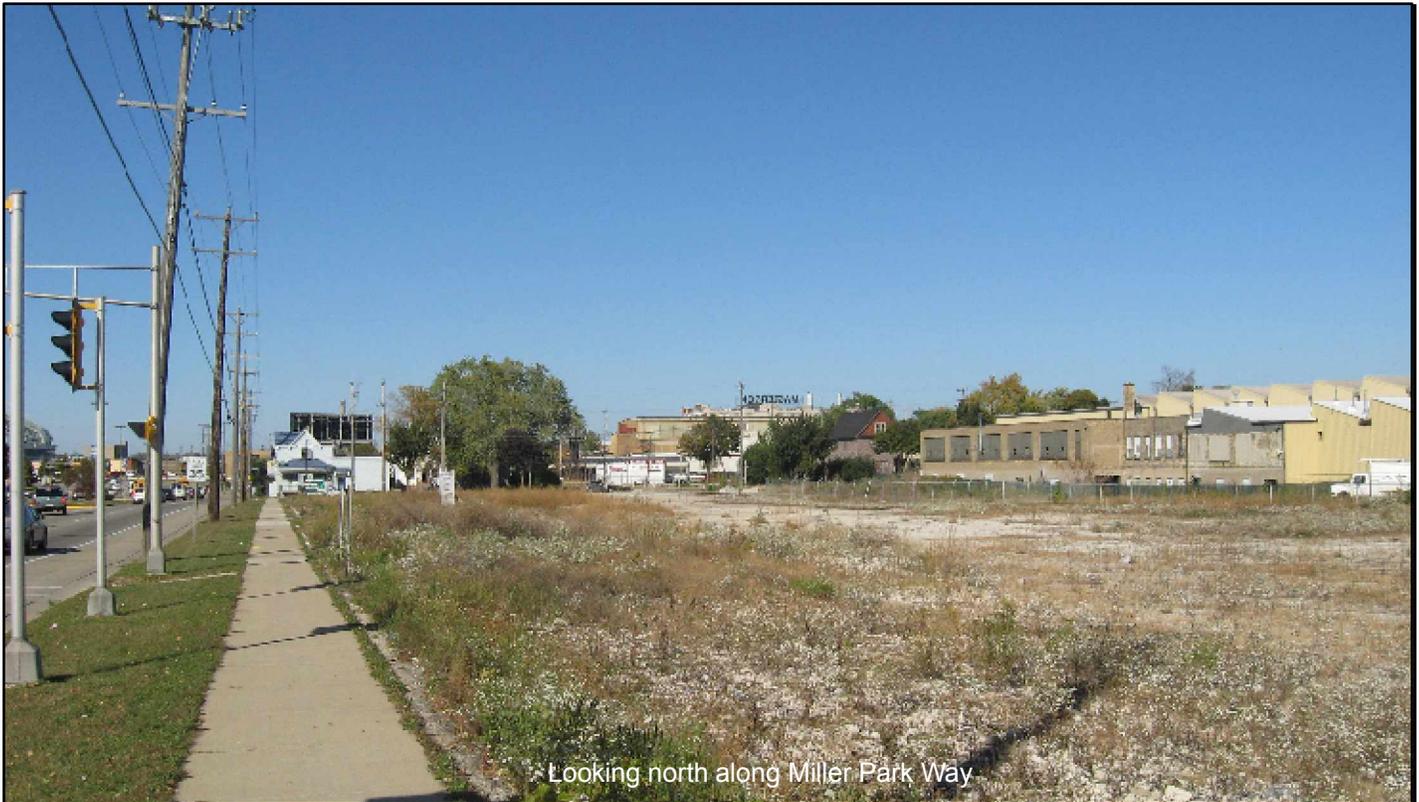


Looking south along Miller Park Way



V3 Companies
 7325 Janes Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

TITLE: Site Photos 1-2		PROJECT: AutoZone Store No. 4325 Milwaukee, WI		
BASE LAYER:	N/A	PROJECT NO. 10174	EXHIBIT: I	SHEET: 1 OF: 4
CLIENT:	AutoZone, Inc. 123 S. Front Street Memphis, TN 38103	QUADRANGLE: Milwaukee	DATE: 11-12-10	SCALE: NTS



Looking north along Miller Park Way



Looking east along Orchard Street



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 630.724.9202 fax
 www.v3co.com

TITLE: Site Photos 3-4	PROJECT: AutoZone Store No. 4325 Milwaukee, WI		
BASE LAYER: N/A	PROJECT NO. 10174	EXHIBIT: I	SHEET: 2 OF: 4
CLIENT: AutoZone, Inc. 123 S. Front Street Memphis, TN 38103	QUADRANGLE: Milwaukee	DATE: 11-12-10	SCALE: NTS



Looking south across the site

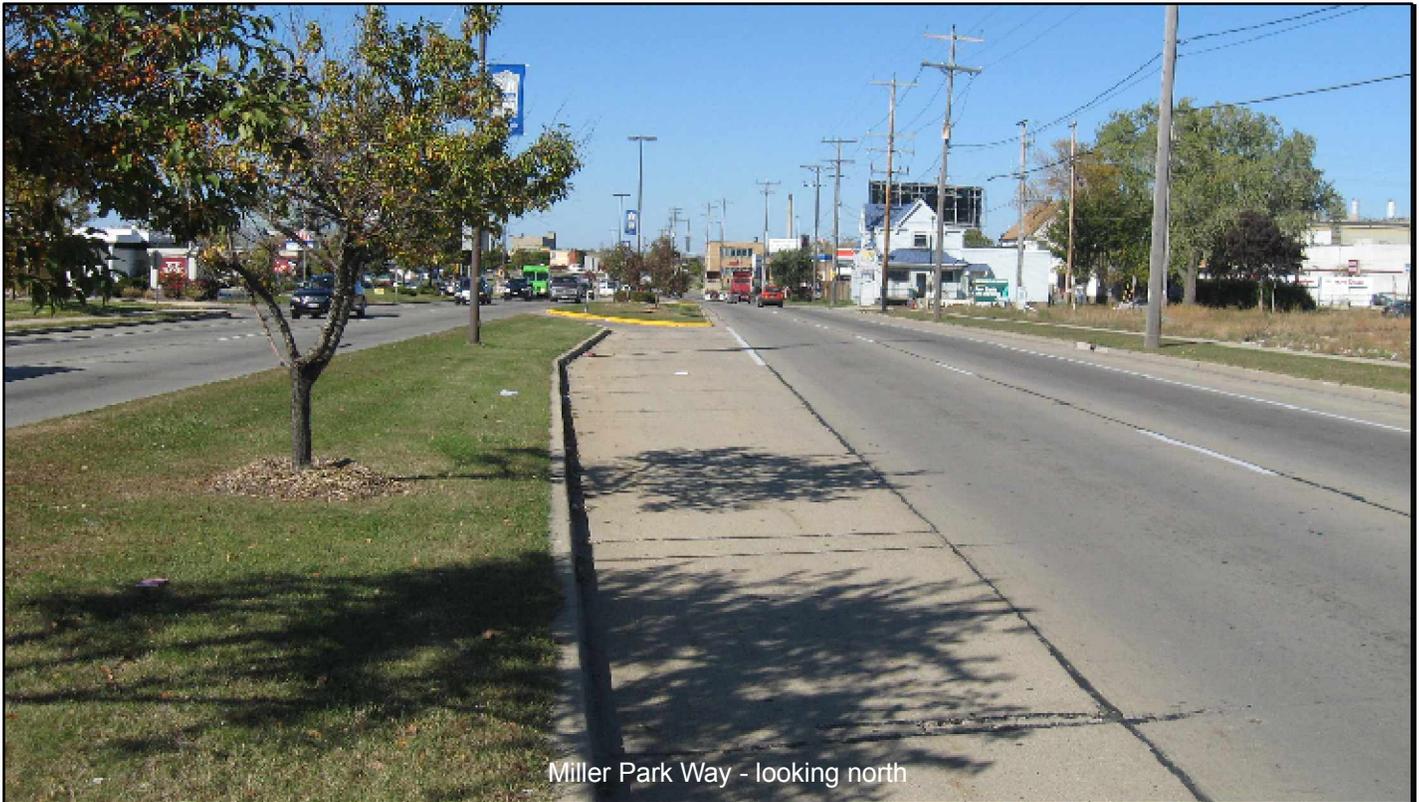


Intersection of Miller Park Way and Target Entrance



V3 Companies
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 Woodridge, IL 60517
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 630.724.9202 fax
 www.v3co.com

TITLE: Site Photos 5-6	PROJECT: AutoZone Store No. 4325 Milwaukee, WI		
BASE LAYER: N/A	PROJECT NO. 10174	EXHIBIT: I	SHEET: 3 OF: 4
CLIENT: AutoZone, Inc. 123 S. Front Street Memphis, TN 38103	QUADRANGLE: Milwaukee	DATE: 11-12-10	SCALE: NTS



Miller Park Way - looking north

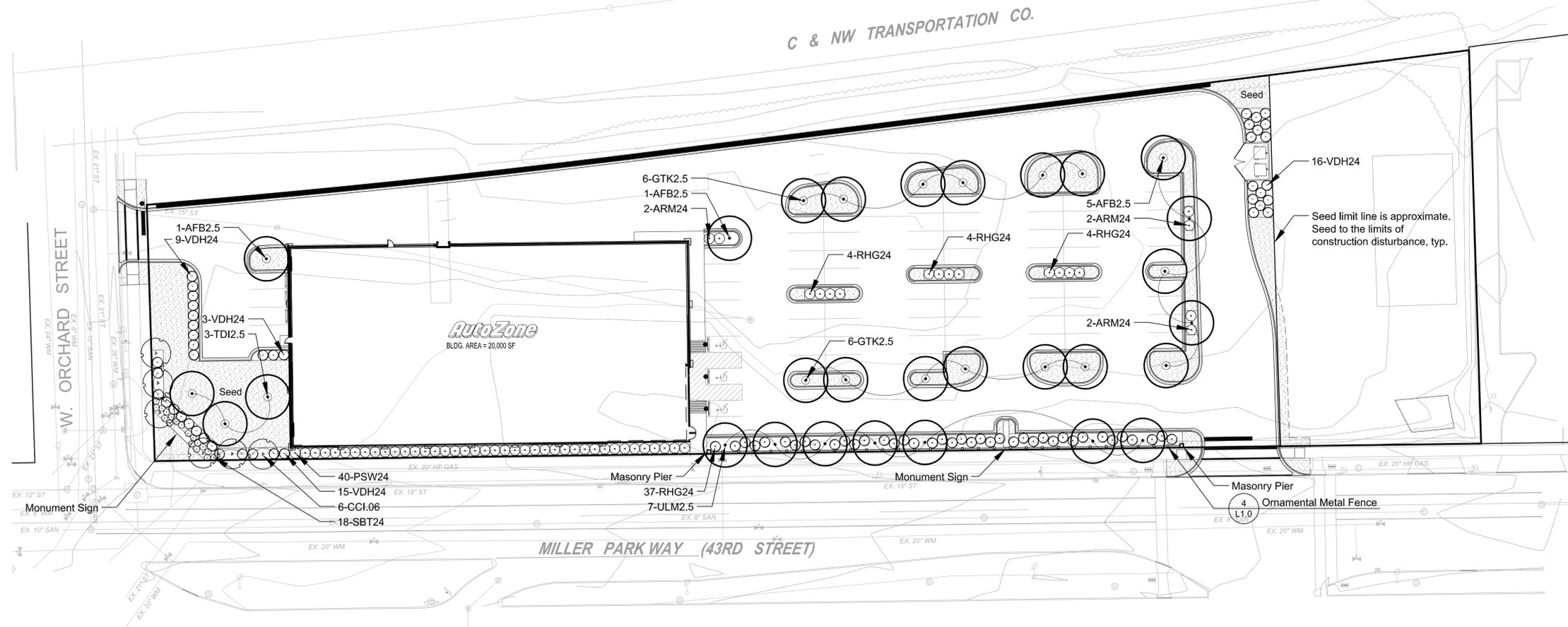


Intersection of Miller Park Way and Orchard Street



V3 Companies
 7325 Janes Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

TITLE: Site Photos 7-8	PROJECT: AutoZone Store No. 4325 Milwaukee, WI		
BASE LAYER: N/A	PROJECT NO. 10174	EXHIBIT: I	SHEET: 4 OF: 4
CLIENT: AutoZone, Inc. 123 S. Front Street Memphis, TN 38103	QUADRANGLE: Milwaukee	DATE: 11-12-10	SCALE: NTS

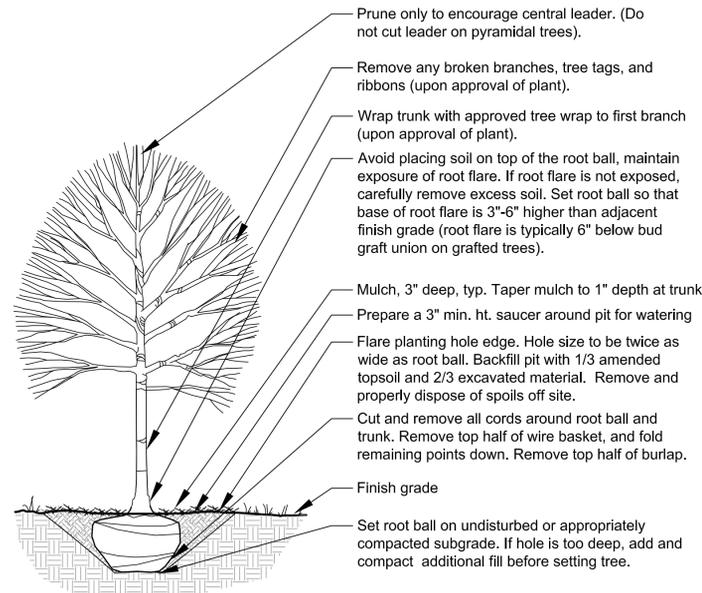


Planting Notes

1. Base map information obtained from plans prepared by V3, dated 11-11-2010.
2. Seed limit line is approximate. Seed to limits of grading and disturbance.
3. Tree mulch rings are 4' diameter, typ.
4. Contractor responsible for erosion control in all seeded and sodded areas.
5. Do not locate plants within 10' of utility structures. Do not locate plants within 5' horizontally of underground utility lines.
6. Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn. No additional payments will be made for materials required to complete the work as drawn.
7. All landscape beds to receive a 3" layer of shredded hardwood bark mulch.

Plant Materials List

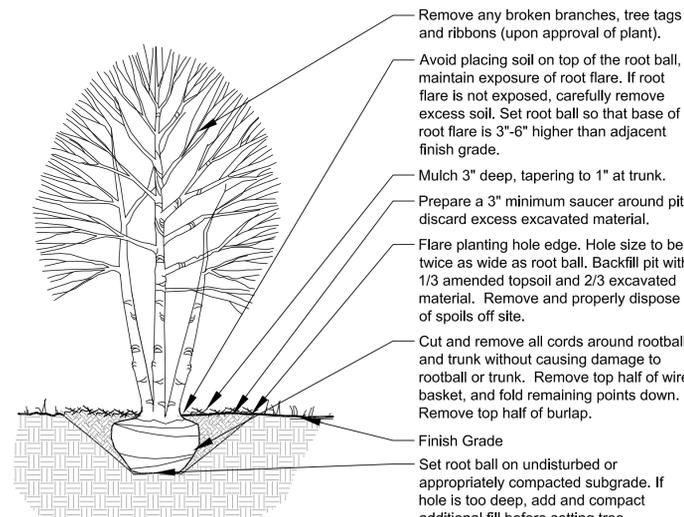
Code	Botanical Name	Common Name	Size	Qty
Shade Trees				
AFB2.5	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	2 1/2" C	7
GTK2.5	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Thornless Honeylocust	2 1/2" C	12
TDI2.5	Taxodium distichum	Common Baldcypress	2 1/2" C	3
ULM2.5	Ulmus japonica x wilsoniana 'Morton'	Accolade™ Elm	2 1/2" C	7
Intermediate Trees				
CCI.06	Crataegus crusgalli var. inermis	Thornless Cockspur Hawthorn	6' HT	6
Deciduous Shrubs				
ARM24	Aronia melanocarpa 'Autumn Magic'	Autumn Magic Black Chokeberry	24" HT	6
PSW24	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	24" HT	40
RHG24	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	24" HT	51
VDH24	Viburnum dentatum 'Christom'	Blue Muffin Arrowwood Viburnum	24" HT	43



1 Deciduous Tree Planting

Scale: 1/2" = 1'-0"

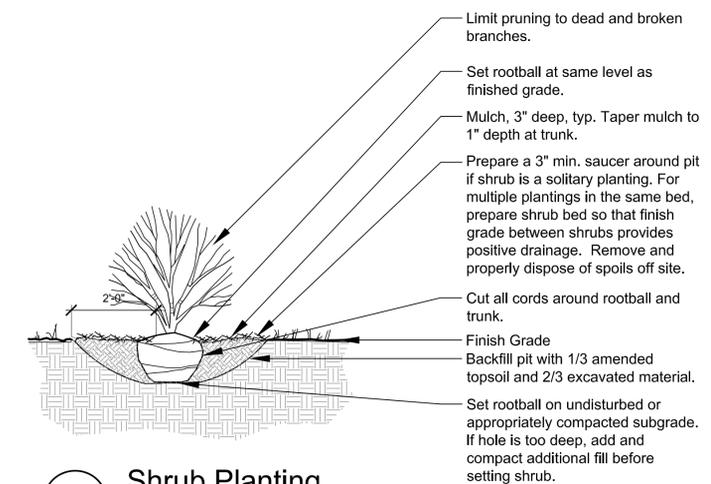
d-plant-tree-dec



2 Ornamental Tree Planting

Scale: 1/2" = 1'-0"

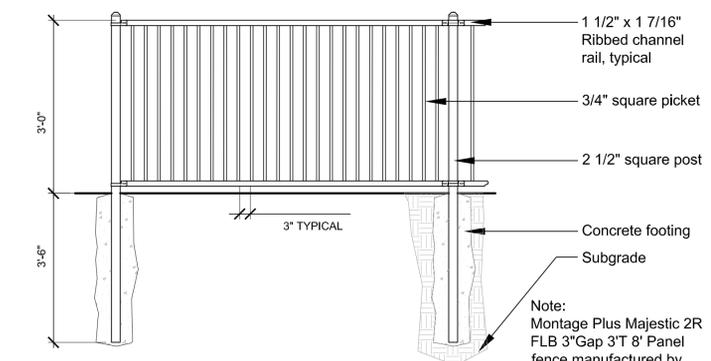
d-plant-tree-orn



3 Shrub Planting

Scale: 1/2" = 1'-0"

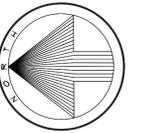
d-plant-shrub



4 Ornamental Metal Fence

Scale: 1/2" = 1'-0"

d-fence-orn



REVISIONS

1. 11.16.10
Per City Comment
 2. 11.19.10
Per City Comment
 - 3.
 - 4.
 - 5.
- ARCHITECT: DAF
DRAFTSMAN: NAA
CHECKED BY: GBR
DATE: 11/12/2010

ALTA/ACSM Land Title Survey

330 feet South of the North Line and 725 feet East of the West line of the NW 1/4 of Section 1, Town 6 North, Range 21 East (Per Document No. 2142007)

594.6' curv parallel to the West Line of the NW 1/4 of Section 1, Town 6 North, Range 21 East (Per Document No. 2142007)

Radius = 5,697.00 feet, Arc = 269.00 feet (Per Document No. 2142007)

North Right-of-Way Line of Past-O-Lite Company Spur Track Radius 371.8 feet, Arc 546.17 (Per Document No. 2142007)

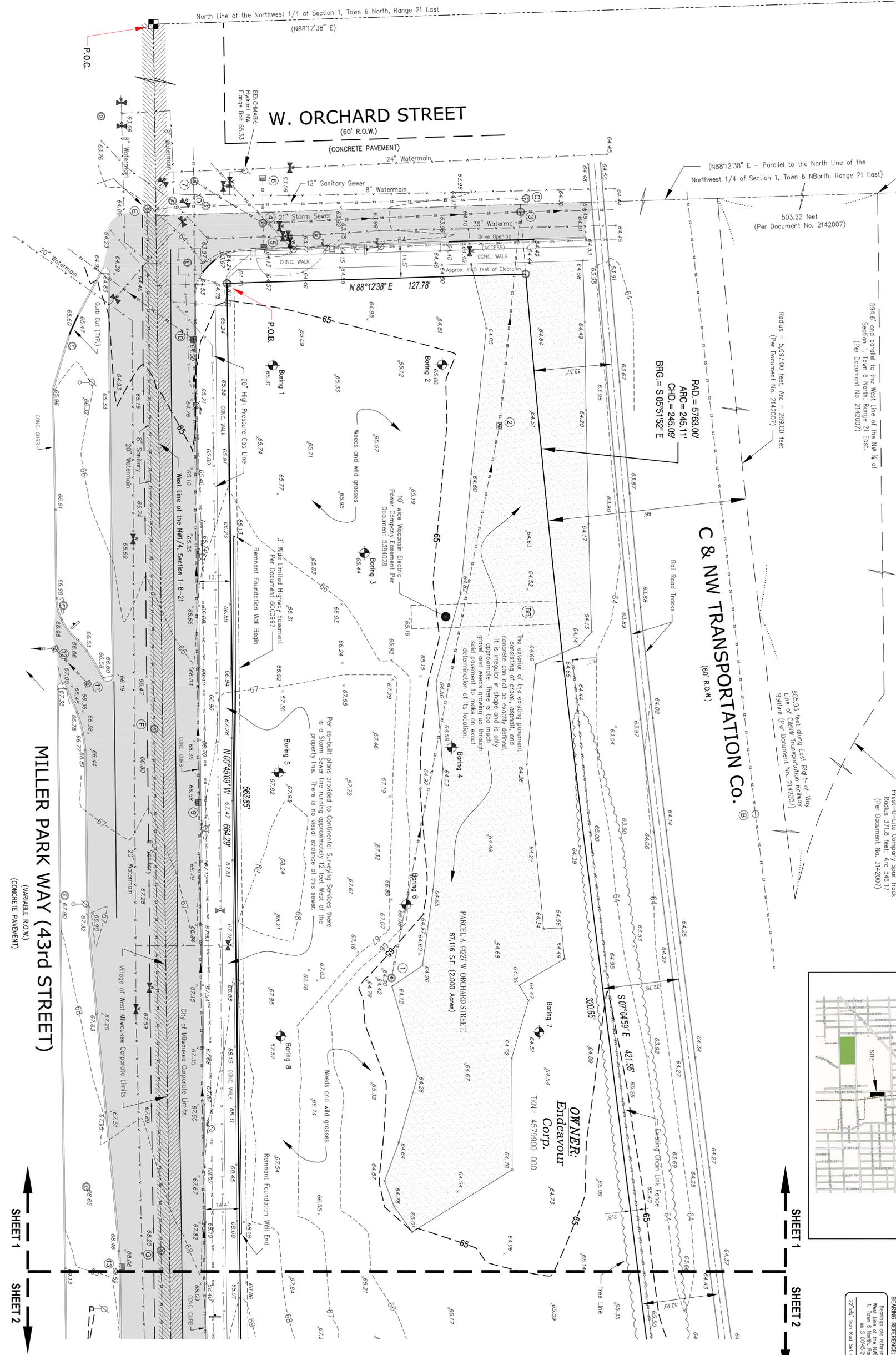
605.93 feet along East Right-of-Way Line of C&NW Transportation Railway Beltline (Per Document No. 2142007)



