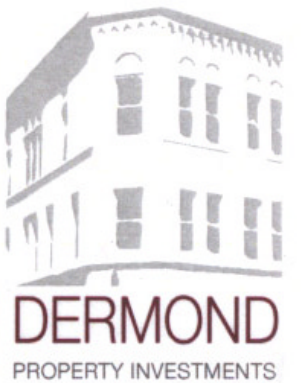




02 MARCH 2012



1601 JACKSON APARTMENTS

1601 North Jackson Street Milwaukee, Wisconsin 53202

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SITE PHOTOS

VIEW NORTH UP JACKSON

1601 JACKSON APARTMENTS

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JACKSON STREET: WEST SIDE ADJACENT TO 1601



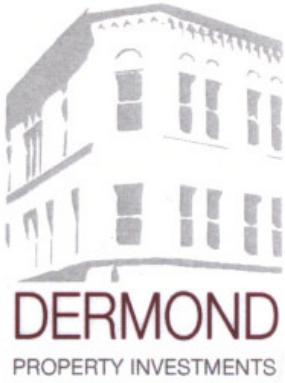
JACKSON STREET: EAST SIDE ACROSS FROM SITE



CONTEXT

1601 JACKSON APARTMENTS

1601 North Jackson Street Milwaukee, Wisconsin 53202





NW CORNER (1601 N JACKSON)



NE CORNER



SW CORNER

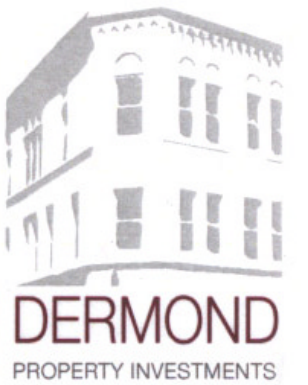


SE CORNER

JACKSON - PLEASANT INTERSECTION

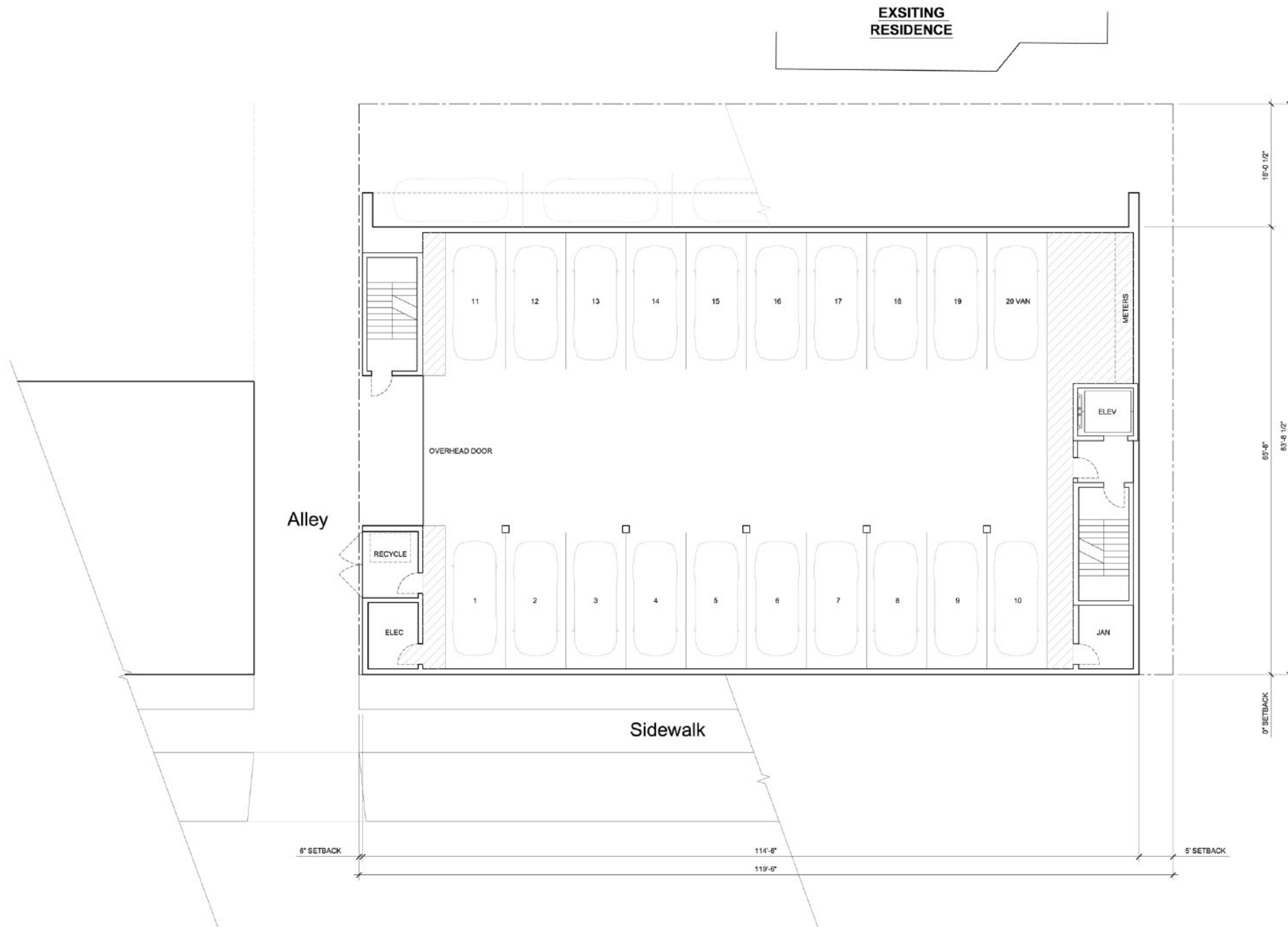
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1601 North Jackson Street Milwaukee, Wisconsin 53202