VICINITY MAP NOT TO SCALE

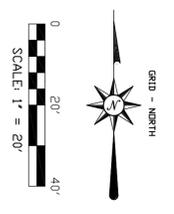
CURVE TABLE		MEASURED
ARC	N/A	245.11'
RADIUS	N/A	5,763.00'
DELTA	N/A	2,281.37'
CHORD	N/A	245.09'
BEARING	N/A	S 05°51'52" E

BEARING REFERENCE:
Bearings are referenced to the Wisconsin Meridian, Range 21 East as S 00°45'09" E
22'-X" Iron Rod Set (1.13 lb/foot)



FOR QUESTIONS REGARDING THIS SURVEY CONTACT:

CROWN SERVICES GROUP
5016 S. PLAZA DR. NEWBURGH, IN 47630
Ph. 812-490-5602 Fax 812-490-5606



TYPE OF SURVEY: ALTA/ACSM SURVEY

PROJECT ADDRESS:
PARCEL 1: 4227 W. ORCHARD STREET, MILWAUKEE WI 53215
PARCEL 2: 1552 MILLER PARK WAY, WEST MILWAUKEE, WI 53214

PROJECT LOCATION:
MILWAUKEE COUNTY, WISCONSIN

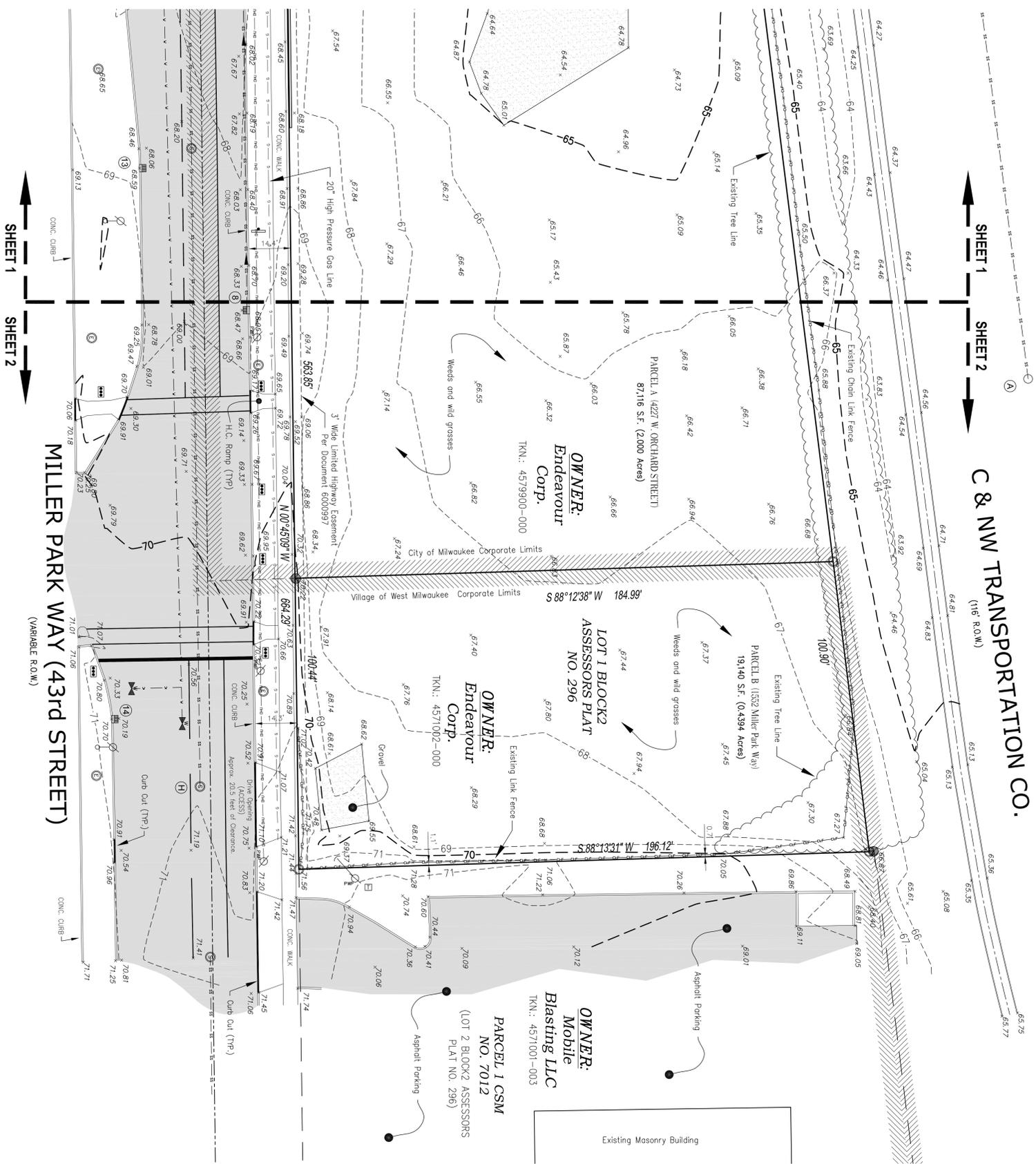
PREPARED FOR:
AutoZone
STORE 4325 1

BRYCE D. KACZOR SURVEY NO.: 20100831_STE0001
CONTINENTAL SURVEYING SERVICES LLC
1338 Santa Monica Circle
Waukesha WI. 53186
Phone: (262) 389-9200

REVISIONS			
NO.	DESCRIPTION	DATE	REV. BY

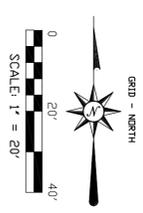
ALTA/ACSM Land Title Survey

C & NW TRANSPORTATION CO.
(116' R.O.W.)



LEGEND

●	MONUMENT FOUND	☀	LIGHT POLE	⊞	TRAFFIC SIGNAL
○	MONUMENT SET	☀	STREET LIGHT POLE	—C—	CABLE TELEVISION
⊞	P.K. NAIL FOUND	☀	ELEC. TRANSFORMER	—O/H C—	OVERHEAD CABLE
⊞	P.K. NAIL SET	☀	AIR CONDITIONER	⊞	CURB INLET
⊞	BENCHMARK	⊞	ELECTRIC	⊞	MONITORING WELL
(R)	RECORDED DATA	⊞	O/H E OVERHEAD ELECTRIC	—T—	TELEPHONE LINE
(C)	CALCULATED DATA	⊞	ELEC. MANHOLE	—W—	WATER LINE
R/W	RIGHT OF WAY	⊞	ELEC. METER	⊞	WATER MANHOLE
B.S.	BACK SET LINE	⊞	PAY PHONE	⊞	WATER VALVE
RCP	REINFORCED CONC PIPE	⊞	SAN/SEWER LINE	⊞	WATER METER
CMP	CORRUGATED METAL PIPE	⊞	SEWER MANHOLE	⊞	HYDRANT
P/L	PLASTIC PIPE	⊞	CLEAN OUT	⊞	GAS MANHOLE
M/L	METAL	⊞	STORM DRAIN LINE	⊞	GAS METER
L/S	LANDSCAPING	⊞	STORM DRAIN MANHOLE	⊞	STEEL POLES
☀	TREE	⊞	AERODRUM MANHOLE	⊞	GAS LINE
⊞	POINT OF BEGINNING	⊞	TELEPHONE BOX	⊞	OVERHEAD UTILITY
⊞	POINT OF COMMENCEMENT	⊞	TELEPHONE POLE	⊞	
⊞	POWERPOLE	⊞	SIGN		
⊞	UTILITY	⊞	STOP SIGN		



FOR QUESTIONS REGARDING THIS SURVEY CONTACT:

CROWN SERVICES GROUP
5016 S. PLAZA DR. NEWBURGH, IN 47630
Ph. 812-490-5602 Fax 812-490-5606

PROJECT ADDRESS:
PARCEL 1: 4227 W. ORCHARD STREET, MILWAUKEE WI. 53215
PARCEL 2: 1552 MILLER PARK WAY, WEST MILWAUKEE, WI. 53214

PROJECT LOCATION:
MILWAUKEE COUNTY, WISCONSIN

CSG JOB NUMBER: 10249-08

PREPARED FOR:

STORE 4325 1

BRYCE D. KACZOR SURVEY NO.: 20100831_STE0001
CONTINENTAL SURVEYING SERVICES LLC
1338 Santa Monica Circle
Waukesha WI. 53186
Phone: (262) 389-9200

REVISIONS			
NO.	DESCRIPTION	DATE	REV. BY

ALTA/ACSM Land Title Survey

CITY OF MILWAUKEE: SITE DATA

PER PHONE CONVERSATION TO THE CITY OF MILWAUKEE ON SEPTEMBER, 2010.
CURRENT ZONING: IH Industrial Heavy
BUILDING SETBACKS: None from streets
 None from rear
 None from side
HEIGHT RESTRICTIONS: No Building
 Height restriction
BASIS OF BEARING: The west line of the NW 1/4 of Section 1, known as N00°45'09"W
VERTICAL DATUM: City of Milwaukee
BENCHMARK: Hydrant - Northwest Flange Bolt at the Northeast Corner of W. Orchard Street & Miller Park Way= 65.33 (See Sheet 1)

VILLAGE OF WEST MILWAUKEE: SITE DATA

PER PHONE CONVERSATION TO THE VILLAGE OF WEST MILWAUKEE ON SEPTEMBER, 2010.
CURRENT ZONING: B-2 Shopping Center
BUSINESS DISTRICT: Business District
BUILDING SETBACKS: 30 feet from streets
 30 feet from rear
 30 feet from side
HEIGHT RESTRICTIONS: No Precipal Building shall exceed 35 feet
 No accessory Building shall exceed 15 feet

UTILITY COMPANIES

THE UTILITIES SHOWN ARE FROM OBSERVED RECORDS OF THE PUBLIC UTILITIES DISTRICTS, SIZE AND LOCATION, CONTACT LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION.
WE-ENERGIES
 231 W. Michigan Street
 Milwaukee, WI 53203
PHONE: (414) 301-9599
AT&T TRANSMISSION
 2315 Salem Road
 Conover Georgia 30013
(800) 241-3624
TIME WARNER CABLE
 2323 N. Dr. Martin Luther King Drive
 Milwaukee WI 53212
(414) 228-5179
SBC
 1/(800) 762-0592
D.O.T. SOUTHEAST REGION
 141 NW Barstow Street
 P.O. Box 798
 Waukesha WI 53186
(262) 548-5803
MMSD (Milwaukee Metropolitan Sewerage District)
 260 W. Seaboard Street
 Milwaukee, WI 53204
(414) 225-2189
CITY OF MILWAUKEE
 200 E. Wells Street
 Milwaukee, WI 53201
(414) 286-2189

SURVEYOR'S CERTIFICATION

TO ENDEAVOUR CORP., a Wisconsin corporation, CHICAGO TITLE INSURANCE COMPANY, BANK ONE:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED, WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11B, 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

Bryce D. Kaczor S-2803

Dated this 24th day of September, 2010.

NOTES:

- NO BUILDINGS FOUND ON PARCEL "A" AND PARCEL "B".
- DIGGERS HOTLINE TICKET #9 DATED ON SEPTEMBER 01, 2010: 20103610121, 20103612120, 20103610116, 20103609956
- FENCELINE IS FOUND ON EITHER SIDE OF SOUTHERLY AND EASTERLY AND WESTERLY BOUNDARY LINES.
- NO OBSERVABLE EVIDENCE OF EARTHWORK BUILDING CONSTRUCTION OR ANY ADDITIONS WITHIN RECENT MONTHS.
- NO NOTICE OF STREET RIGHT OF WAY'S CHANGES.
- SOME OBSERVABLE EVIDENCE OF SIDEWALK REPAIRS ALONG MILLER PARK WAY.
- NO OBSERVABLE EVIDENCE OF PARCEL "A" OR PARCEL "B" BEING USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

NOTE: Utilities & Materials

The Surveyor takes no responsibility for the existence of any underground structures or any buried materials hazardous or safe in nature such as but not limited to foundations, wells, septic, holding tanks, utilities, petroleum products or other materials of which no evidence can be found on the surface by a visual inspection.

For additional information please refer to the Title Policy and any other recorded real estate document that would pertain to said list and its respective location.

For any utilities not shown on this "Survey" and of which is required, it is recommended that Diggers Hotline be called, and at which point when underground utility locations are flagged, the Surveyor is not responsible for utilities left unmarked.

FLOOD DATA This property is in Zone "X" of the Flood Insurance Rate Map, Community Panel No. 55079C0089E which has an effective date of September 08, 2008, and is NOT in a special Flood Hazard Area. Field surveying was not performed to determine this Zone. An elevation certificate may be needed to verify this determination or apply for an amendment from the Federal Emergency Management Agency.

LEGAL DESCRIPTION PER TITLE POLICY: "Y" Indication of Measured Data

PARCEL A
 All that part of the of the Northwest 1/4 of Section 1, Town 6 North, Range 21 East located in the City of Milwaukee, Milwaukee County Wisconsin, more particularly bounded and described as follows:
 Commencing at a point on the West line of said X Section, 330 South of the Northwest corner of said X Section, being a point in the center line of West Orchard Street; thence South on said West line 30 feet to the South line of West Orchard Street; thence continuing South along said West line 564.56 (Measured 563.85) feet to a point; thence North 88°58' East (Measured North 88°12'38" East) 30 feet to a point in the East Line of South 43rd Street (Also known as Miller Park Way); thence continuing North 88°58' East (Measured North 88°12'38" East) 215.66 feet (Measured 184.99 feet) to a point in the West line of the Chicago and Northwestern Transportation Company; thence North 62°27' West (Measured North 07°04'59" West) along said West line 397.05 feet (Measured 421.55 feet) to a point of curve; thence continuing along said West line with a curve to the right 169.40 feet to the South line of West Orchard Street (Measured Northwesterly along said right-of-way line and the Arc of a curve 245.11 feet, whose Radius is 5,763.00 feet, whose Center lies Easterly, whose Chord bears North 05°51'52" West, 245.09 feet to the South line of W. Orchard Street); thence continuing along said West line with a curve to the right 30 feet, more or less, to a point in the center line of West Orchard Street; thence West on said center line 155.34 feet (Measured 153.83 feet) to the point of commencement.
 Tax Key No.: 457-9900-1
 Address: 4227 W. Orchard Street
 (Excepting the Westerly 30 feet and the Northerly 30 feet of for the purposes of an Apparent Public Right-of-way based on monumentation and usage)
PARCEL B
 Lot 1, Block 2, in the Assessor's Plat No. 296, being a part of the Northwest 1/4 of Section 1, Town 6 North, Range 21 East, in the Village of West Milwaukee, County of Milwaukee, State of Wisconsin.
 Tax Key No.: 457-1002
 Address: 1552 Miller Park Way

NOTES CORRESPONDING TO SCHEDULE B

- AS PER COMMITMENT NO. 1267131 DATED May 27, 2010
- 10.) Public or private rights, if any, in such portion of the subject premises as may be presently used, laid out or dedicated in any manner whatsoever, for road, street, highway and or alley, None shown
 - 11.) Rights and easement, if any, in and to any and all railroad switches, sidetracks, spur tracks and rights of way located upon appurtenant to the subject premises. - Shown as "A"
 - 12.) Rights of the subject in that portion of the premises lying within the limits of South 43rd Street and West Orchard Street
 - 13.) Utility Easement granted to Wisconsin Electric Power Company recorded as Document No. 5284028
 - 14.) Limited Highway set-back in Out-Chain Dred recorded as Document No. 8000997. - Shown as "CC"

Sewer Inverts & Sizes

Per City of Milwaukee West Milwaukee as-built plans and MMSD.

Storm Sewer		Storm Sewer		Sanitary Sewer	
Structure #	Description	Structure #	Description	Structure #	Description
1	Rim 12" North	9	Rim (B.O.C.) 15" South	B	Rim 36" South
	Elevation 59.33		Elevation 66.92		Elevation 48.39
2	Rim 12" South		18" North Rim (B.O.C.)	C	Rim 36" North
	Elevation 64.39		Elevation 62.40		Elevation 64.27
		10	Rim (B.O.C.) 18" South	D	Rim 10" West
			Elevation 64.83		Elevation 56.17
3	Rim 15" North		21" Northwest Rim		Rim 10" West
	Elevation 64.29		Elevation 60.58		Elevation 63.85
		11	Rim 12" Northwest	E	Rim 10" West
			Elevation 55.54		Elevation 55.75
			15" South Rim		Rim 10" West
			Elevation 53.93		Elevation 54.05
		12	Rim 12" Northwest		Rim 10" East
			Elevation 66.69		Elevation 53.79
4	Rim 21" West		12" Southeast		Rim 10" North
	Elevation 63.95		Elevation --		Elevation 53.34
		13	Rim 12" West	F	Rim 10" South
			Elevation 68.99		Elevation 66.66
			12" North Rim		Rim 8" North
			Elevation 54.1		Elevation 55.76
5	Rim (B.O.C.) 12" North	14	Rim 12" West	G	Rim 8" South
	Elevation 64.11		Elevation 70.70		Elevation 68.26
6	Rim (B.O.C.) 12" South				Rim 8" North
	Elevation 63.68				Elevation 57.92
		Sanitary Sewer		H	Rim 8" South
7	Rim 21" Southeast	A	Rim 36" South		Rim 8" North
	Elevation --		Elevation 64.13		Elevation 70.92
			Elevation 48.62	I	Rim 8" North
8	Rim 12" North		36" North Rim		Elevation 71.30
	Elevation 68.47		Elevation 48.62		

FOR QUESTIONS REGARDING THIS SURVEY CONTACT:



CROWN SERVICES GROUP

5016 S. PLAZA DR. NEWBURGH, IN 47630
 Ph. 812-490-5602 Fax 812-490-5606

PROJECT ADDRESS:
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 PARCEL 2: 1552 MILLER PARK WAY, WEST MILWAUKEE, WI 53214

PROJECT LOCATION:
 MILWAUKEE COUNTY, WISCONSIN

PREPARED FOR:



STORE 4325 1

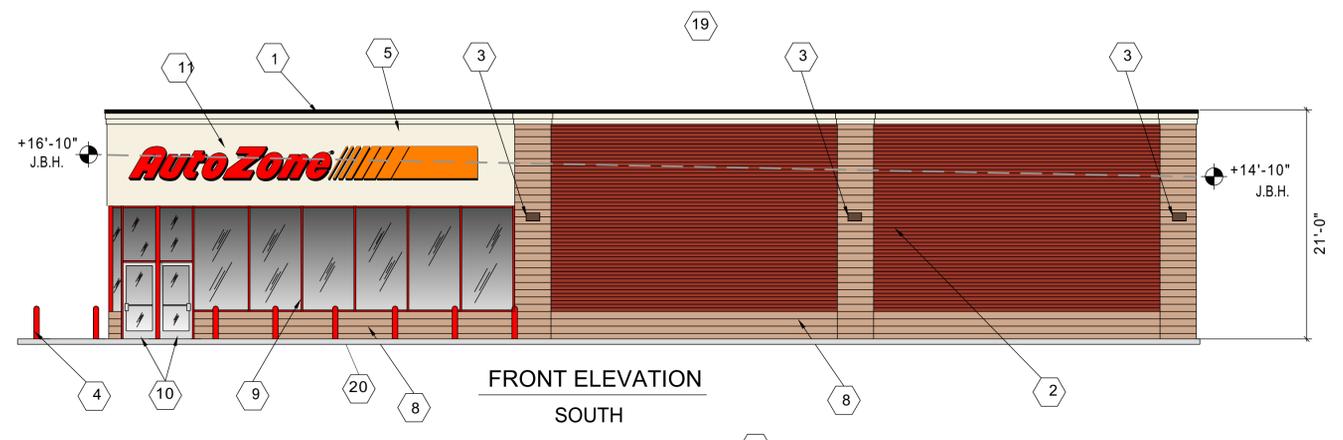
SHEET 3 OF 3

CSG JOB NUMBER: 10249-08

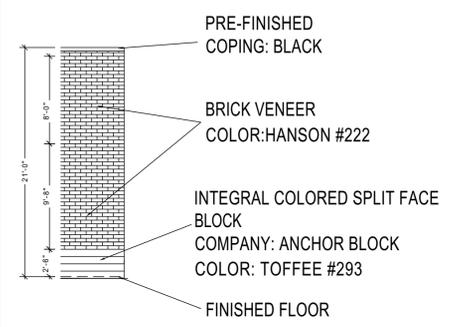
BRYCE D. KACZOR SURVEY NO.: 20100831_STE0001
 CONTINENTAL SURVEYING SERVICES LLC
 1338 Santa Monica Circle
 Waukesha WI 53186
 Phone: (262) 389-9200

TYPE OF SURVEY: ALTA/ACSM SURVEY

REVISIONS			
NO.	DESCRIPTION	DATE	REV. BY

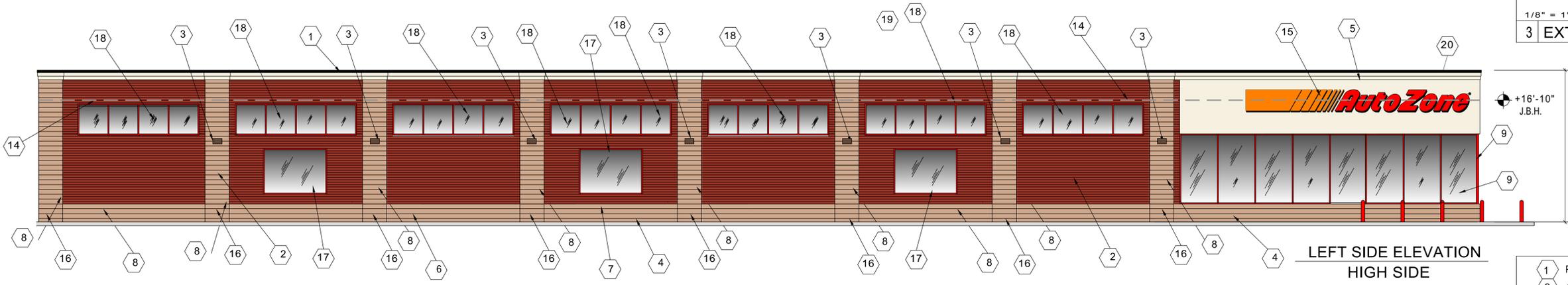


FRONT ELEVATION
SOUTH

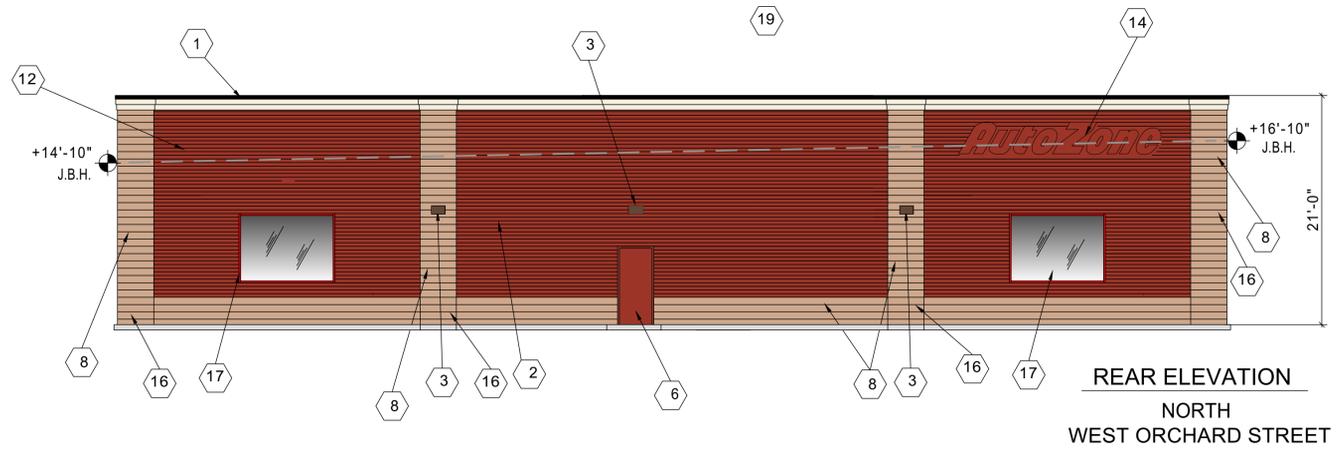


1/8" = 1'-0" AWE01
3 EXTERIOR WALL COLOR SCHEME

REVISIONS		
1	2	3
4	5	6



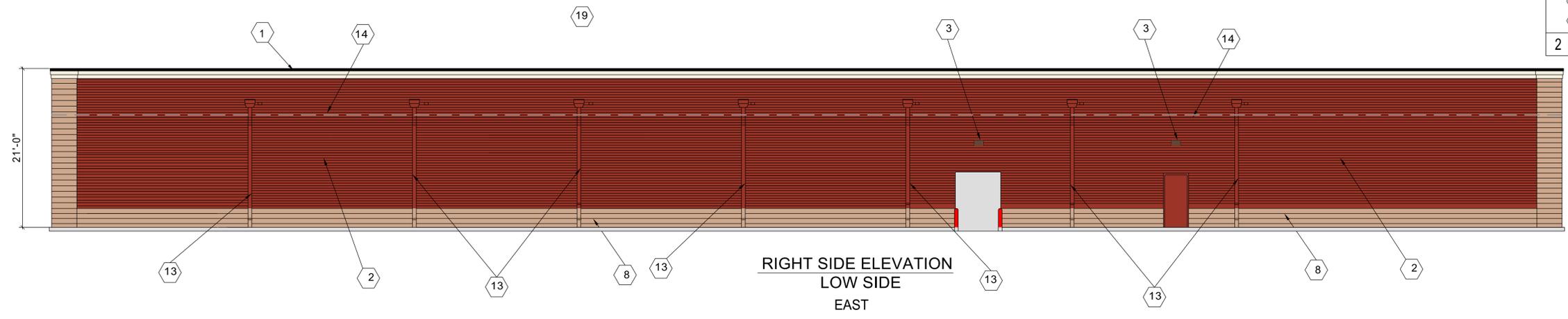
LEFT SIDE ELEVATION
HIGH SIDE
WEST
MILLER PARK WAY



REAR ELEVATION
NORTH
WEST ORCHARD STREET

- 1 PREFINISHED ALUMINUM COPING COLOR: BLACK
- 2 BRICK VENEER UNITS SEE PAINT DETAIL SCHEME THIS SHEET
- 3 WALL MOUNTED DECORATIVE SCONES
- 4 PIPE GUARD WITH RED SLEEVE
- 5 MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
- 6 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 SPLIT FACE VENEER UNITS SEE EXTERIOR WALL DETAIL SCHEME THIS SHEET
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 42" CLOUD SIGN
- 12 REAR SIDE WALL SIGN - 42" CLOUD SIGN
- 13 SCUPPERS AND DOWNSPOUTS. PAINTED TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER. FLOWLINE 2" ABOVE ROOF.
- 14 BOND BEAM AT ROOF LINE
- 15 RIGHT SIDE WALL SIGN - 42" CLOUD SIGN
- 16 12" PILASTERS
- 17 INTERNAL ILLUMINATED DISPLAY CASES
- 18 CLERESTORY WINDOWS WITH CLEAR GLAZING
- 19 FOAM CORNICE
- 20 CLEAR GLAZING

2 ELEVATION KEY NOTES



RIGHT SIDE ELEVATION
LOW SIDE
EAST

AutoZone Store No. 4325

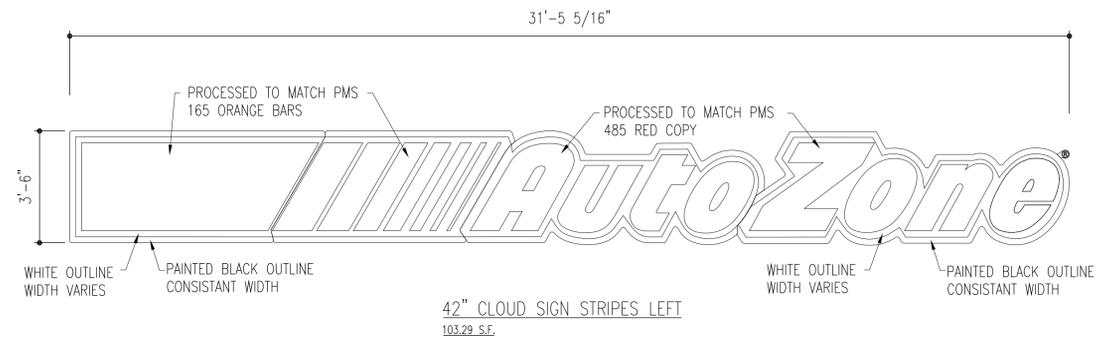
Architect:

123 South Front Street
Memphis, Tennessee 38103
TEL: 495-6500 FAX: (901) 495-8969

MILWAUKEE WI
COLOR ELEVATIONS

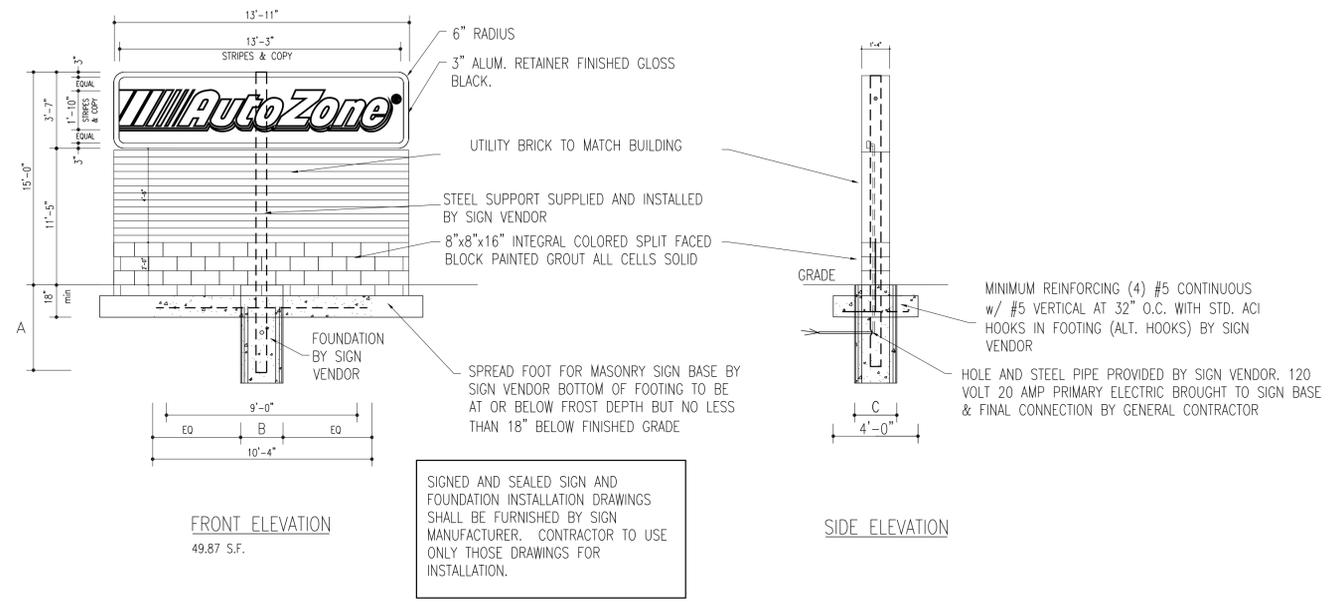
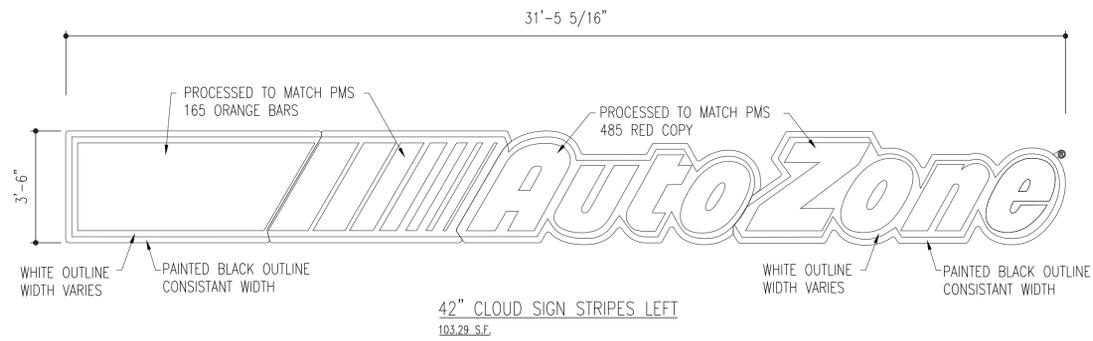
11-9-10
7N2 LEFT

CE



GENERAL SPECIFICATIONS:
CLOUD SIGN

COLORS:
CLOUD BACKS-----WHITE
FACE OUTLINE-----PAINTED BLACK
AUTOZONE-----PROCESSED TO MATCH PMS 485 RED
STRIPES-----PROCESSED TO MATCH PMS 165 ORANGE
COPY BACKGROUND-WHITE
"R"-----MATCH PMS 485 RED



REVISIONS

1				4
2				5
3				6

AutoZone Store No. 4325

MILWAUKEE WI

PROJECT SIGNAGE SHEET

Architect:
123 South Front Street
Memphis, Tennessee 38103
TEL: 901-495-6500 FAX: (901) 495-8969
For Bidding & Contractor Information Contact:
F. W. Dodge Plan Room Tel. 615-884-1017

11-12-10

7N2-LEFT

SN1

FINAL ENGINEERING PLANS FOR AUTO ZONE # 4325 W. ORCHARD ST. AND MILLER PARKWAY (43RD ST.) MILWAUKEE, WISCONSIN

PROJECT TEAM

OWNER

Auto Zone, Inc.
123 S. Front Street, 3RD Floor
Memphis, Tennessee 38103
901 495 8771 voice
901 495 8300 fax
Contact: Jeff Kauerz

ENGINEER

V3 Companies of Illinois, Ltd.
7325 Janes Avenue,
Woodridge, Illinois 60517
630 724 9200 voice
630 724 9202 fax

Project Manager: Andrew N. Heinen; P.E.
Design Engineer: Lauren N. Montero

SURVEYOR

Continental Surveying Services
1338 Santa Monica Circle
Waukesha, Wisconsin 53186
262 389 9200 voice
Contact: Bryce D. Kaczor

LANDSCAPE ARCHITECT

Hitchcock Design Group
221 W. Jefferson Avenue
Naperville, Illinois 60540
630 961 1787 voice
630 961 9925 fax
Contact: Geoff Roehll

REVIEWING AGENCY

City of Milwaukee
200 E. Wells Street
Milwaukee, Wisconsin 53201
414 286 2189 voice

DRY UTILITY CONTACTS

WE-Energies
231 W. Michigan Street
Milwaukee, Wisconsin 53203
414 301 9599 voice

AT&T Transmission
2315 Salem Road
Conyer Georgia 30013
800 241 3624 voice

SBC
800 762 0592 voice

D.O.T. South Region
141 NW Barstow Street
P.O. Box 798
Waukesha, Wisconsin 53186
262 548 5903 voice

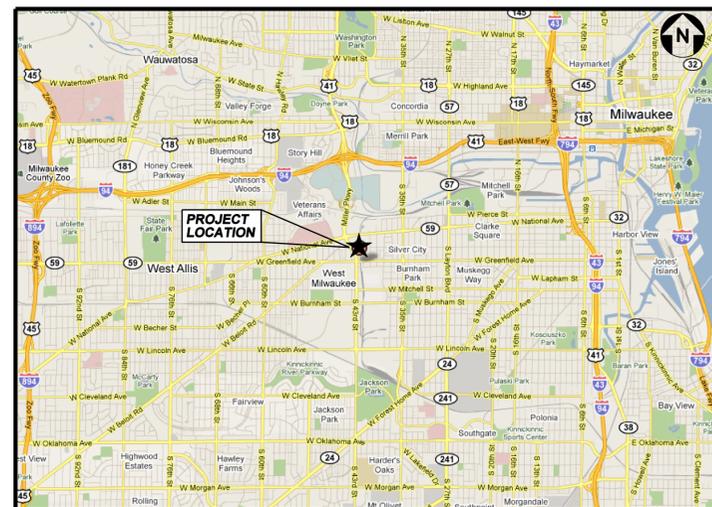
WATER AND SEWER
MMSD (Milwaukee Metropolitan Sewage District)
260 W. Seeboth Street
Milwaukee, Wisconsin 53204
414 225 2189 voice

City of Milwaukee
200 E. Wells Street
Milwaukee, Wisconsin 53201
414 286 2189 voice

Village of West Milwaukee
4755 W. Beloit Road
West Milwaukee, Wisconsin 53214
414 645 6238 voice



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

INDEX OF DRAWINGS

TITLE SHEET

- C1.0 SITE PLAN
- C1.A SITE DETAIL
- C1.B DRY UTILITY PLAN
- C1.1 GRADING AND DRAINAGE PLAN
- C1.2 WATER AND SEWER PLAN
- C1.3 DRAINAGE DETAILS
- C1.4 EROSION CONTROL PLAN
- C1.5 EROSION CONTROL NOTES AND DETAILS
- C1.6 CONSTRUCTION DETAILS
- C1.7 CONSTRUCTION DETAILS
- C1.8 GENERAL NOTES, LEGEND AND ABBREVIATIONS

D1.0 DEMOLITION PLAN

LEGAL DESCRIPTION PER TITLE POLICY: "()" Indication of Measured Data

PARCEL A
All that part of the of the Northwest 1/4 Section 1, Town 6 North, Range 21 East located in the City of Milwaukee, Milwaukee County Wisconsin, more particularly bounded and described as follows;

Commencing at a point on the West line of said 1/4 Section, 330 South of the Northwest corner of said 1/4 Section, being a point in the center line of West Orchard Street; thence South on said West line 30 feet to the South line of West Orchard Street; thence continuing South along said West line 564.56 (Measured 563.85) feet to a point; thence North 88°58' East (Measured North 88°12'38" East) 30 feet to a point in the East Line of South 43rd Street (Also Known as Miller Park Way); thence continuing North 88°58' East (Measured North 88°12'38" East) 215.66 feet (Measured 184.99 feet) to a point in the West line of the right-of-way of Belt Line of the Chicago and Northwestern Transportation Company; thence North 6°27" West (Measured North 07°04'59" West) along said West line 397.05 feet (Measured 421.55 feet) to a point of curve; thence continuing along said West line with a curve to the right 169.40 feet to the South line of West Orchard Street (Measured Northwesterly along said right-of-way line and the Arc of a curve 245.11 feet, whose Radius is 5,763.00 feet, whose Center lies Easterly, whose Chord bears North 05°51'52" West, 245.09 feet to the South line of W. Orchard Street); thence continuing along said West line with a curve to the right 30 feet, more or less, to a point in the center line of West Orchard Street; thence West on said center line 155.34 feet (Measured 155.83 feet) to the point of commencement.

Tax Key No.: 457-9900-1

Address: 4227 W. Orchard Street

(Excepting the Westerly 30 feet and the Northerly 30 Feet of for the purposes of an Apparent Public Right-of-way based on monumentation and usage)

PARCEL B
Lot 1, Block 2, in the Assessor's Plat No. 296, being a part of the Northwest 1/4 of Section 1, Town 6 North, Range 21 East, in the Village of West Milwaukee, County of Milwaukee, State of Wisconsin.

Tax Key No.: 457-1002

Address: 1552 Miller Park Way

BENCHMARKS

BM #1
HYDRANT - NORTHWEST FLANGE BOLT AT THE NORTHEAST CORNER OF W. ORCHARD STREET AND MILLER PARKWAY.
ELEVATION = 65.33

VERTICAL DATUM: NGVD of 1929

PROFESSIONAL ENGINEER'S CERTIFICATION

I, ANDREW N. HEINEN, A LICENSED PROFESSIONAL ENGINEER OF WISCONSIN, HEREBY CERTIFY THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF AUTO ZONE INC. BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS _____ DAY OF _____, A.D., 2010.

WISCONSIN LICENSED PROFESSIONAL ENGINEER 36037-6
MY LICENSE EXPIRES ON JULY 31, 2012

© COPYRIGHT 2010
 OWNER:
AutoZone, Inc.
 123 S. FRONT STREET, 3RD FLOOR
 MEMPHIS, TENNESSEE 38103

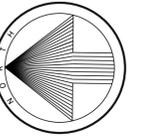
PREPARED FOR:
AutoZone STORE DEVELOPMENT
 Store No.: 4325
 NE Corner of W. Orchard St. and Miller Parkway (43RD St.)
 Milwaukee, Wisconsin
TITLE SHEET

SCALE:	N.T.S.
REVISIONS	
1.	
2.	
3.	
4.	
5.	
6.	
7.	
ENGINEER:	LNM
DRAFTSMAN:	VRS
CHECKED BY:	ANH
DATE	11-19-2010
PROTOTYPE SIZE	



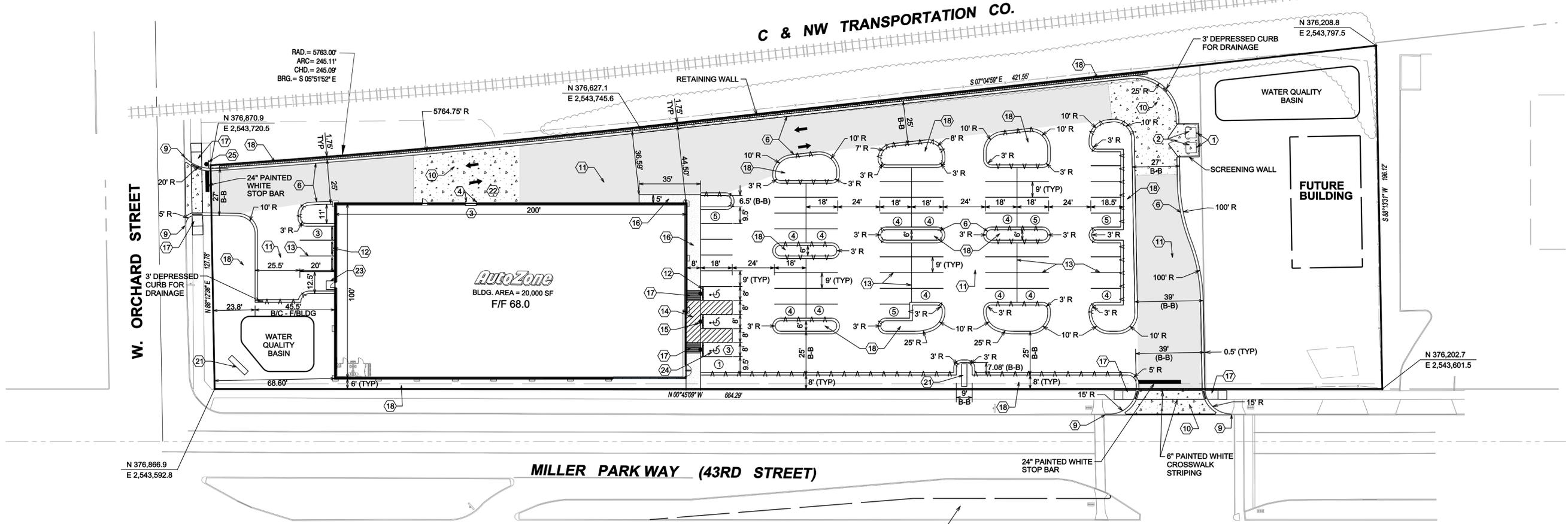
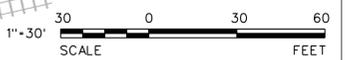
V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com





REVISIONS

1.
2.
3.
4.
5.
6.
7.
ENGINEER: LNM
DRAFTSMAN: VRS
CHECKED BY: ANH
DATE: 11-19-2010
PROTOTYPE SIZE



RIGHT TURN LANE WIDENING
SEE OFF-SITE IMPROVEMENT
PLANS PREPARED BY V3

PARKING SUMMARY

REGULAR PARKING SPACES	= 67
ACCESSIBLE PARKING SPACES	= 3
TOTAL PARKING SPACES PROVIDED	= 70
PROPOSED PARKING RATIO	= 3.50
TOTAL PARKING SPACES REQUIRED	= 70
(3.35 PARKING SPACES PER 1000 SF OF FLOOR AREA + 3 ACCESSIBLE STALLS)	

BENCHMARK

HYDRANT - NORTHWEST FLANGE BOLT AT THE NORTHEAST CORNER OF W. ORCHARD STREET AND MILLER PARKWAY.
ELEVATION = 65.33
VERTICAL DATUM: NGVD of 1929

PAVING LEGEND

NOTE: ALL BITUMINOUS PAVEMENT SHALL USE IDOT SUPERPAVE SPECIFICATIONS FOR PAVEMENT MIX DESIGNS.