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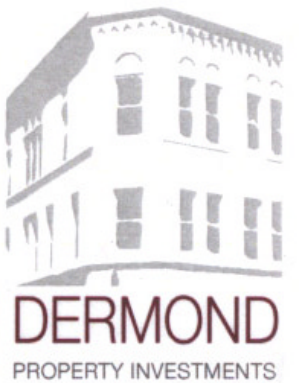
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BASEMENT LEVEL PLAN (1" = 16')

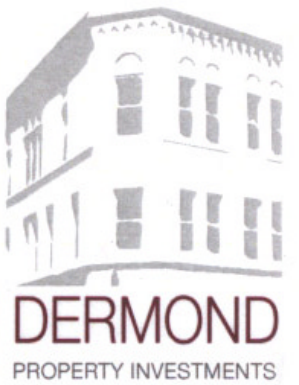
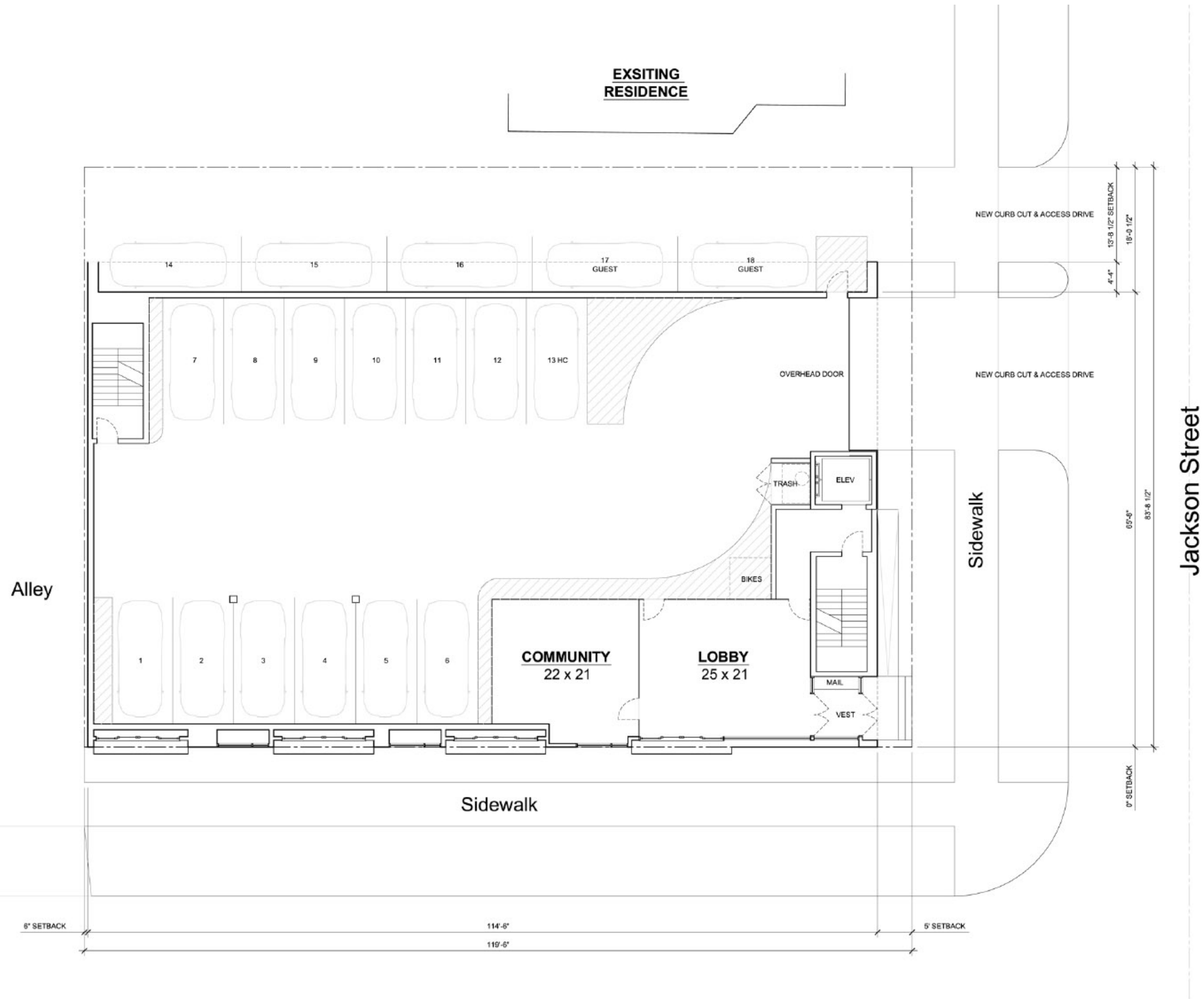
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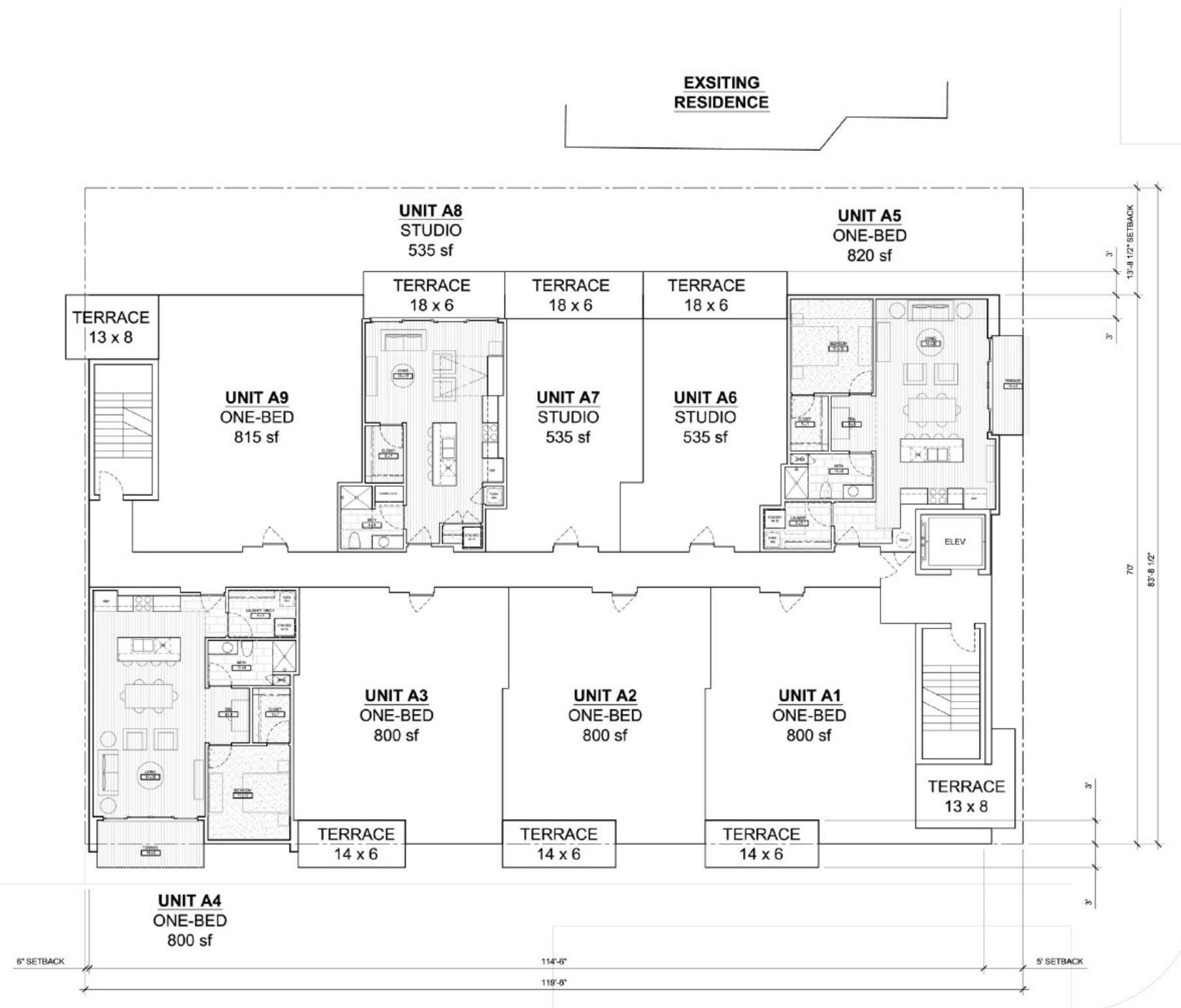