REGULAR BITUMINOUS PAVEMENT

1.5" BITUMINOUS SURFACE COURSE,
1.5" BITUMINOUS BINDER COURSE,
8" AGGREGATE SUB-BASE

HEAVY-DUTY BITUMINOUS PAVEMENT

1.5" BITUMINOUS SURFACE COURSE,
2.5" BITUMINOUS BINDER COURSE,
12" AGGREGATE SUB-BASE

CONCRETE PAVEMENT

8" P.C. CONCRETE W / 6" x 6" W2.9 - W2.9 WWF
4" AGGREGATE BASE COURSE - CA 6
SEE DETAIL ON SHEET C1.6

CONCRETE SIDEWALK

6" P.C. CONCRETE
4" AGGREGATE BASE COURSE - CA 6
SEE DETAIL ON SHEET C1.6

DATA SUMMARY

SITE AREA	87,116 SF (2.00 AC)
BUILDING AREA	20,000 SF
BUILDING HEIGHT	21' (TO HIGHEST POINT)
IMPERVIOUS AREA (PAVING, CURBS & WALKS)	72,368 SF (1.66 AC)
GREEN AREA	14,748 SF (0.34 AC)
TOTAL GROSS FLOOR AREA	= 19,354 SF
ZONING DESIGNATION	= PD

CURB LEGEND

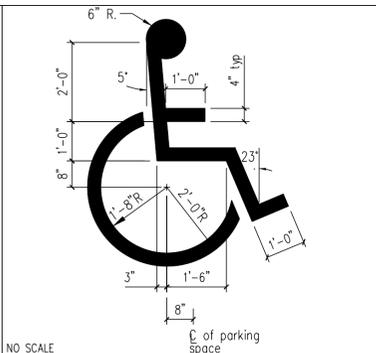
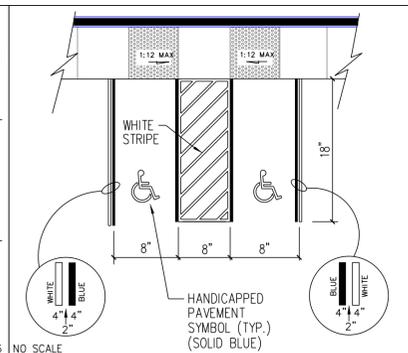
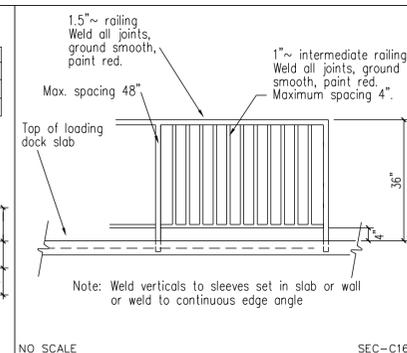
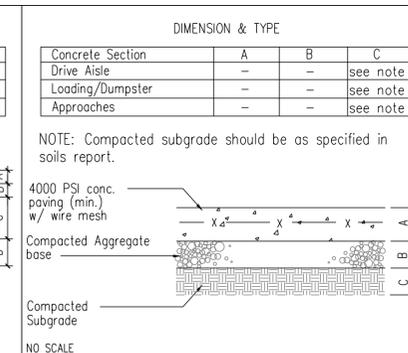
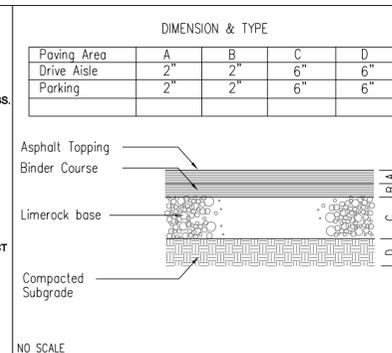
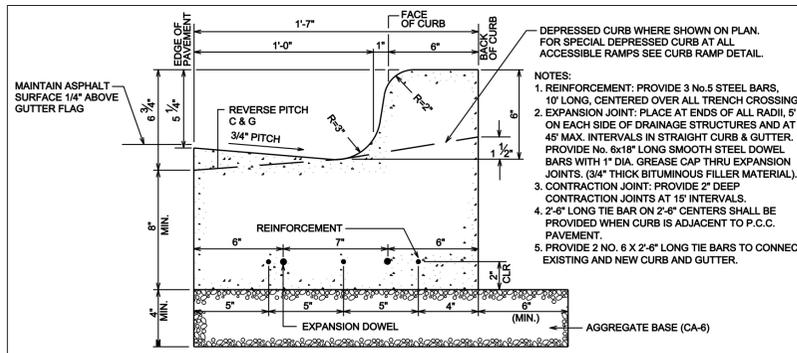
	STANDARD PITCH CONCRETE CURB AND GUTTER
	REVERSED PITCH CONCRETE CURB AND GUTTER
	CONCRETE DEPRESSED CURB AND GUTTER

GENERAL NOTES

- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY ARCHITECT OF ANY UNACCEPTABLE AREAS.
- EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
- ALL SIDEWALK, CURB AND GUTTER, STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, ACCESSIBLE RAMP, ETC CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
- FOR PROPOSED UTILITY LOCATIONS, SEE UTILITY PLAN.
- ALL DIMENSIONS REFER TO BACK OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING MATERIALS AND STARTING WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL ENSURE CLEAN JOINTS AND PROTECT PAVEMENT WHEREVER PROPOSED PAVEMENT MATCHES EXISTING PAVEMENT.
- THREE (3) DRILLED AND GRATED NO.5 REINFORCING BARS OR EXPANSION ANCHORS, 5/8" IN DIAMETER, SHALL BE USED TO JOIN THE NEW CURB AND GUTTER TO THE EXISTING CURB AND GUTTER ON EACH SIDE.
- ALL CURB TO BE B6.12 PER DETAIL ON SHEET C1.A
- LOADING/UNLOADING WILL OCCUR ON EAST SIDE OF THE BUILDING ONCE A WEEK DURING OFF HOURS.

KEY NOTES

- BUILDING & PAVING**
- PIPE GUARD - SEE DETAIL 16/C1.A
 - DUMPSTER LAYOUT - SEE DETAILS 8,9,10,11/C1.A
 - SERVICE DOOR PLAN - SEE DETAIL 15/C1.A
 - BOLLARD PLAN - SEE DETAIL 14/C1.A
 - CONCRETE LIGHT POLE BASE - SEE DETAIL 13/C1.A LIGHT POLE BASE LOCATIONS SHOWN FOR REFERENCE ONLY. SEE PHOTOMETRIC PLAN FOR FURTHER DETAIL.
 - B6-12 CURB & GUTTER (TYP.) AT CONCRETE PAVING SEE DETAIL 11/C1.A
 - ALTERNATE BID - CONTRACTOR MAY PROVIDE ALTERNATE BID FOR FLEXIBLE PAVING IN THIS LOCATION. REFER TO GEOTECH FOR FLEXIBLE PAVING SPECIFICATIONS.
 - SLOPE END OF CURB 4:1
 - NEW CURB CUT OR APPROACH
 - CONCRETE PAVING- SEE DETAIL 4/C1.A. EXPANSION AND CONTROL JOINTS - SEE DETAILS 21&22/C1.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15' O.C. EACH WAY.
 - ASPHALT PAVING
 - 6'-0" LONG CONCRETE WHEEL STOP PINNED TO PAVEMENT (TYP). LOCATE 2' FROM FACE OF CURB OR SIDEWALK SEE DETAIL 17/C1.A
 - 4" WIDE PARKING STRIPE PAINTED WHITE (TYP)
 - 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2' O.C.
 - ACCESSIBLE PARKING SIGN-SEE DETAIL 12/C1.A & C1.6 G.C. TO PROVIDE ONE VAN ACCESSIBLE SIGN.
 - CONCRETE SIDEWALK- SEE DETAIL 19&20/C1.A FOR SIDEWALKS AROUND BUILDING.
 - ACCESSIBLE RAMP - SEE DETAILS 2&6/C1.A & C1.6 MAX SLOPE 1:12(8.33%), MAX CROSS SLOPE 1:50(2.00%) TRUNCATED DOME TO BE A CONTRASTING COLOR
 - NEW LANDSCAPE AREA - PROVIDE 3" TOPSOIL & SOD. SEE SHEET L1.0 FOR INFORMATION
 - SLOPE GRADE FROM BACK OF CURB DOWN TO MATCH THE EXISTING GRADE AT PROPERTY LINE
 - SLOPE GRADE FROM BACK OF CURB DOWN TO MATCH THE
 - MONUMENT SIGN - 3' X 13' X 15' HEIGHT. SEE FOUNDATION DETAILS ON SIGNAGE SHEETS.
 - LOADING AREA-SLOPE AT MAX 2.5% AWAY FROM BUILDING.
 - 5' X 5' CONCRETE PAD
 - TYPICAL PAINTED ACCESSIBLE PARKING SYMBOL
 - STOP SIGN
 - FREEZELESS YARD HYDRANT



1 TYPICAL B6.12 CURB AND GUTTER

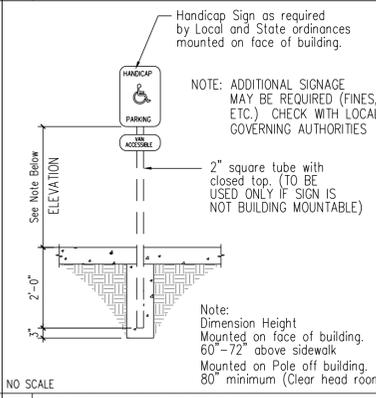
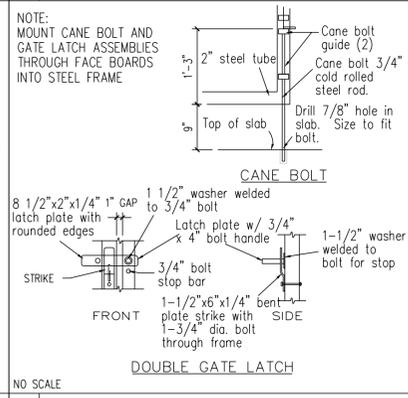
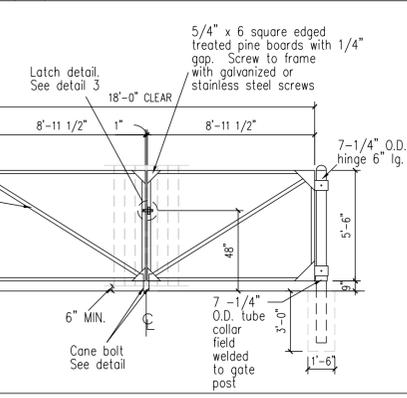
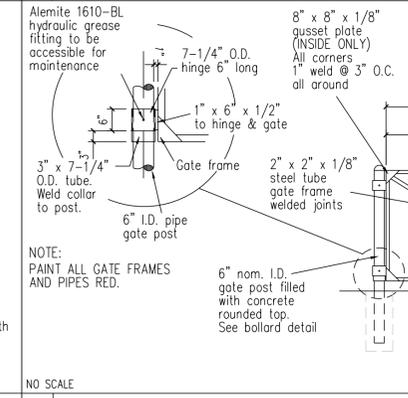
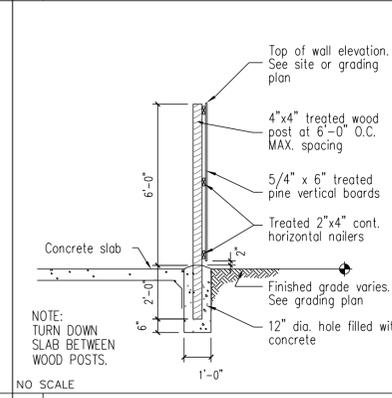
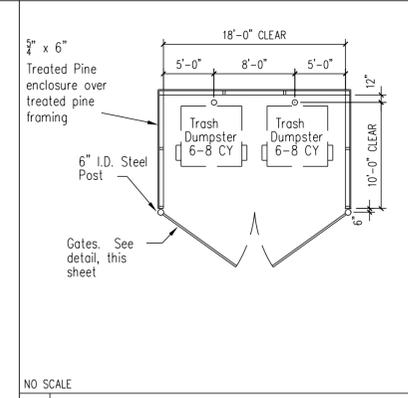
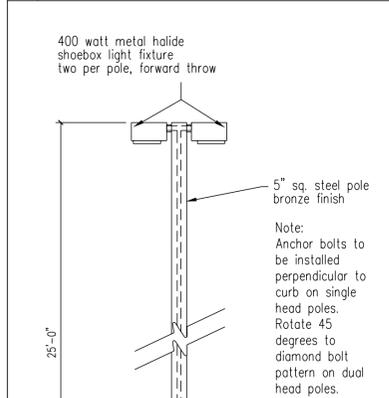
3 ASPHALT PAVING SECTION

4 CONCRETE PAVING SECTION

5 DOCK RAILING DETAIL

6 HANDICAP PARKING DETAIL

7 INT'L BARRIER FREE SYMBOL



8 DUMPSTER LAYOUT

9 DUMPSTER SECTION WOOD

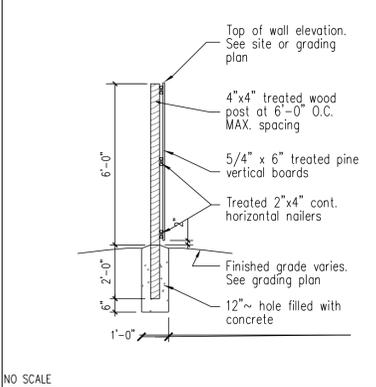
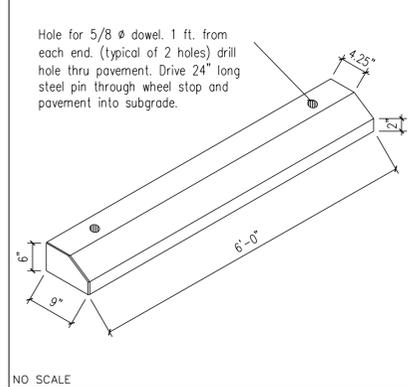
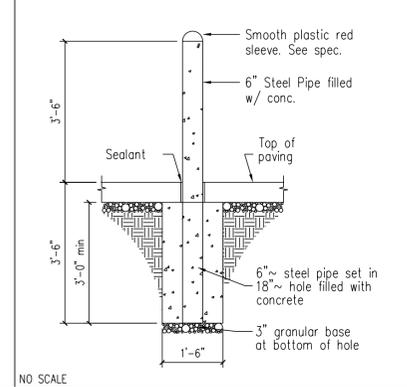
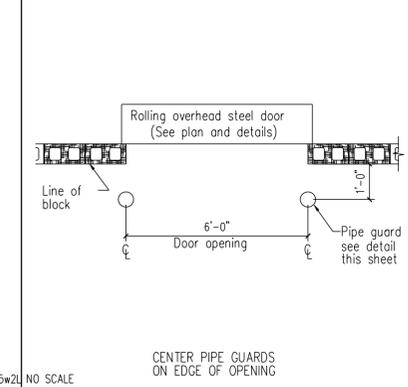
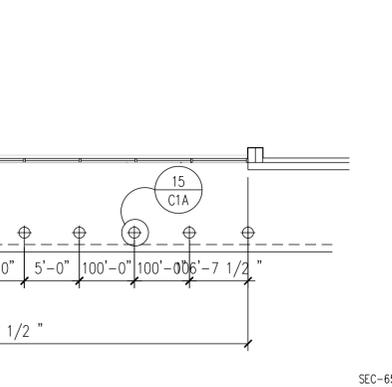
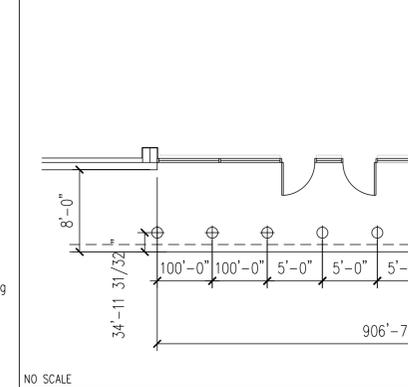
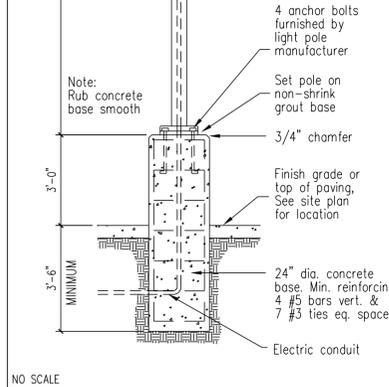
10 GATE DETAIL FOR DUMPSTER ENCLOSURE

11 GATE LATCH / BOLT DETAILS

12 TYPICAL HANDICAP SIGN

13 TYPICAL LIGHT POLE

14 BOLLARD LAYOUT PLAN - 65w2



15 PIPE GUARD @ SERVICE DOOR

16 TYPICAL PIPE GUARD SECTION

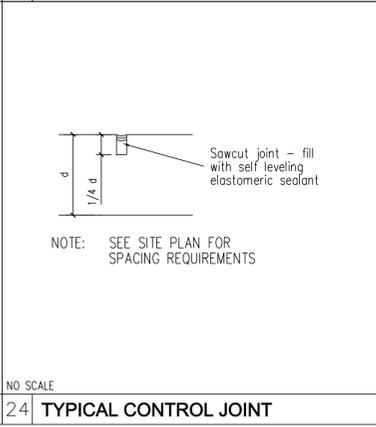
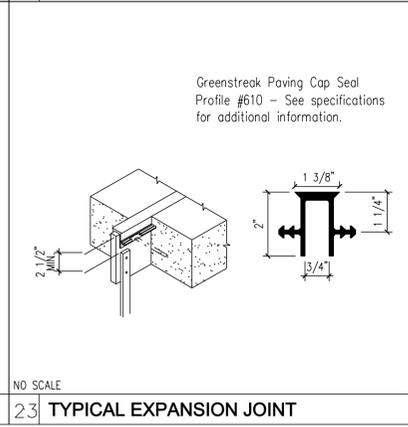
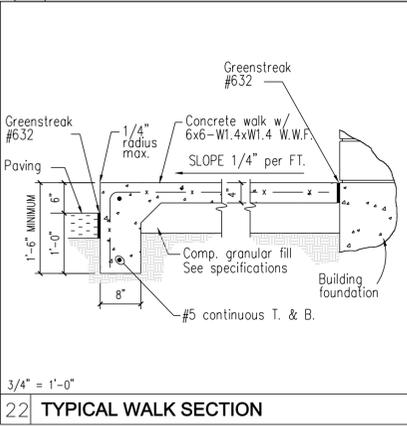
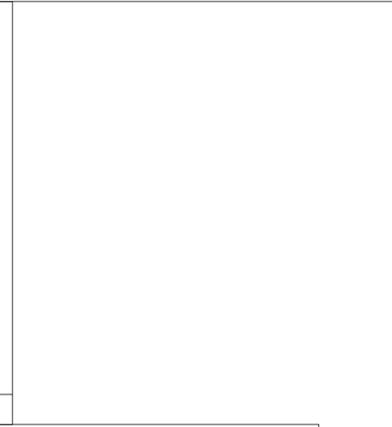
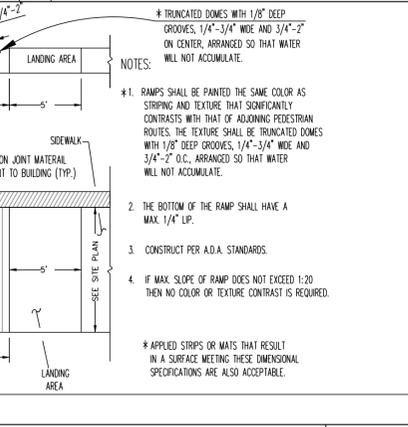
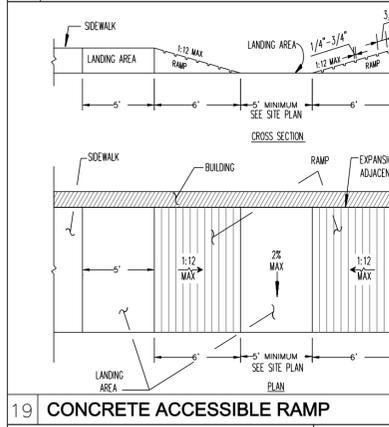
17 WHEEL STOP DETAIL

18 SCREEN WALL DETAIL

19 CONCRETE ACCESSIBLE RAMP

22 TYPICAL WALK SECTION

23 TYPICAL EXPANSION JOINT



24 TYPICAL CONTROL JOINT

25 FROST DEPTH NOTES

26 WALK AT DOORS FROST DEPTH 18\"/>

27 WALK AT DOORS FROST DEPTH 24\"/>

22 TYPICAL WALK SECTION

23 TYPICAL EXPANSION JOINT

24 TYPICAL CONTROL JOINT

OWNER:
AutoZone, Inc.
123 S. FRONT STREET, 3rd FLOOR
MEMPHIS, TENNESSEE 38103

PREPARED FOR:
AutoZone STORE DEVELOPMENT
Store No.: 4325
NE Corner of W. Orchard St. and Miller Parkway (43RD St.)
Milwaukee, Wisconsin

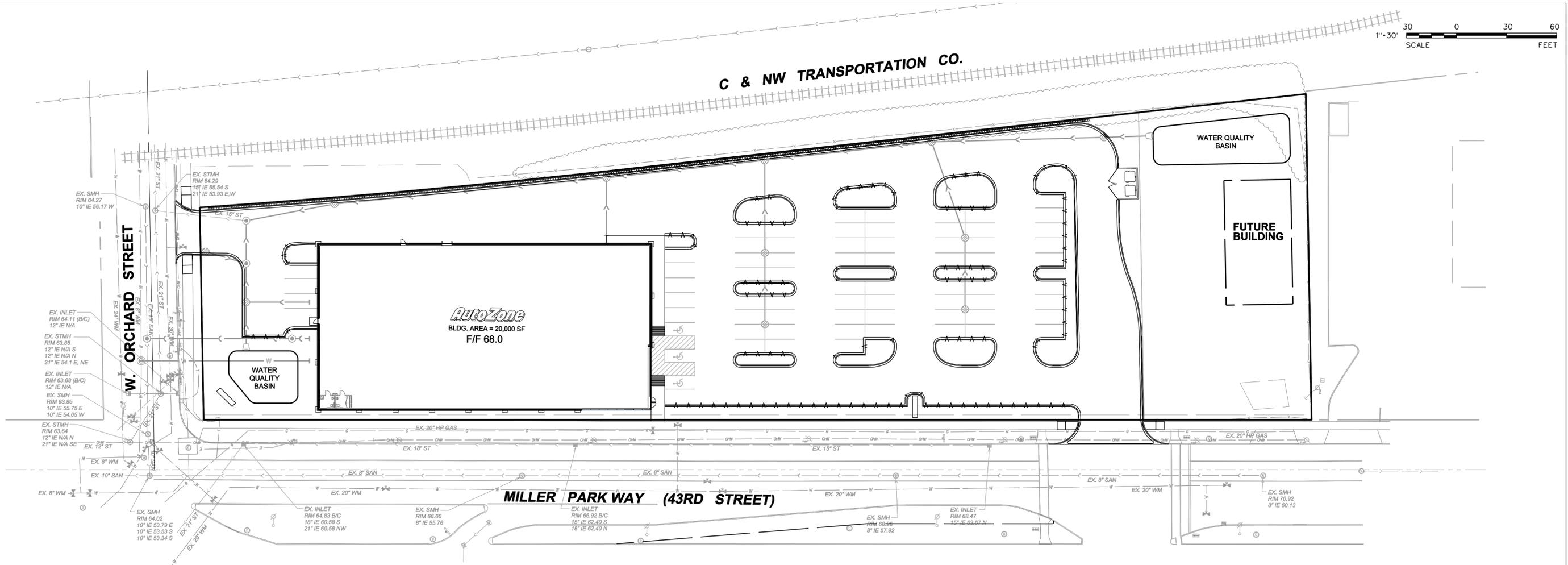
SITE DETAILS

SCALE: N.T.S.

REVISIONS
1.
2.
3.
4.
5.
6.
7.

ENGINEER: LNM
DRAFTSMAN: VRS
CHECKED BY: ANH
DATE: 11-19-2010
PROTOTYPE SIZE

C1.A

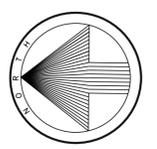


C & NW TRANSPORTATION CO.

1" = 30'
SCALE
30 0 30 60
FEET

© COPYRIGHT 2009

OWNER:
AutoZone, Inc.
123 S. FRONT STREET, 3rd FLOOR
MEMPHIS, TENNESSEE 38103



AutoZone STORE DEVELOPMENT
Store No.: 4325
NE Corner of W. Orchard St. and Miller Parkway (43RD St.)
Milwaukee, Wisconsin

DRY UTILITY PLAN

NOTES:

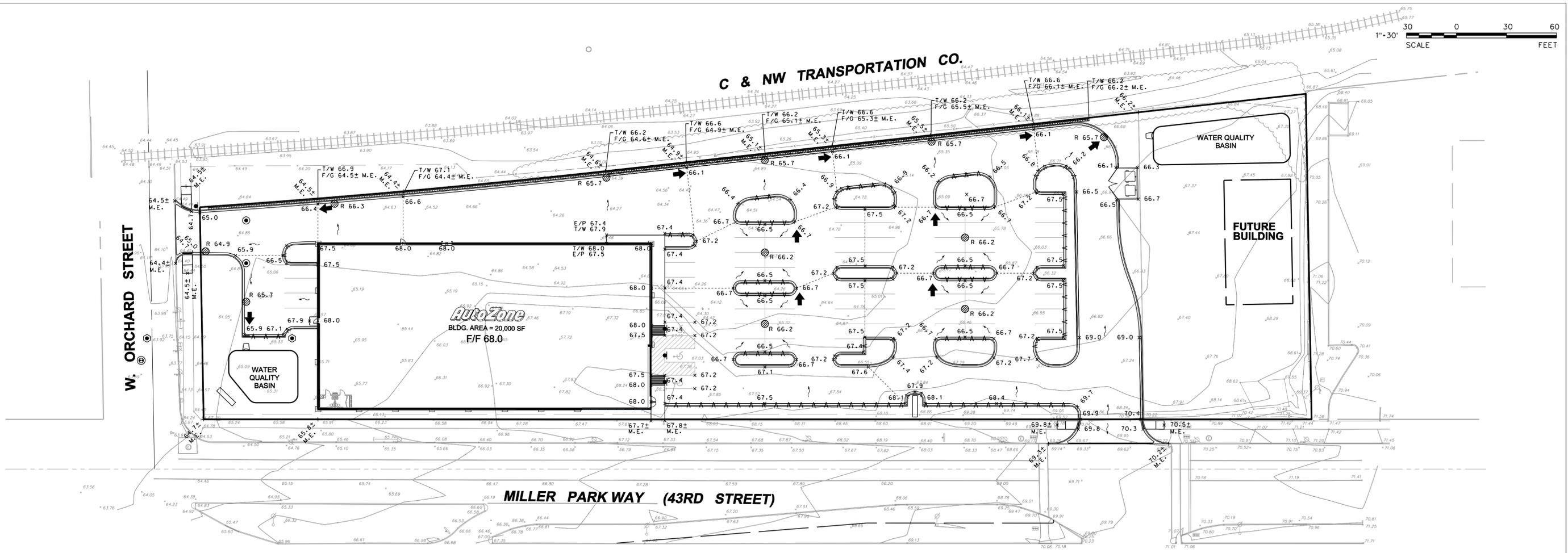
1. CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
2. UNDERGROUND UTILITY INFORMATION IS BASED ON SURVEY DOCUMENTS PREPARED BY CONTINENTAL SURVEYING SERVICES, ATLAS INFORMATION AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR TO CALL "DIGGERS HOTLINE WISCONSIN 1 CALL CENTER" (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
3. LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE PLANS BY SITE LIGHTING CONSULTANT FOR SITE LIGHTING INFORMATION.

SCALE: 1" = 30' - 0"

REVISIONS

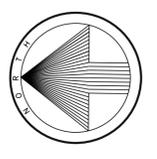
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ENGINEER: LNM
DRAFTSMAN: VRS
CHECKED BY: ANH
DATE: 11-19-2010
PROTOTYPE SIZE

C1.B



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OWNER:
AutoZone, Inc.
 123 S. FRONT STREET, 3rd FLOOR
 MEMPHIS, TENNESSEE 38103



PREPARED FOR:
AutoZone STORE DEVELOPMENT
 Store No.: 4325
 NE Corner of W. Orchard St. and Miller Parkway (43RD St.)
 Milwaukee, Wisconsin

GRADING AND DRAINAGE PLAN

NOTES:

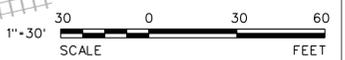
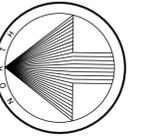
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
3. PROVIDE 2.00% MAX (1.00% MIN) CROSS SLOPE AND 5.00% MAX LONGITUDINAL SLOPE ON ALL SIDEWALKS TO COMPLY WITH THE ILLINOIS ACCESSIBILITY CODE.

SCALE: 1" = 30' - 0"

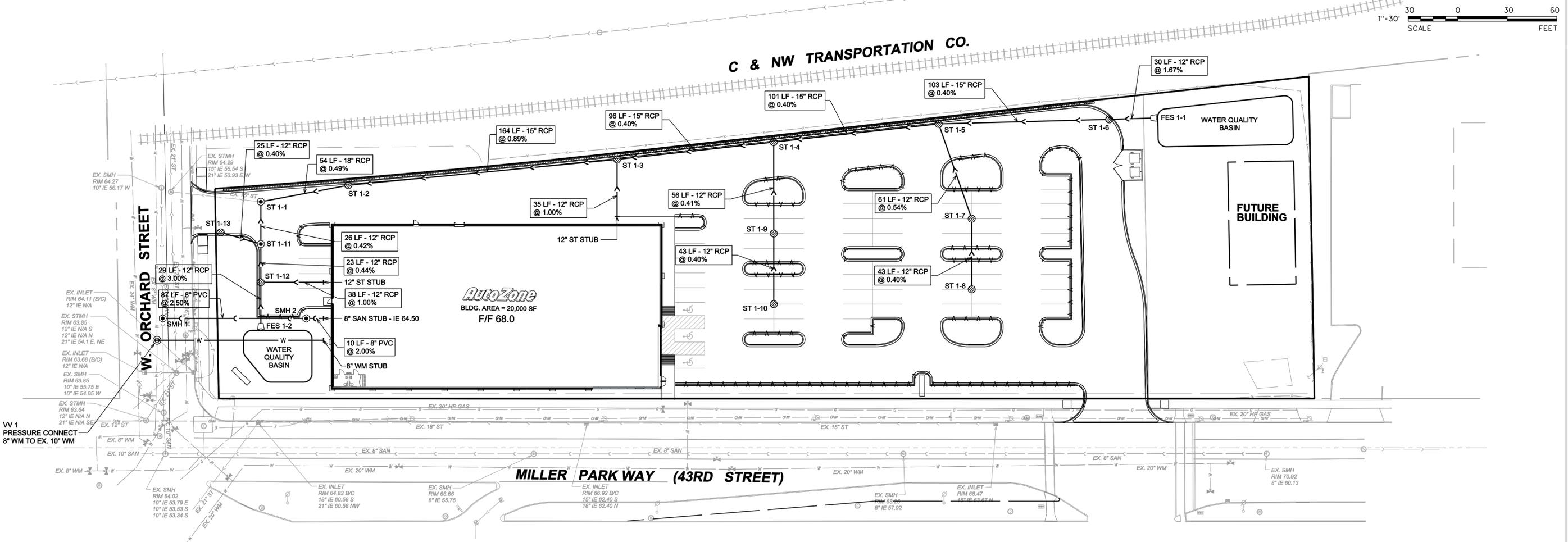
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ENGINEER: LNM
DRAFTSMAN: VRS
CHECKED BY: ANH
DATE: 11-19-2010
PROTOTYPE SIZE

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C & NW TRANSPORTATION CO.



*** INDICATES RIM ELEVATION IS AT EDGE OF PAVEMENT
COORDINATES REFERS TO TOP OF BACK OF CURB

FES 1-1 N: 376300.0 E: 2543771.1 12" FLARED END SECTION WITH GRATE RIM 63.00	ST 1-2 * N: 376790.4 E: 2543725.9 4' MH W/ F&OL RIM 66.3 IE 58.85	ST 1-7 N: 376411.9 E: 2543708.3 4' MH W/ F&OL RIM 66.2 IE 62.83	ST 1-12 * N: 376842.4 E: 2543663.9 4' MH W/ F&CL RIM 65.7 IE 62.13 W,E
FES 1-2 N: 376842.0 E: 2543634.6 12" FLARED END SECTION WITH GRATE AND RIP RAP RIM 63.00	ST 1-3 * N: 376627.6 E: 2543743.7 4' MH W/ F&OL RIM 65.7 IE 61.31	ST 1-8 N: 376411.3 E: 2543665.3 2' IN W/ F&OL RIM 66.2 IE 63.00	ST 1-8 * N: 376867.1 E: 2543691.8 2' IN W/ F&CL RIM 64.9 IE 61.70
ST 1-1 N: 376843.0 ± E: 2543712.9 ± 5' RESTRICTOR MH W/ F&CL SEE DWG. C1.3 FOR DETAIL RIM 65.6 PR. 12" IE 60.99 W PR. 18" IE 58.58 S EX. 15" IE 58.58 ± N CONSTRUCT OVER EX. 15" STORM SEWER FIELD VERIFY SIZE, LOCATION AND INVERT BEFORE ORDERING MATERIAL	ST 1-4 * N: 376532.8 E: 2543755.5 4' MH W/ F&OL RIM 65.7 IE 61.69 N,S	ST 1-9 N: 376531.8 E: 2543697.7 4' MH W/ F&OL RIM 66.2 IE 62.83	
	ST 1-5 * N: 376433.0 E: 2543767.9 4' MH W/ F&OL RIM 65.7 IE 62.58 W IE 62.09 N,S	ST 1-10 N: 376531.2 E: 2543654.7 2' IN W/ F&OL RIM 66.2 IE 64.9	
	ST 1-6 * N: 376327.9 E: 2543771.4 4' MH W/ F&OL RIM 65.7 IE 62.50	ST 1-11 N: 376842.7 E: 2543687.2 4' MH W/ F&CL RIM 65.6 IE 62.03 W IE 61.60 N IE 64.49 E	

NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- UNDERGROUND UTILITY INFORMATION IS BASED ON SURVEY DOCUMENTS PREPARED BY CONTINENTAL SURVEYING SERVICES, ATLAS INFORMATION AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR TO CALL "DIGGERS HOTLINE WISCONSIN 1 CALL CENTER" (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- ALL COORDINATES FOR PROPOSED STRUCTURES ALONG CURB LINE REFER TO BACK OF CURB. SEE MANHOLE LOCATION DETAIL IN CONSTRUCTION DETAILS.
- UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2502 OR APPROVED EQUAL, AND FRAME AND CLOSED LID STRUCTURES IN PAVEMENT SHALL BE NEENAH R-1772 OR APPROVED EQUAL. ALL FRAME AND GRATES SHALL ALSO CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS.

F&CL = FRAME AND CLOSED LID
F&OL = FRAME AND OPEN LID
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE PLANS BY SITE LIGHTING CONSULTANT FOR SITE LIGHTING INFORMATION.

SMH 1
N: 376901.5 ±
E: 2543641.2 ±
RIM 63.8 ± M.E.
PR. 8" IE 57.92 S
EX. 10" IE 55.92 ± W,S
CONSTRUCT OVER EX.
10" SANITARY SEWER
FIELD VERIFY SIZE,
LOCATION AND INVERT
BEFORE ORDERING
MATERIAL

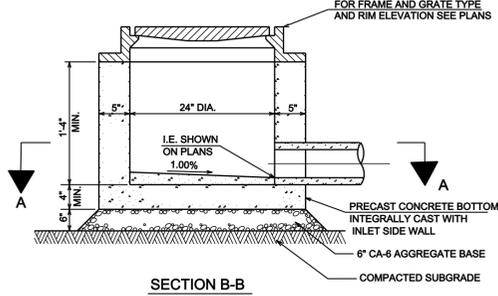
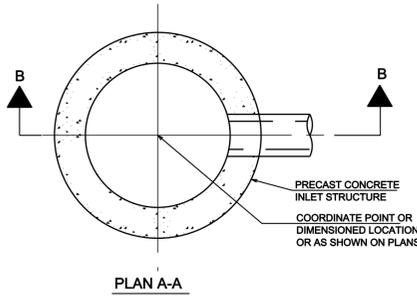
SMH 2 (DROP MH)
N: 376814.5
E: 2543642.3
RIM 67.7
IE 64.30 S
IE 60.00 N

SCALE: 1" = 30' - 0"

REVISIONS

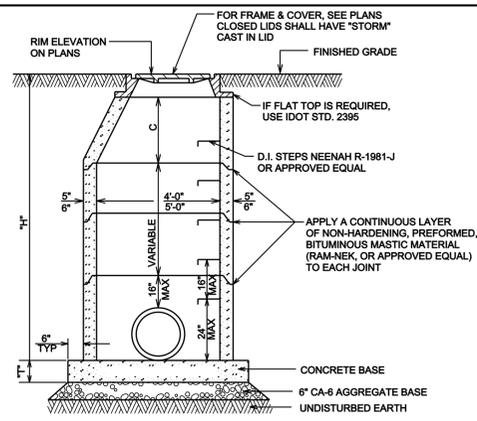
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ENGINEER: LNM
DRAFTSMAN: VRS
CHECKED BY: ANH
DATE: 11-19-2010
PROTOTYPE SIZE

C1.2



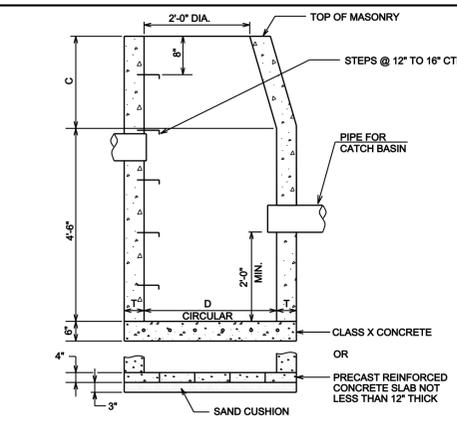
NOTE:

1. WHEN RIM ADJUSTMENTS ARE REQUIRED TO MATCH FINAL GRADE, THE ADJUSTMENT SHALL BE COMPLETED WITH A MAXIMUM OF TWO PRECAST CONCRETE RINGS SET IN A BED OF PREFORMED, NON-HARDENING MASTIC (RUB-R-NEK OR APPROVED EQUAL). MAXIMUM HEIGHT ADJUSTMENT SHALL BE TWELVE INCHES.



NOTES:

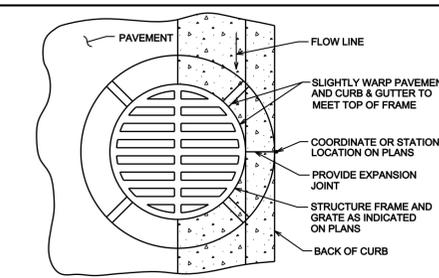
1. WHEN "H" EQUALS 12 FT. OR LESS, "T" = 6" FOR "H" OVER 12 FT, "T" = 10"
2. ADJUSTMENTS TO ELEVATION OF FRAME SHALL BE ACCOMPLISHED WITH PRECAST CONCRETE RINGS WITH A FULL MORTAR BED; MAXIMUM ADJUSTMENT-12" USING A MAXIMUM OF 2 RINGS. NO MORE THAN ONE-2" ADJUSTMENT RING SHALL BE USED.
3. FOR DIAMETER: 4'-0"; C = 2'-8" 5'-0"; C = 3'-4"
4. THE FLAT SLAB TOP MAY BE USED IN LIEU OF THE TAPERED TOPS AT THE OPTION OF THE CONTRACTOR OR WHEN FIELD CONDITIONS PROHIBIT THE USE OF TAPERED TOPS.



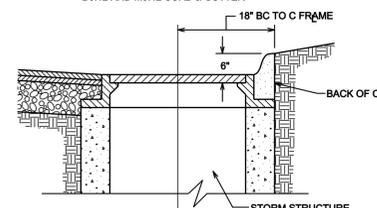
NOTES:

1. TYPE A CATCH BASIN TO BE PROVIDED WITH TYPE 1 FRAME AND OPEN LID.
2. STEPS SHALL BE EMBEDDED INTO A WALL A MINIMUM OF 4" INCHES. STEPS SHALL NOT BE EXTENDED ON THE OUTSIDE.

ALTERNATE MATERIAL FOR WALLS	D	C	T (MIN.)
PRECAST REINFORCED CONCRETE RISERS	4'-0"	2'-6"	4"
MONOLITHIC CONCRETE	4'-0"	2'-6"	6"

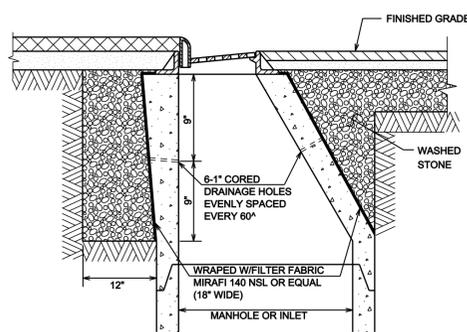


PLAN VIEW
B6.12 AND M3.12 CURB & GUTTER



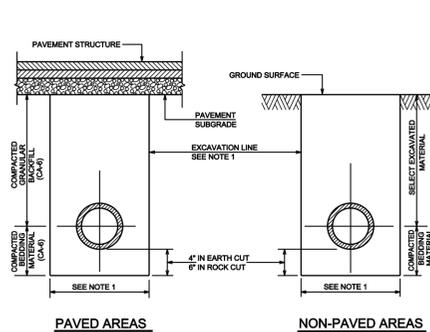
SECTION VIEW
B6.12 CURB & GUTTER

2' DIAMETER INLET - TYPE A



NOTE:

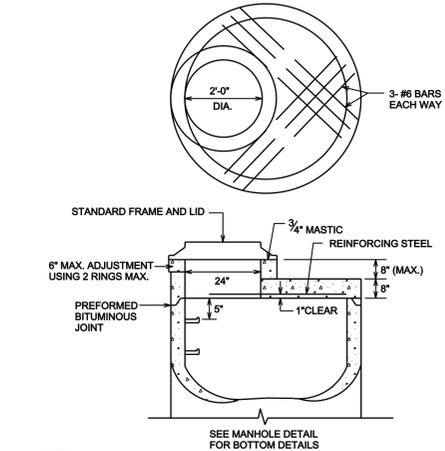
1. PROVIDE 1" WEEPHOLES & GEOTECH FABRIC SEPARATOR FOR ALL INLETS & STORM MANHOLES WITHIN PAVED AREAS.
2. SECURE FILTER FABRIC WITH STAINLESS STEEL CLAMPS OR MASTIC.



NOTES:

1. EXCAVATION LINE: PIPE SIZES UP TO 24" USE I.D. PLUS 20" PIPE SIZES OVER 24" USE O.D. PLUS 24"
2. LIMITS OF TRENCH BACKFILL SHALL EXTEND 2' OUTSIDE ALL PAVED AREAS.