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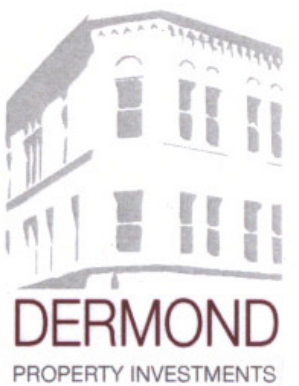
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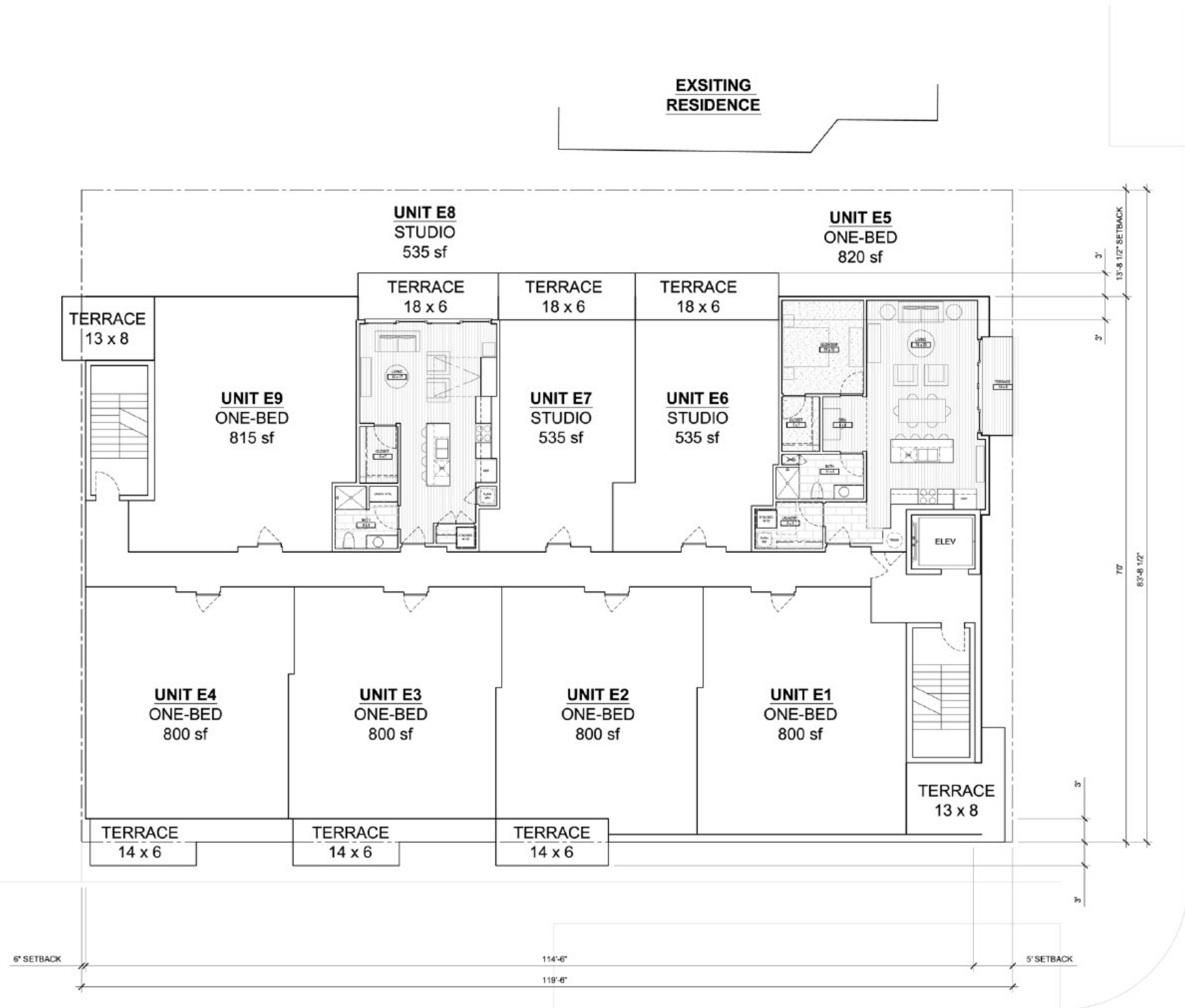
TYPICAL FLOOR 2 THROUGH 4 (1" = 16')