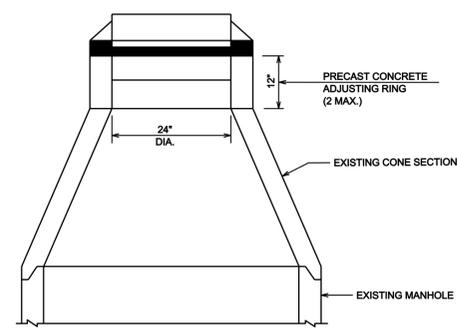
4' AND 5' DIAMETER STORM MANHOLE



NOTES:

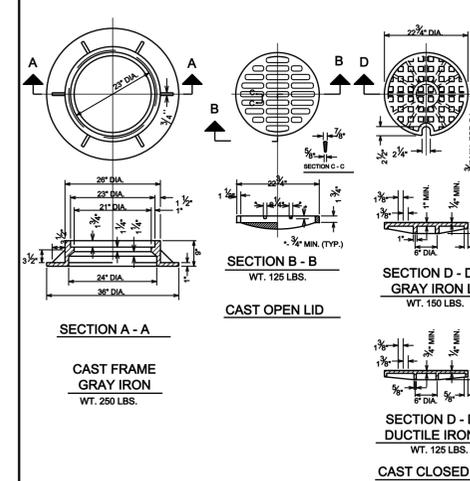
1. A 6" SLAB TOP MAY BE ALLOWED FOR 48" DIAMETER RESTRICTED DEPTH MANHOLE NOT IN PAVEMENT.
2. AN INTERNAL CHIMNEY SEAL SHALL BE REQUIRED IN LOCATIONS WHERE A CHIMNEY SEAL IS CALLED FOR.

4' AND 5' DIA. CATCH BASIN

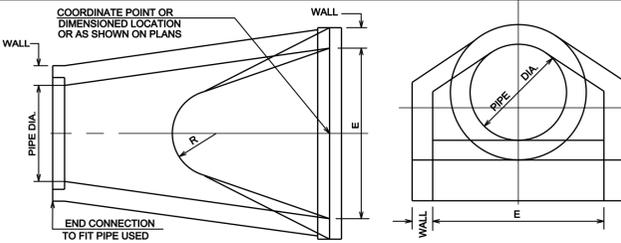


1. WHEN ADJUSTMENTS ARE NECESSARY, THEY'LL BE PERFORMED WITH A MAXIMUM OF TWO PRECAST CONCRETE RINGS SET IN A BED OF PREFORMED NON-HARDING MASTIC (RUB-R-NEK OR APPROVED EQUAL) TO A MAXIMUM HEIGHT OF TWELVE INCHES.
2. DRESS UP INTERIOR JOINTS WITH HYDRAULIC CEMENT. APPLY A CONTINUOUS LAYER OF NON-HARDENING PREFORMED BITUMINOUS MASTIC MATERIAL (RUB-R-NEK OR E Z STIK) TO EACH JOINT TO PREVENT INFLOW.
3. WHEN ADJUSTMENT HEIGHT EXCEEDS 12" MANHOLE RECONSTRUCTION IS REQUIRED.

INLET WITH FRAME LOCATION



STORM MANHOLE SUBGRADE DRAINAGE

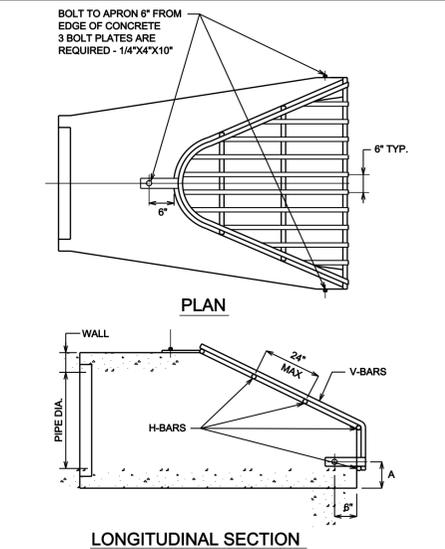


PIPE DIA.	WALL	A	B	C	D	E	R	SLOPE
12"	2"	4"	2'-0"	4'-0 1/2"	6'-0 1/2"	2'-0"	9"	3:1
15"	2 1/4"	6"	2'-3"	3'-10"	6'-1"	2'-6"	11"	3:1
18"	3 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	12"	3:1
21"	2 3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	13"	3:1
24"	3"	1 1/2"	3'-7 1/2"	2'-8"	6'-1 1/2"	4'-0"	14"	3:1
27"	3 1/4"	10 1/2"	4'-0"	2'-5 1/2"	6'-1 1/2"	4'-6"	14 1/2"	3:1
30"	3 3/2"	12"	4'-6"	1'-9 3/4"	6'-1 3/4"	5'-0"	15"	3:1
33"	3 3/4"	13 1/2"	4'-10 1/2"	3'-8 1/4"	6'-1 3/4"	5'-6"	17 1/2"	3:1
36"	4"	15"	5'-3"	3'-4 3/4"	6'-1 3/4"	6'-0"	20"	3:1
42"	4 1/2"	21"	5'-3"	3'-5"	6'-2"	6'-6"	22"	3:1
48"	5"	24"	6'-0"	2'-8"	6'-2"	7'-0"	22"	3:1
54"	5 1/2"	27"	5'-5"	3'-5"	6'-4"	7'-6"	24"	2.4:1
60"	6"	35"	5'-0"	3'-9"	6'-3"	8'-0"	*	2:1
66"	6 1/2"	30"	6'-0"	2'-7"	6'-3"	8'-6"	*	2:1
72"	7"	36"	6'-6"	2'-1"	6'-3"	9'-0"	*	2.26:1
78"	7 1/2"	36"	7'-6"	2'-1"	6'-3"	9'-6"	*	2.12:1
84"	8"	36"	7'-8 1/2"	2'-1"	6'-3 1/2"	10'-0"	*	1.94:1

NOTES:

1. PRECAST CONCRETE FLARED END SECTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-170 CLASS III, WALL & REINFORCED CONCRETE PIPE.
2. LENGTHS OF PIPE WHICH TERMINATE WITH A FLARED END SECTION INCLUDE THE LENGTH OF THE FLARED END SECTION.

FLAT TOP SLAB FOR RESTRICTED DEPTH MH



LONGITUDINAL SECTION

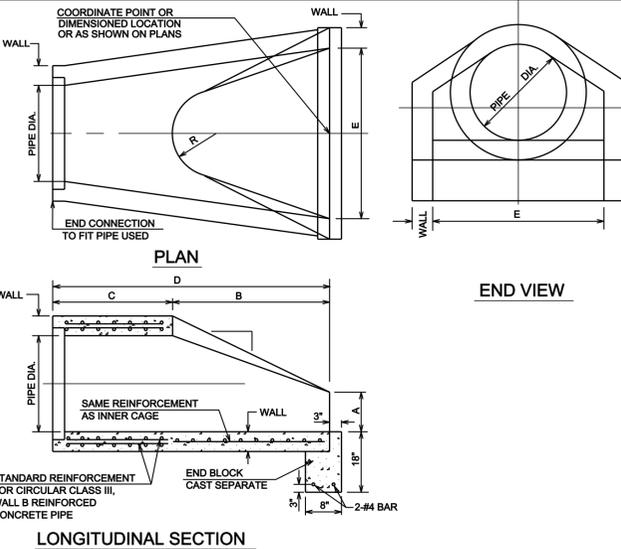
MANHOLE ADJUSTMENT DETAIL

ROUND PIPE APRONS	APRON SIZE	V-BAR SIZE	H-BAR SIZE	NO. OF H-BARS REQD	BOLT DIA	"A" DIM
	INCHES					
12	1/2 DIA	5/8 DIA	3	1/2	4	
15	1/2 DIA	5/8 DIA	3	1/2	4 1/2	
18	1/2 DIA	5/8 DIA	4	1/2	4 1/2	
21	1/2 DIA	5/8 DIA	4	1/2	5	
24	5/8 DIA	3/4 DIA	4	1/2	5	
27	5/8 DIA	3/4 DIA	4	1/2	5 1/2	
30	5/8 DIA	3/4 DIA	4	1/2	5 1/2	
36	3/4 DIA	1 DIA	4	3/4	8	
42	3/4 DIA	1 DIA	4	3/4	8	
48	3/4 DIA	1 DIA	5	3/4	8	
54	3/4 DIA	1 1/2 PIPE	5	3/4	8	
60	3/4 DIA	1 1/2 PIPE	5	3/4	8	
66	3/4 DIA	1 1/2 PIPE	6	3/4	8	
72	3/4 DIA	1 1/2 PIPE	6	3/4	9	
84	3/4 DIA	1 1/2 PIPE	7	3/4	10	
90	3/4 DIA	1 1/2 PIPE	7	3/4	14	

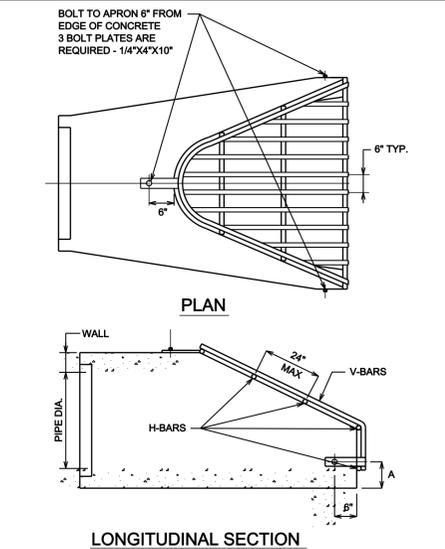
NOTES:

1. BARS AND PLATES ARE HOT-ROLLED STEEL.
2. BARS, PLATES AND PIPE ARE FINISHED WITH 2 COATS OF ALUMINUM PAINT.
3. BOLTS ARE GALVANIZED.

PRECAST REINFORCED CONCRETE FLARED END SECTION



GRATE FOR FLARED END SECTION



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OWNER:
AutoZone, Inc.
123 S. FRONT STREET, 3rd FLOOR
MEMPHIS, TENNESSEE 38103

PREPARED FOR:
AutoZone STORE DEVELOPMENT
Store No.: 4325
NE Corner of W. Orchard St. and Miller Parkway (43RD St.)
Milwaukee, Wisconsin

DRAINAGE DETAILS

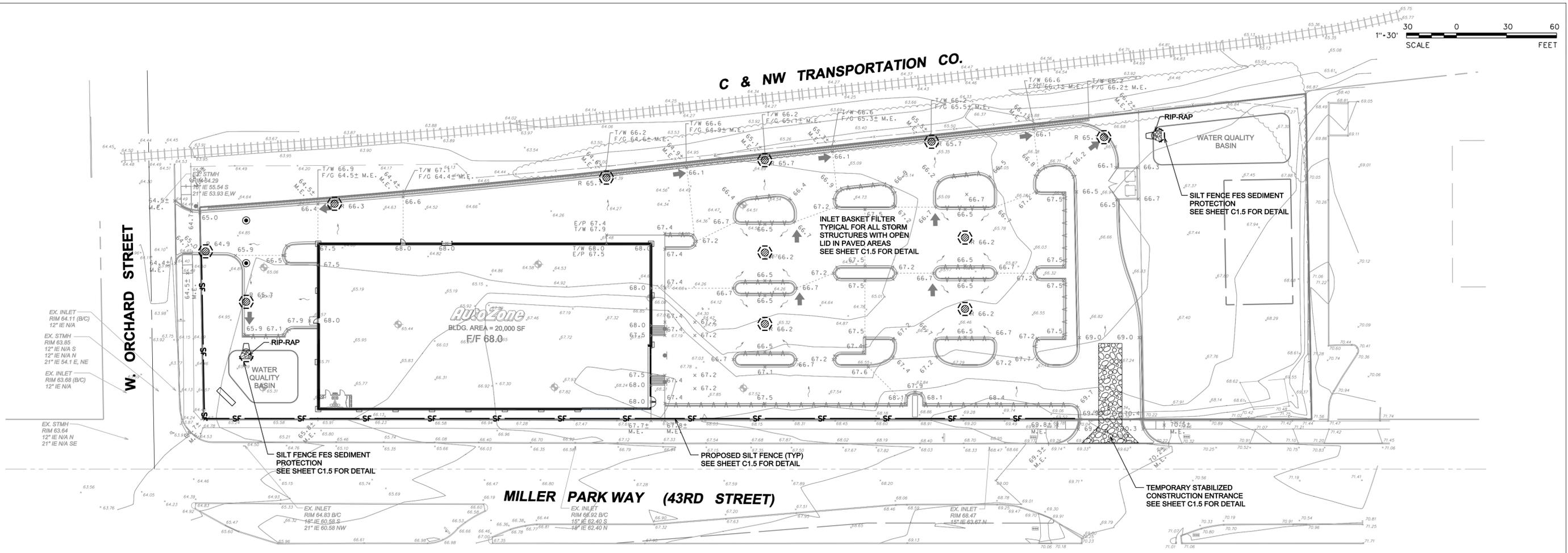
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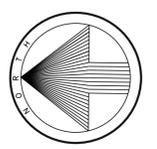
ENGINEER: LNM
DRAFTSMAN: VRS
CHECKED BY: ANH
DATE: 11-19-2010
PROTOTYPE SIZE

C1.3



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OWNER:
AutoZone, Inc.
 123 S. FRONT STREET, 3rd FLOOR
 MEMPHIS, TENNESSEE 38103



PREPARED FOR:
AutoZone STORE DEVELOPMENT
 Store No.: 4325
 NE Corner of W. Orchard St. and Miller Parkway (43RD St.)
 Milwaukee, Wisconsin

EROSION CONTROL PLAN

NOTES:

- CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY EARTHWORK. CONTRACTOR TO MAINTAIN SILT FENCE AS SHOWN AND INSTALL ADDITIONAL SILT FENCE WHEREVER NECESSARY THROUGHOUT CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
- CONTRACTOR TO INSTALL INLET SEDIMENT TRAPS ON ALL OPEN LID STRUCTURES IN GREEN SPACE.
- CONTRACTOR TO INSTALL INLET BASKET FILTERS ON ALL OPEN LID STRUCTURES IN PAVED AREAS.
- EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) SHALL BE PLACED ON ALL AREAS WITH SIDE SLOPES OF 4:1 OR GREATER, AND IN BOTTOM AND SIDE SLOPES OF ALL SWALES.
- ALL SEDIMENT AND EROSION CONTROL MEASURES IN AND AROUND THE PROPOSED IMPROVEMENTS ARE TO REMAIN IN PLACE AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL THE PROPOSED IMPROVEMENTS ARE COMPLETED AND THE SITE ADEQUATELY STABILIZED.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY V3 COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.

SCALE: 1" = 30' - 0"

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ENGINEER: LNM
 DRAFTSMAN: VRS
 CHECKED BY: ANH
 DATE: 11-19-2010
 PROTOTYPE SIZE

C1.4

STORM WATER POLLUTION PREVENTION PLAN NOTES

This plan has been prepared to comply with the NPDES permit number ILR10, issued by the Illinois Environmental Protection Agency (IEPA) for stormwater discharges from construction site activities.

The permittee must comply with all conditions of the General Permit. Any non-compliance constitutes a violation of the IEPA act and the Clean Water Act and can be grounds for enforcement action, permit revocation, modification, re-issuance, termination, or denial of a permit renewal.

1. Site Description

- The construction activity consists of roadway improvements and construction of associated utilities.
- The intended sequence of major activities which disturb soils for major portions of the site is: demolition, clearing and grubbing, topsoil stripping, grading, utility construction, pavement construction, fine grading, placement of topsoil and establishment of permanent vegetation.
- The total area of the site is 4.7 acres. 4.7 acres are expected to be disturbed by excavation, grading, or other activities.
- The runoff coefficient of the site after construction activities are completed is estimated to be 0.80. The soil types that are prevalent on the site are Markum-Ashkum-Beecher Complex, Askum Silty Clay Loam and Orthents. The project consists of predominantly type C soils according to the Soil Survey of DuPage County.
- This plan indicates drainage patterns and approximate slopes anticipated before and after major grading activities, locations where vehicles enter or exit the site and controls to prevent offsite sediment tracking, areas of soil disturbance, the location of major structural and nonstructural controls identified in the plan, the location of areas where stabilization practices are expected to occur, surface waters (including wetlands), and locations where storm water is discharged to a surface water.
- The receiving water is storm sewer and roadside ditches. The ultimate receiving water is the Salt Creek. There are no wetlands on the property.

2. Controls.

a. Erosion and Sediment Controls.

(i) Stabilization Practices

- Prior to earthwork, silt fence and stabilized construction entrances shall be installed as indicated on the plan.
- Upon construction of the storm sewer system, inlet sediment traps and inlet filters shall be installed.
- All disturbed areas of the site shall be brought to final grade, respread with topsoil and established with permanent vegetation as soon as practicable.
- These controls shall be actively maintained until final stabilization of those portions of the site upward of the perimeter control.

Except as provided in paragraphs (A) and (B) below, stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.

- Where the initiation of stabilization measures by the 14th day after construction activity temporary or permanently cease is precluded by snow cover, stabilization measures shall be initiated as soon as practicable.
- Where construction activity will resume on a portion of the site within 21 days from when activities ceased, (e.g. the total time period that construction activity is temporarily ceased is less than 21 days) then stabilization measures do not have to be initiated on that portion of site by the 14th day after construction activity temporarily ceased.

(ii) Structural Practices

- Disturbed areas of the site shall be graded to drain to the stormwater facility.
- Silt fence shall be installed downstream of any areas that do not drain through the stormwater facility. Silt fence shall be actively maintained until final stabilization of those portions of the site upward of the perimeter control.

b. Storm Water Management

- The adjacent site includes four stormwater management facilities. Each has been designed for a storm event equal to or greater than a 100-year 24 hour rainfall event. Flow to the ponds is attenuated by use of surface runoff, and storm sewer.
- Rip rap is to be placed at discharge locations to provide a non-erosive velocity flow from the structure to the water course.

c. Other Controls.

- Waste Disposal.** No solid materials, including building materials, shall be discharged to Waters of the State, except as authorized by a Section 404 permit.
- The Contractor is responsible for compliance with applicable State and/or local waste disposal and sanitary sewer or septic system regulations.

d. Approved State or Local Plans. Except where modified on this plan, all work proposed hereon shall be in accordance with the City of Elmhurst and Dupage County Ordinances and the requirements contained in Illinois Environmental Protection Agency's Illinois Urban Manual, 2002. In the event of conflicting specifications with regard to sitework issues designed by the engineer, the more stringent requirement shall govern.

3. Maintenance. The Contractor shall maintain the sediment and erosion control measures identified on this plan until the site is stabilized. Items in need of repair shall be addressed as soon as practicable. Maintenance items include straw bales, inlet filters, silt fence, construction entrances, shore lines and vegetation throughout the site. Furthermore, any soil that is transported offsite shall be cleaned daily, or as requested by the local agency. Sediment traps and basins shall be cleaned or replaced when 60% filled.

- Inspections.** Qualified personnel (provided by the permittee) shall inspect disturbed areas of the construction site that have not been finally stabilized, structural control measures, and locations where vehicles enter or exit the site at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches or greater or equivalent snowfall. Qualified personnel means a person knowledgeable in the principles and practice of erosion and sediment controls, such as a licensed professional engineer or other knowledgeable person who possesses the skills to assess conditions at the construction site that could impact storm water quality and to assess the effectiveness of any sediment and erosion control measures selected to control the quality of storm water discharges from the construction activities.
 - Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage system. Erosion and sediment control measures identified in the plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to determine whether erosion control measures are effective in preventing significant impacts to receiving waters. Locations where vehicles enter or exit the site shall be inspected for evidence of offsite sediment tracking.
 - Based on the results of the inspection, the description of potential pollutant sources identified in the plan in accordance with paragraph 1 (Site Description) of these notes and pollution prevention measures identified in the plan in accordance with paragraph 2 (Controls) of these notes shall be revised as appropriate as soon as practicable after such inspection. Such modifications shall provide for timely implementation of any changes to the plan within 7 calendar days following the inspection.
 - A report summarizing the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of the storm water pollution prevention plan, and actions taken in accordance with paragraph b above shall be made and retained as part of the storm water pollution prevention plan for at least three years from the date that the permit coverage expires or is terminated. The report shall be signed by the Permittee.
 - The permittee shall complete and submit within 5 days an "Incidence of Noncompliance" (ION) report for any violation of the storm water pollution prevention plan observed during an inspection conducted, including those not required by the Plan. Submission shall be on forms provided by the Agency and include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted from the noncompliance.
 - All reports of noncompliance shall be signed by the Permittee.
 - Reports of noncompliance shall be mailed to the Agency at the following address:

Illinois Environmental Protection Agency
Division of Water Pollution Control
Compliance Assurance Section
1021 North Grand Avenue East
Post Office Box 19276
Springfield, Illinois 62794-9276

- The permittee shall complete and submit within 5 days an "Incidence of Noncompliance" (ION) report for any violation of the storm water pollution prevention plan observed during an inspection conducted, including those not required by the Plan. Submission shall be on forms provided by the Agency and include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted from the noncompliance.
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Illinois Environmental Protection Agency
Division of Water Pollution Control
Compliance Assurance Section
1021 North Grand Avenue East
Post Office Box 19276
Springfield, Illinois 62794-9276

5. Non-Storm Water Discharges. The following sources of non-stormwater may be combined with stormwater discharges associated with the industrial activity addressed in this plan.

- Fire fighting activities
- Water main/ hydrant flushing
- Watering for dust control
- Irrigation drainage for vegetative growth
- Wash water where detergents are not used.
- Uncontaminated ground water

Non-fire fighting discharges from water mains and pumps shall not be permitted to flow directly onto the soil without energy dissipaters sufficient to reduce velocities to a non-erosive rate. All site de-watering, including pump discharge shall pass through sediment control devices prior to leaving the site.

6. Retention of Records

a. The permittee shall retain copies of storm water pollution prevention plans and all reports and notices required by this permit, and records of all data used to complete the Notice of Intent to be covered by this permit, for a periods of at least three years from the date that the permit coverage expires or is terminated. This period may be extended by request of the Agency at any time.

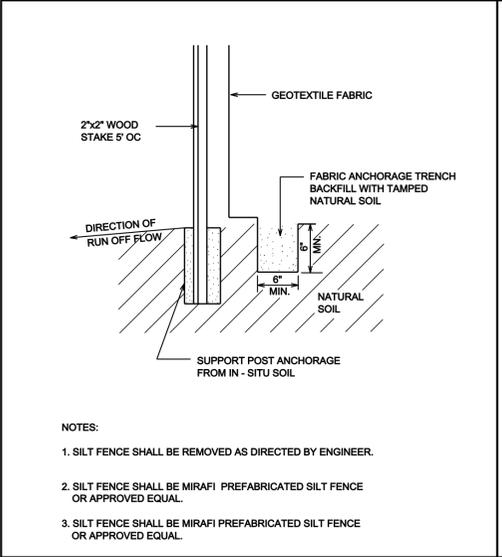
b. The permittee shall retain a copy of the storm water pollution prevention plan required by this permit at the construction site from the date of project initiation to the date of final stabilization.

7. Notice of Termination. Upon Final stabilization of the site the permittee shall submit a completed Notice of Termination in accordance with NPDES Permit No. ILR10.

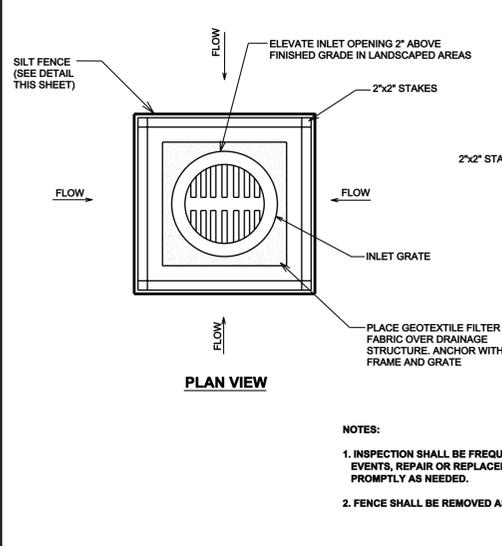
8. Certification Statement. The following statement shall be signed prior to any work authorized by NPDES Permit No. ILR10 is performed at the site. The undersigned is responsible for implementation of all measures identified on this plan.

I certify under penalty of law that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) permit (ILR10) that authorizes the storm water discharges associated with industrial activity from the construction site identified as part of this certification.

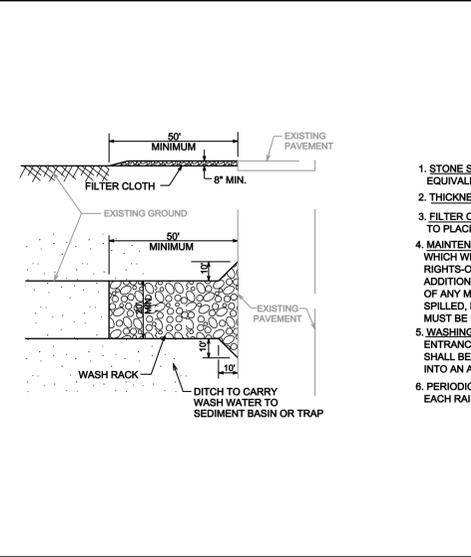
Dated this _____ day of _____, 2010
 By _____ Title _____
 Company _____
 Address _____
 Telephone _____



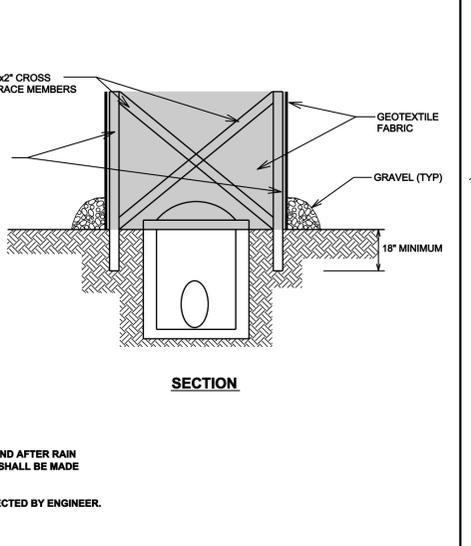
SILT FENCE CONSTRUCTION DETAIL



SILT FENCE INLET SEDIMENT TRAP



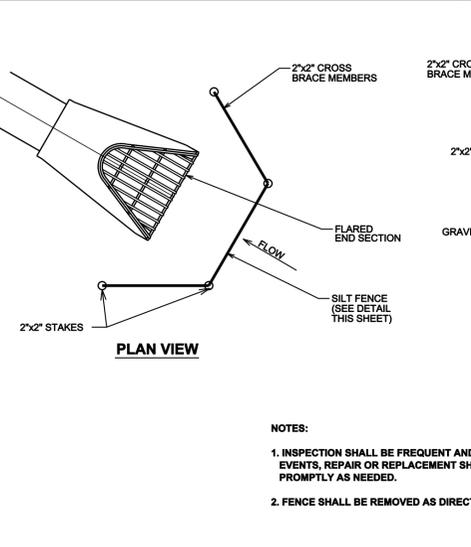
STABILIZED CONSTRUCTION ENTRANCE (TYPICAL)



INLET BASKET FILTER

CONSTRUCTION ENTRANCE SPECIFICATIONS

- STONE SIZE** - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- THICKNESS** - NOT LESS THAN EIGHT (8) INCHES.
- FILTER CLOTH** - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
- MAINTENANCE** - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- WASHING** - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE** SHALL BE PROVIDED AFTER EACH RAIN.



FLARED END SECTION SEDIMENT TRAP

© COPYRIGHT 2009

OWNER:
AutoZone, Inc.
 123 S. FRONT STREET, 3rd FLOOR
 MEMPHIS, TENNESSEE 38103

PREPARED FOR:
AutoZone STORE DEVELOPMENT
 Store No.: 4325
 NE Corner of W. Orchard St. and Miller Parkway (43RD St.)
 Milwaukee, Wisconsin

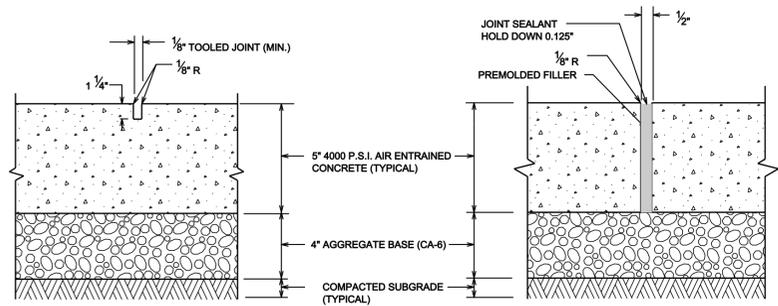
SCALE: N. T. S.

REVISIONS

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ENGINEER: LNM
DRAFTSMAN: VRS
CHECKED BY: ANH
DATE: 11-19-2010
PROTOTYPE SIZE

C1.5

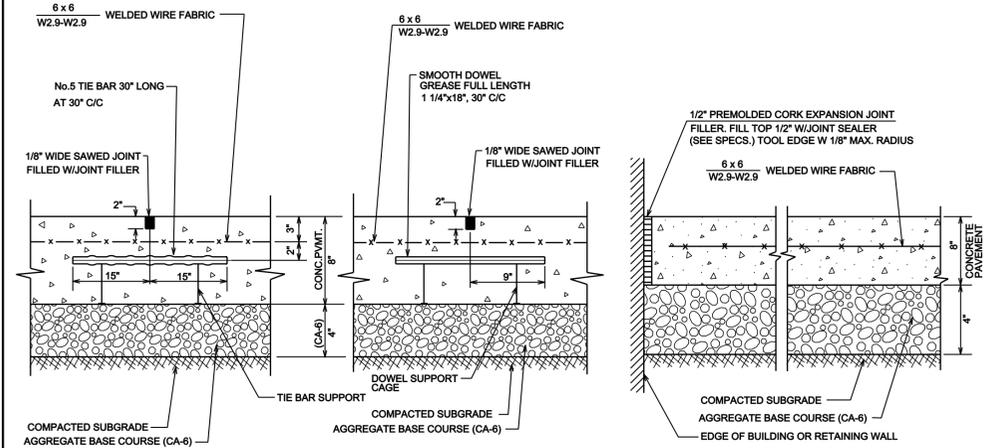
EROSION CONTROL NOTES & DETAILS



CONTRACTION JOINT DETAIL

EXPANSION JOINT DETAIL

NOTE:
UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE 5'-0" O.C. AND EXPANSION JOINTS TO BE 40'-0" O.C. MAX., OR AT BACK OF CURB, CHANGE OF DIRECTION, OTHER WALK, UTILITY APPURTENANCE, OR FACE OF STRUCTURE.



LONGITUDINAL CENTER JOINT

TRANSVERSE CONTRACTION JOINT

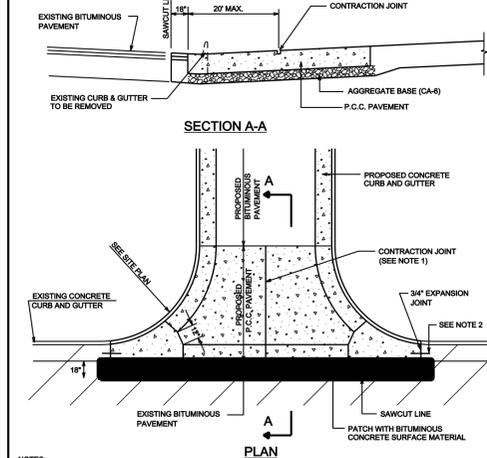
EXPANSION JOINT

CONCRETE SIDEWALK

CONCRETE PAVEMENT

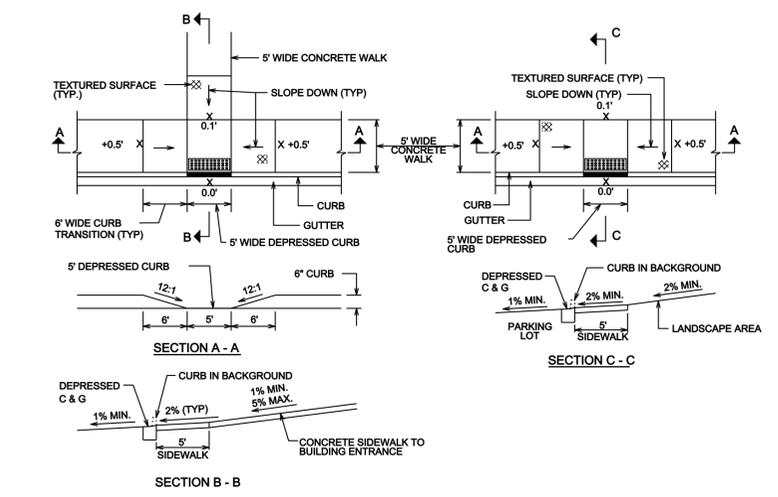
DRIVEWAY DETAILS

ACCESSIBLE PARKING SIGN

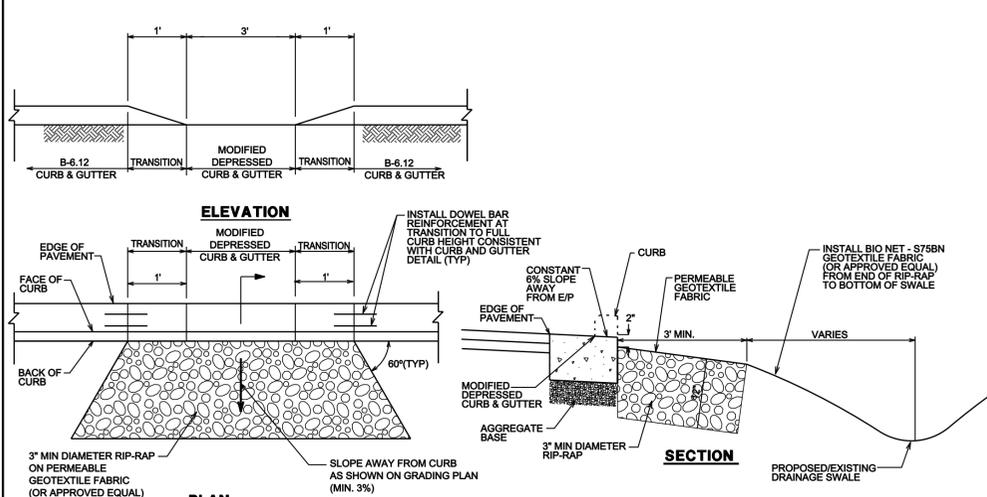


NOTES:
1. FOR CONCRETE DRIVEWAY WIDER THAN 14 FEET, A CONTRACTION JOINT SHALL BE LOCATED ALONG THE CENTERLINE.
2. DRILLED AND GROUTED DOWEL SHALL BE EMBEDDED 9 INCHES INTO THE EXISTING CONCRETE. 1 1/4" x 18" DOWEL WITH EXPANSION CAP SHALL BE USED.

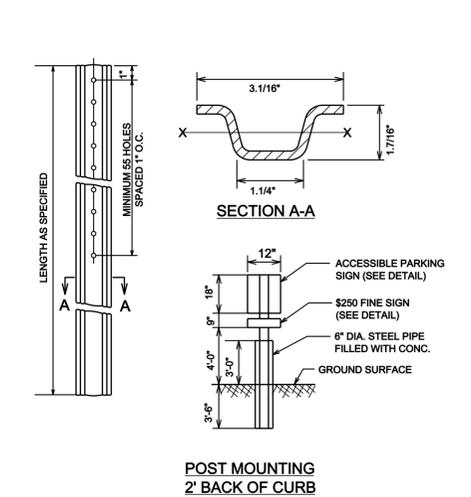
ACCESSIBLE PARKING SIGN
WITH \$250 FINE SIGN
MUTCD R7-8, 12"x18"
IL. STD. R7-1101, 12"x6"



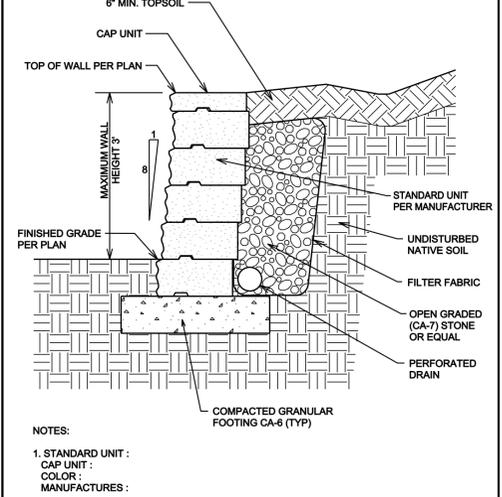
ACCESSIBLE RAMP DETAIL



CURB OUTLET DETAIL



SIGN POST DETAIL



NOTES:
1. STANDARD UNIT : CAP UNIT : COLOR : MANUFACTURES :
2. ALL WALLS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

TYPICAL RETAINING WALL SECTION

© COPYRIGHT 2009

OWNER:
AutoZone, Inc.
123 S. FRONT STREET, 3rd FLOOR
MEMPHIS, TENNESSEE 38103

PREPARED FOR:
AutoZone STORE DEVELOPMENT

Store No.: 4325
NE Corner of W. Orchard St. and Miller Parkway (43RD St.)
Milwaukee, Wisconsin

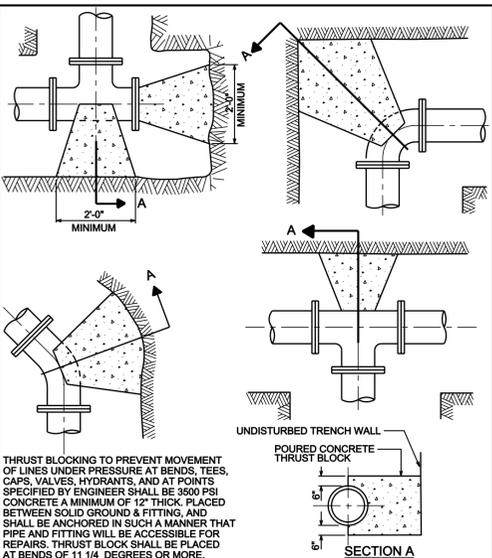
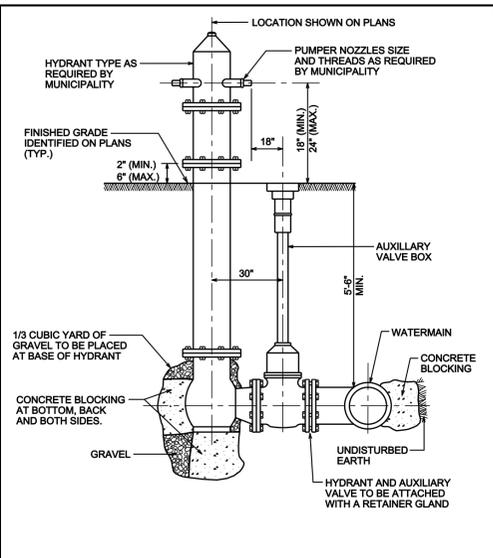
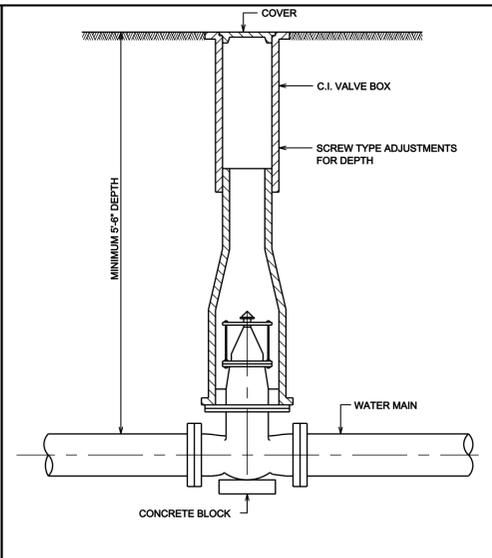
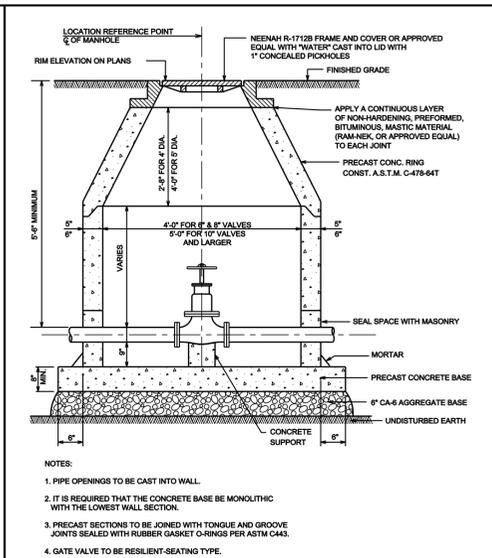
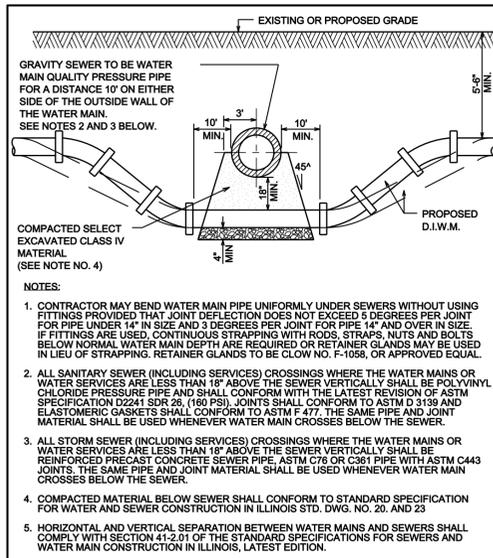
CONSTRUCTION DETAILS

SCALE: N. T. S.

REVISIONS

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7.
ENGINEER: LNM
DRAFTSMAN: VRS
CHECKED BY: ANH
DATE: 11-19-2010
PROTOTYPE SIZE

C1.6



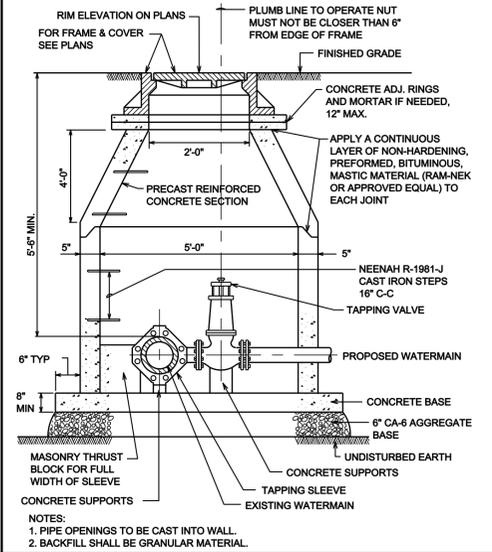
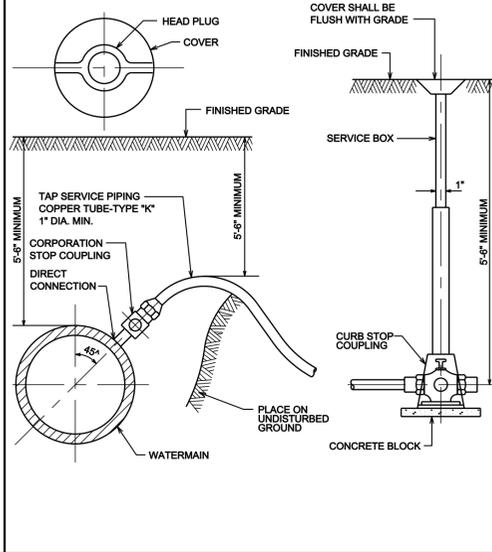
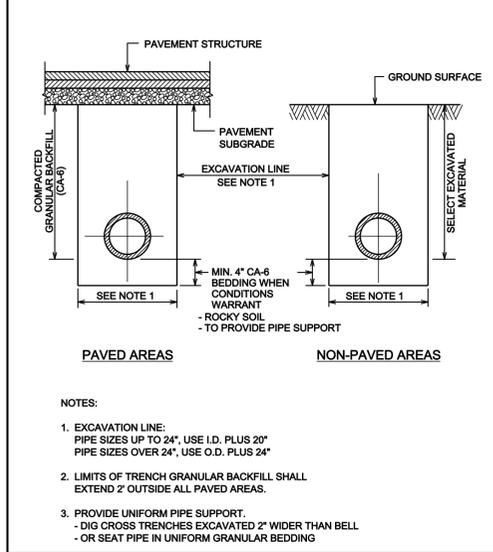
WATER MAIN CROSSING DETAIL

VALVE VAULT DETAIL

VALVE BOX DETAIL

STANDARD HYDRANT ASSEMBLY

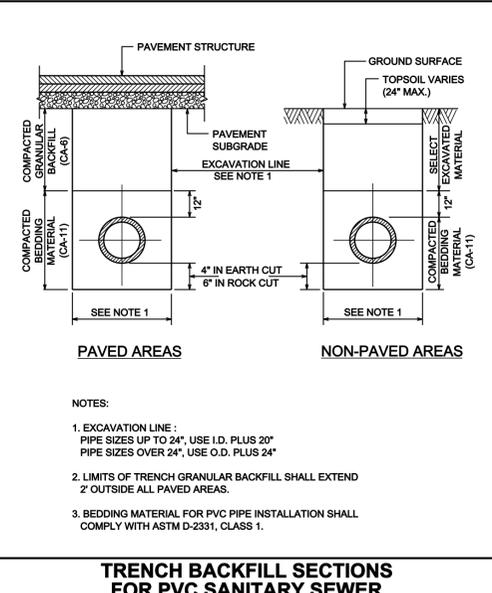
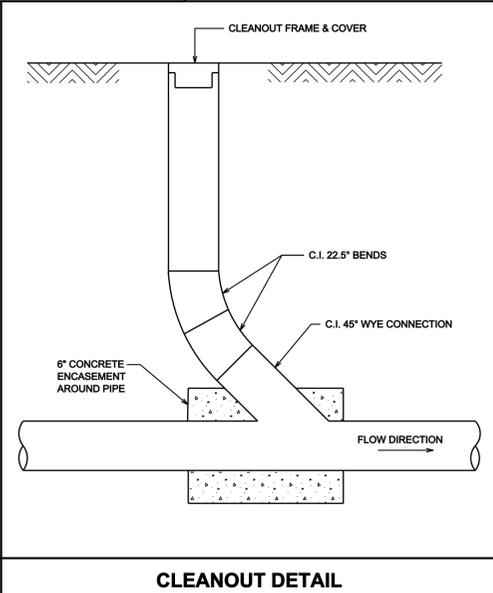
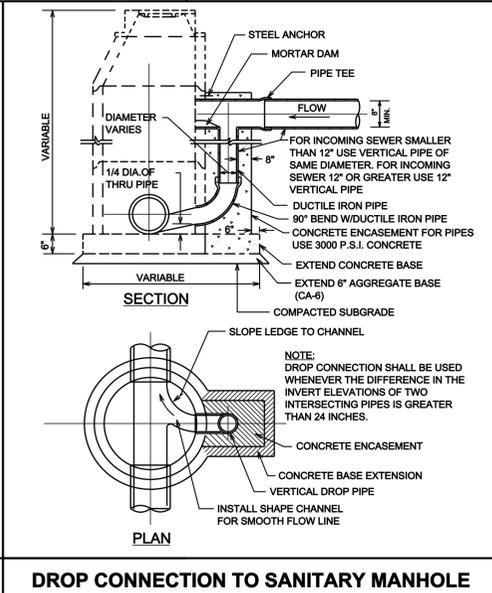
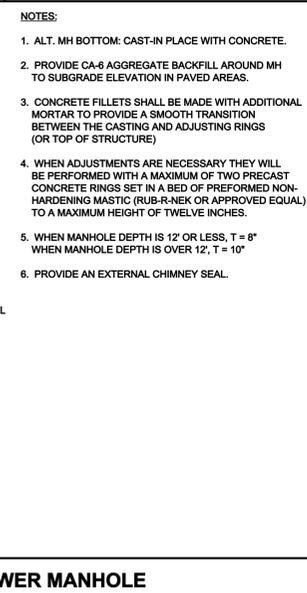
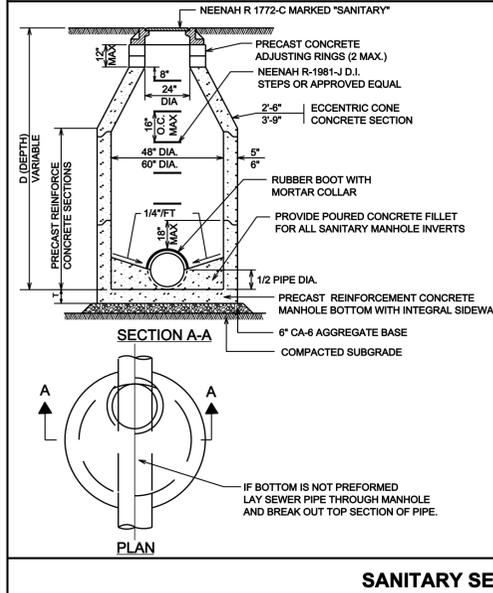
THRUST BLOCK DETAIL



TRENCH BACKFILL SECTIONS FOR WATER MAIN

SERVICE TAP AND CONNECTION

TYPICAL PRESSURE CONNECTION



SANITARY SEWER MANHOLE

DROP CONNECTION TO SANITARY MANHOLE

CLEANOUT DETAIL

TRENCH BACKFILL SECTIONS FOR PVC SANITARY SEWER

EXTERNAL CHIMNEY SEAL

OWNER: AutoZone, Inc. 123 S. FRONT STREET, 3rd FLOOR MEMPHIS, TENNESSEE 38103

PREPARED FOR: AutoZone STORE DEVELOPMENT Store No.: 4325 NE Corner of W. Orchard St. and Miller Parkway (43RD St.) Milwaukee, Wisconsin

SCALE: N. T. S. REVISIONS 1. 2. 3. 4. 5. 6. 7. ENGINEER: LNM DRAFTSMAN: VRS CHECKED BY: ANH DATE 11-19-2010 PROTOTYPE SIZE

C1.7

- EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:

CONNINGTAL SURVEYING SERVICES
1338 SANTA MONICA CIRCLE
WAUKESHA, WISCONSIN 53186

COPIES OF THE SURVEY ARE AVAILABLE FROM THE OWNER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
- ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
- CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
- ALL ELEVATIONS ARE BASED ON USGS DATUM. BENCHMARK LOCATIONS AND ELEVATIONS ARE SHOWN ON PLANS.
- ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS V3 COMPANIES OF ILLINOIS LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
 - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN WISCONSIN," AS PREPARED BY WISCONSIN DOT, LATEST EDITION.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN WISCONSIN" LATEST EDITION.
 - WISCONSIN RECOMMENDED STANDARDS FOR SEWAGE WORKS, AS PUBLISHED BY THE STATE LATEST EDITION.
 - THE LATEST EDITIONS OF THE SUBDIVISION CODE AND STANDARDS OF THE VILLAGE/CITY OF MILWAUKEE.
 - THE NATIONAL ELECTRIC CODE.

IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITEMARK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HIS/HER OPERATIONS ADJACENT TO THOROUGHFARES AND ADJACENT PROPERTY IN ACCORDANCE WITH LOCAL ORDINANCE AND WISCONSIN DOT REQUIREMENTS.
- BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
- ALL COORDINATES REFER TO BACK OF CURB, CENTERLINE OF MANHOLE, PIPE, OR STRUCTURE UNLESS OTHERWISE SHOWN.
- ALL CURB RADII REFER TO BACK OF CURB.
- THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.
- AREAS OUTSIDE THE R.O.W. LINE OR CONSTRUCTION LIMIT LINE IMPACTED BY OPERATIONS OF THE CONTRACTOR SHALL BE RETURNED TO THE STATE IT WAS FOUND PRIOR TO NEW CONSTRUCTION, EXCEPT WHERE NEW WORK IS SHOWN.
- STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR WISCONSIN DOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
- PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.
- PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE MUNICIPALITY AND IDOT SPECIFICATIONS.

- BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDER CUTTING BY STORM WATER RUNOFF.
- CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL UNDERGROUND UTILITY CONSTRUCTION AND SUBMIT RECORD INFORMATION TO ENGINEER FOR USE IN PREPARING RECORD DRAWINGS.
- ALL BUTT JOINTS AS SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
- ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND SHALL BE PROTECTED PER IDOT SECTION 201.05. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE TO TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
- FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES ARE INCIDENTAL TO THEIR COST.
- CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS OR AS REQUIRED BY STATE AND VILLAGE OFFICIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AS SHOWN ON THESE DRAWINGS.
- ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
- FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS "J.U.L.I.E." AT 1-800-892-0123. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. PLEASE CALL FOR LOCATES 48 HOURS IN ADVANCE OF CONSTRUCTION.
- WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO THE SEWER INSTALLATION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE UTILITY COMPANY AT THE CONTRACTORS EXPENSE.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR WITH OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- AN INSPECTION OF THE SUBGRADE WILL BE MADE BY PERFORMING A PROOFROLL TEST IN THE PRESENCE OF THE MUNICIPAL ENGINEERING DEPARTMENT INSPECTOR. THE SUBGRADE MUST BE APPROVED PRIOR TO PLACING ANY TYPE OF CURB AND GUTTER, GEOTEXTILE STABILIZATION FABRIC OR BASE MATERIAL.
- PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- ASPHALT JOINTS FOR BINDER AND SURFACE COURSES ARE TO BE STAGGERED.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF APPROVED ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
- NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.
- ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAVED AT THE LIMITS OF REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
- BANDSEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
- COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS DEEMED NECESSARY BY THE CONTRACTOR IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTORS OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNERS WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH ARTICLE 107.14 OF THE IDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH IDOT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 - REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE DISPOSED OF BY THE CONTRACTOR AT HIS OWN EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN OFF-SITE DUMP SITE AT HIS OWN EXPENSE.
 - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS MUST MEET THE ILLINOIS URBAN MANUAL SPEC 945. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
 - THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS/HER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- WATERMAIN DISTRIBUTION SYSTEM
- ALL WATER LINES ARE TO BE PRESSURE TESTED AND CHLORINATED PER THE REQUIREMENTS OF THE MUNICIPALITY AND THE WISCONSIN ENVIRONMENTAL PROTECTION AGENCY.
 - WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52 CONFORMING TO ANSI A21.51 (AWWA C151) WITH CEMENT LINING CONFORMING TO ANSI A21.4 (AWWA C104) AND PUSH-ON JOINTS CONFORMING TO ANSI A21.11 (AWWA C111).
 - MINIMUM COVER OVER WATER MAIN SHALL BE 5' 6" FROM FINISHED GRADE TO TOP OF PIPE. MAXIMUM COVER SHALL BE 8' 0" FROM FINISHED GRADE TO TOP OF PIPE.
 - VALVE VAULTS SHALL BE USED AT ALL VALVE LOCATIONS WHERE WATER MAIN IS 8" DIAMETER OR LARGER. VAULTS SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "WATER".
 - THRUST BLOCKING SHALL BE INSTALLED ON WATER MAINS AT ALL BENDS, TEES, ELBOWS, ETC. COST OF SAME SHALL BE INCIDENTAL TO THE UNIT PRICE FOR PIPE INSTALLED.
- SANITARY SEWER
- ALL SANITARY SEWER SHALL BE TESTED FOR ACCEPTANCE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN WISCONSIN, SECTION 31-1.11B. CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
 - SANITARY SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
 - POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D2241 WITH AN SDR OF 26 WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.
 - DUCTILE IRON PIPE CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).
- STORM SEWER
- UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE IN CONFORMANCE WITH IDOT STANDARD SPECIFICATIONS DETERMINATION FOR PIPE CLASS, AND CONFORMING TO ASTM C76. ALL STORM SEWER SHALL HAVE GASKET D JOINTS CONFORMING TO ASTM C-361.
 - STORM SEWER STRUCTURES SHALL BE PRECAST OF THE TYPE AND DIAMETER AS SPECIFIED IN THE PLANS WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL). LIDS SHALL BE IMPRINTED "STORM".

LEGEND

EXISTING	PROPOSED

DESCRIPTION
RIGHT-OF-WAY LINE
PROPERTY LINE (EXTERIOR)
LOT LINE (INTERIOR)
EASEMENT LINE
FENCE LINE
CENTERLINE
PROPERTY CORNER
CONTOUR
CURB & GUTTER
DEPRESSED CURB & GUTTER
REVERSE PITCHED CURB
SPOT ELEVATION
TOP OF CURB ELEVATION
EDGE OF PAVEMENT ELEVATION
UTILITY STUB
SANITARY SEWER
SANITARY FORCE MAIN
STORM SEWER
WATER MAIN
GAS MAIN
UNDERGROUND TELEPHONE & ELECTRIC DUCT BANK
BURIED CABLE-ELECTRIC
BURIED CABLE-TELEPHONE
UTILITY STRUCTURE WITH CLOSED LID
CURB INLET
DRAINAGE STRUCTURE WITH OPEN LID
FIRE HYDRANT
VALVE IN VALVE BOX
GATE VALVE IN VALVE VAULT
POST INDICATOR VALVE
THRUST BLOCK
TREE
TREE LINE
CONCRETE HEADWALL
SUBMERGED HEADWALL
FLARED END SECTION (F.E.S.)
GUY WIRES
FLOOD LIGHT
UTILITY POLE
LIGHT STANDARD
TRAFFIC SIGNAL POLE
HAND HOLE
SOIL BORING
IRRIGATION HEADS
SIGN
TELEPHONE MANHOLE
MONITORING WELL
TELEPHONE PEDESTAL
TRANSFORMER PAD
UTILITY TO BE ABANDONED
FEATURE TO BE REMOVED
STORMWATER FLOW DIRECTION
STORMWATER OVERFLOW ROUTE
DITCH CHECK
INLET FILTER BASKET
RIP RAP
BOLLARD
SILT FENCE
WATER MAIN PROTECTION
TRENCH BACKFILL
UTILITY CROSSING LABEL
GUARDRAIL
RAILROAD TRACKS
RETAINING WALL
REVISION DELINEATION
CONSTRUCTION LIMIT LINE
TREE PROTECTION FENCE

ABBREVIATIONS

A	ARC LENGTH
B-B	BACK TO BACK OF CURB
B/C	BACK OF CURB
BLDG	BUILDING
BM	BENCHMARK
B/P	BOTTOM OF PIPE
BV/VV	BUTTERFLY VALVE IN VALVE VAULT
C & G	CURB AND GUTTER
CB	CATCH BASIN
CL	CENTERLINE
CL	CLOSED LID
CO	CLEAN OUT
DIP	DUCTILE IRON PIPE
DIA	DIAMETER
DIWM	DUCTILE IRON WATER MAIN
DWG	DRAWING
E	EAST OR ELECTRIC OR EDGE
EJ	EXPANSION JOINT
ELEV	ELEVATION
E/P	EDGE OF PAVEMENT
EX	EXISTING
F & CL	FRAME & CLOSED LID
F & G	FRAME & GRATE
F & OL	FRAME & OPEN LID
FES	FLARED END SECTION
F-F	FACE TO FACE OF CURB
FF	FINISHED FLOOR
F/G	FINISHED GRADE
FH	FIRE HYDRANT
F/L	FLOW LINE
G	GAS LINE
GV/VB	GATE VALVE IN VALVE BOX
GV/VV	GATE VALVE IN VALVE VAULT
HDCP	HANDICAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HDW	HEADWALL
HOR	HORIZONTAL
HP	HIGH POINT
HWL	HIGH WATER LEVEL
IE	INVERT ELEVATION
IN	INLET
LF	LINEAL FEET
LP	LOW POINT OR LIGHT POLE
L	LEFT
ME	MATCH EXISTING
MH	MANHOLE
MW	MONITORING WELL
N	NORTH
NIC	NOT IN CONTRACT / NOT INCLUDED
NWL	NORMAL WATER LEVEL
OC	ON CENTER
OL	OPEN LID
PC	POINT OF CURVATURE
PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PVC	POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS OR RIGHT
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
S	SLOPE OR SOUTH
SAN	SANITARY
SF	SILTATION FENCE
SFM	SANITARY FORCE MAIN
SHT	SHEET
SHW	SUBMERGED HEADWALL
SMH	SANITARY MANHOLE
STA	STATION
ST	STORM STRUCTURE OR STORM SEWER
STMH	STORM MANHOLE
T	TANGENT LENGTH OR TELEPHONE
T/C	TOP OF CURB
T/P	TOP OF PIPE
TW	TOP OF WALL
TY	TYPE
TYP	TYPICAL
UP	UTILITY POLE
VC	VERTICAL CURVE
VERT	VERTICAL
VCP	VITRIFIED CLAY PIPE
W	WEST
WM	WATER MAIN

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AutoZone, Inc.
123 S. FRONT STREET, 3rd FLOOR
MEMPHIS, TENNESSEE 38103

PREPARED FOR:
AutoZone STORE DEVELOPMENT
Store No.: 4325
NE Corner of W. Orchard St. and Miller Parkway (43RD St.)
Milwaukee, Wisconsin

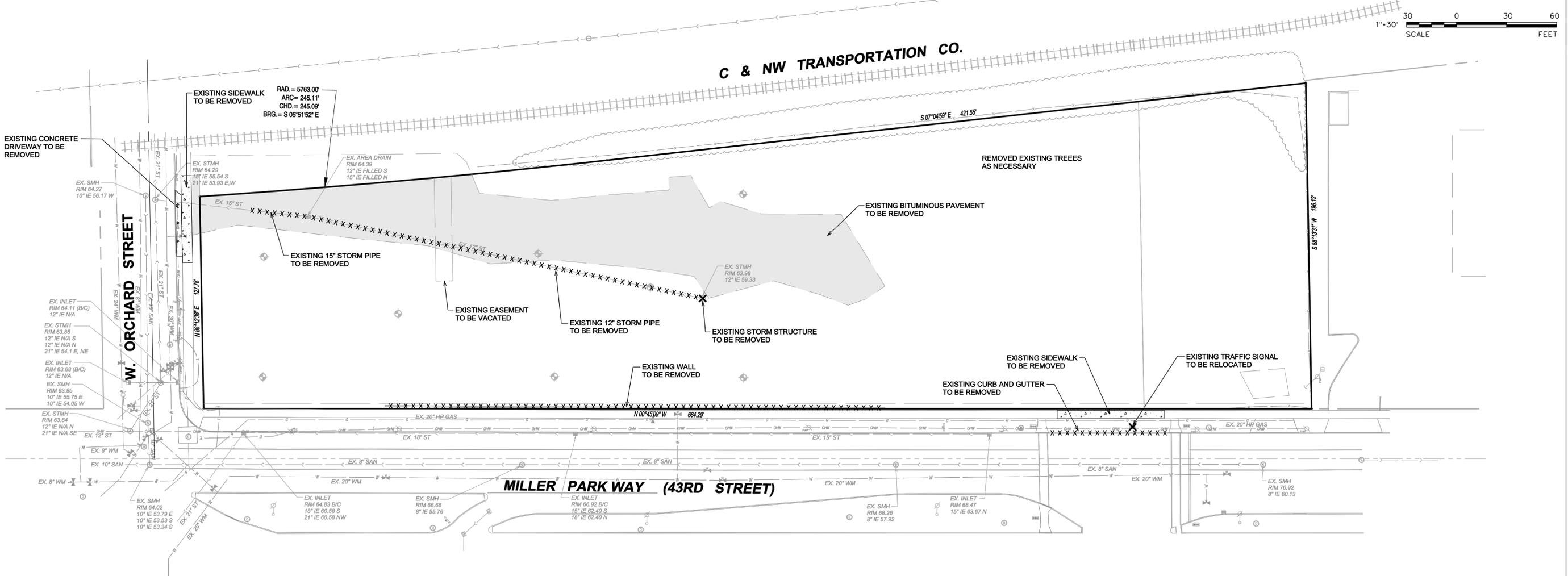
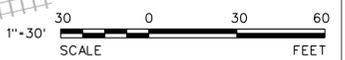
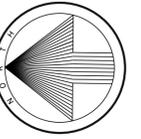
SCALE: N. T. S.

REVISIONS

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ENGINEER: LNM
DRAFTSMAN: VRS
CHECKED BY: ANH
DATE: 11-19-2010
PROTOTYPE SIZE

GENERAL NOTES, LEGEND AND ABBREVIATIONS

C1.8



NOTES:

1. SOIL BORINGS
DATA ON SUBSURFACE CONDITIONS IS CONTAINED WITHIN THE GEOTECHNICAL REPORT PREPARED BY GEOTECHNICAL CONSULTANT AND DATED [REDACTED]. THIS REPORT AND THE RECOMMENDATIONS CONTAINED THEREIN ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN SOIL BORINGS. IT IS EXPRESSLY UNDERSTOOD THAT NEITHER THE OWNER NOR THE ENGINEER WILL BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN BY THE CONTRACTOR. THE DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT GUARANTEED TO REPRESENT ALL CONDITIONS THAT MAY BE ENCOUNTERED. THE DATA ON INDICATED SUBSURFACE CONDITIONS IS NOT PART OF THE CONTRACT DOCUMENTS AND NEITHER THE OWNER NOR THE ENGINEER MAKES ANY PROMISE, REPRESENTATION, GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, BY SUCH DATA IN REFERENCE TO THE SOIL BORINGS. ADDITIONAL TEST BORINGS AND OTHER EXPLORATORY OPERATIONS MAY BE MADE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MUST CONTACT THE ENGINEER BEFORE DIGGING ANY TEST PITS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ANY UNDERGROUND UTILITIES AND IS RESPONSIBLE FOR CONTACTING "DIGGERS HOTLINE WISCONSIN 1 CALL CENTER" (1-800-242-8511) FOR DETERMINATION OF THE LOCATION OF UNDERGROUND UTILITIES BEFORE ANY TEST PITS OR BORINGS ARE PERFORMED.

2. DEMOLITION
THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN. FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICE NECESSARY TO COMPLETE THE WORK. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
- SIDEWALK AND ON-SITE PAVEMENT
- ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.

CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.

3. JOB CONDITIONS
STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURES AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. THE CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC TO PROVIDE SAFE PASSAGE FOR VEHICULAR AND PEDESTRIAN TRAFFIC. THIS INCLUDES APPROPRIATE SIGNAGE FOR CLOSING THE PUBLIC SIDEWALK, ROADWAY AND NECESSARY PARKING SPACES. ALL MAINTENANCE OF TRAFFIC SHALL BE APPROVED BY THE MUNICIPALITY, COUNTY, AND IDOT; WHERE CONFLICTING REQUIREMENTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THE ADJACENT BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.

4. UTILITY SERVICES
EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.

5. UTILITY PROTECTION
UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL "DIGGERS HOTLINE WISCONSIN 1 CALL CENTER (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.

6. POLLUTION CONTROLS
USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR FURTHER EROSION CONTROL REQUIREMENTS.

7. DISPOSAL OF DEMOLISHED MATERIALS
REMOVE FROM SITE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE. TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND DISPOSE OF OFF SITE IN A LEGAL MANNER.

8. LANDSCAPE PROTECTION AND REMOVAL
SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION AND REMOVAL.

LEGEND	
	FULL DEPTH BITUMINOUS PAVEMENT REMOVAL
	FULL DEPTH CONCRETE PAVEMENT REMOVAL
	MISCELLANEOUS ITEMS TO BE REMOVED
	STRUCTURE TO BE REMOVED

SEE OFF-SITE IMPROVEMENTS PLANS PREPARED BY V3 COMPANIES FOR ALL OFF-SITE IMPROVEMENTS

SCALE: 1" = 30' - 0"

REVISIONS

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ENGINEER: LNM
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