1601 JACKSON APARTMENTS

1601 North Jackson Street Milwaukee, Wisconsin 53202



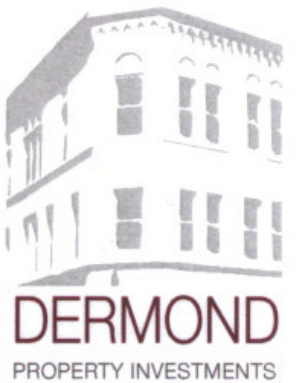
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FLOOR 5 (1" = 16')

1601 JACKSON APARTMENTS

1601 North Jackson Street Milwaukee, Wisconsin 53202



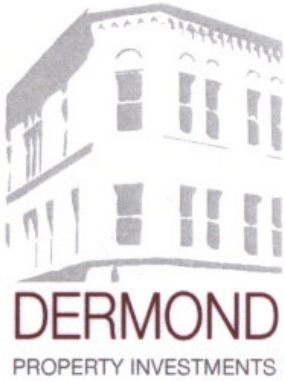
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JACKSON - PLEASANT STREET CORNER

1601 JACKSON APARTMENTS

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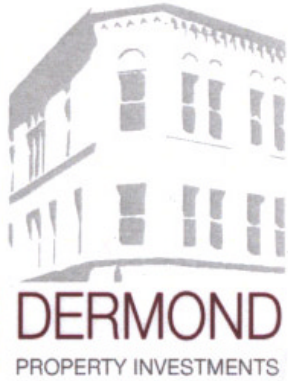
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JACKSON - PLEASANT STREET CORNER ALT

1601 JACKSON APARTMENTS

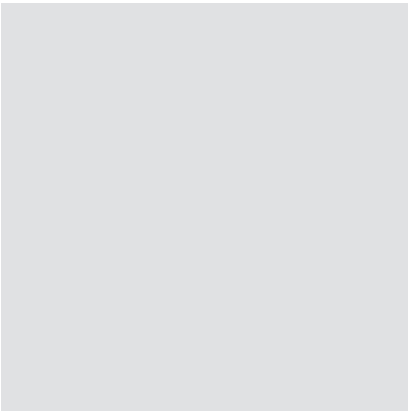
1601 North Jackson Street Milwaukee, Wisconsin 53202



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CEMENTITIOUS PANEL (ALT)



METAL PANEL (ALT)



CEMENTITIOUS PANEL



CEMENTITIOUS PANEL (ALT)



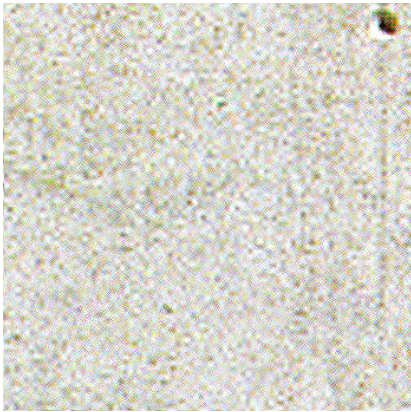
METAL PANEL (ALT)



METAL PANEL (ALT)



GLASS IN-FILL



POURED CONCRETE



CEMENTITIOUS PANEL



CEMENTITIOUS PANEL, PAINTED



CEMENTITIOUS PANEL



WIRE MESH IN-FILL

BASE:

MIDDLE:

IN-FILL MIDDLE:

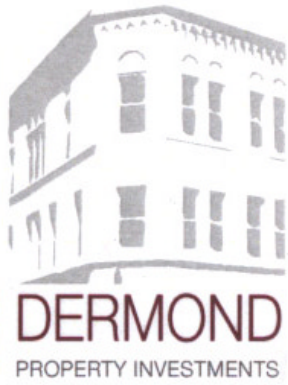
TOP:

GUARDRAILS:

EXTERIOR MATERIAL PALETTE

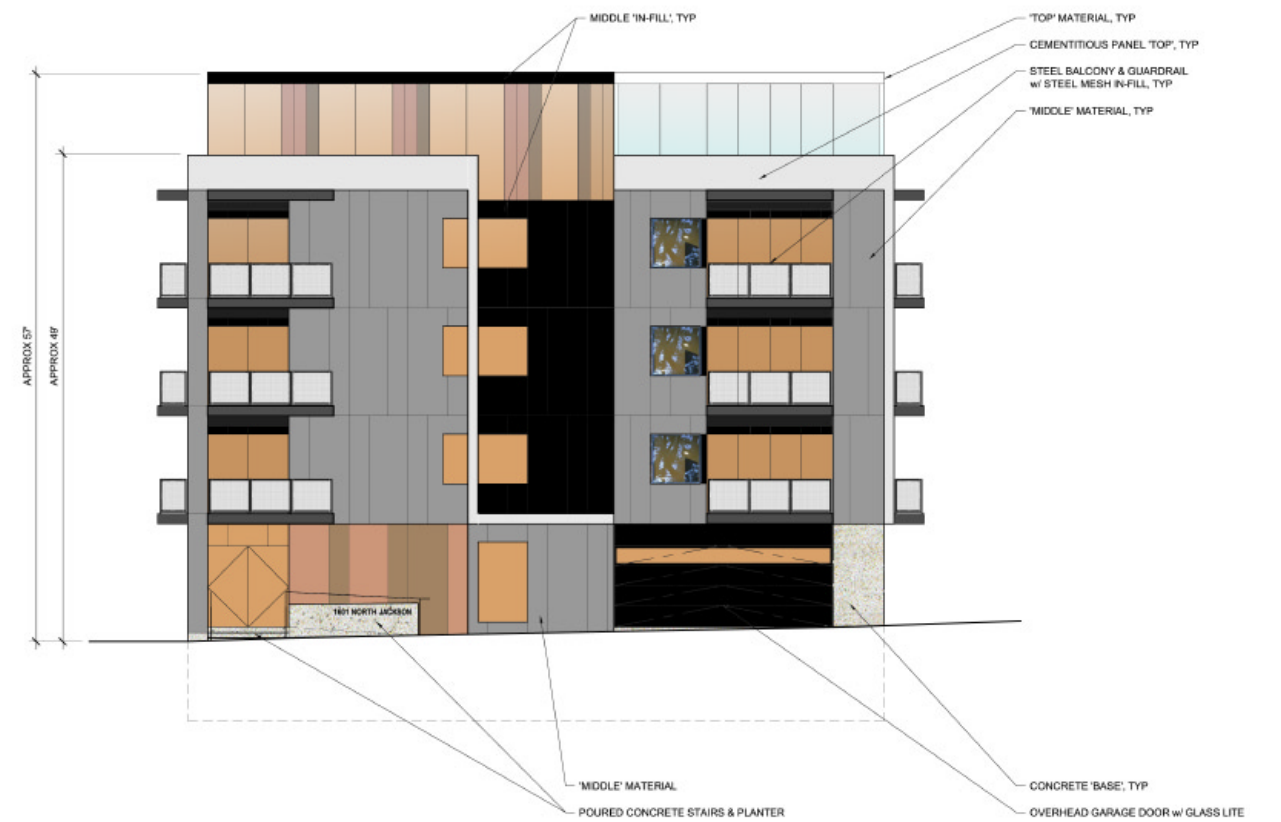
1601 JACKSON APARTMENTS

1601 North Jackson Street Milwaukee, Wisconsin 53202





SOUTH ELEVATION

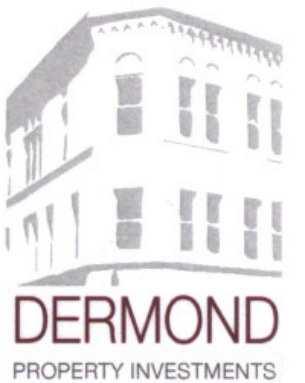


EAST ELEVATION

EXTERIOR ELEVATIONS

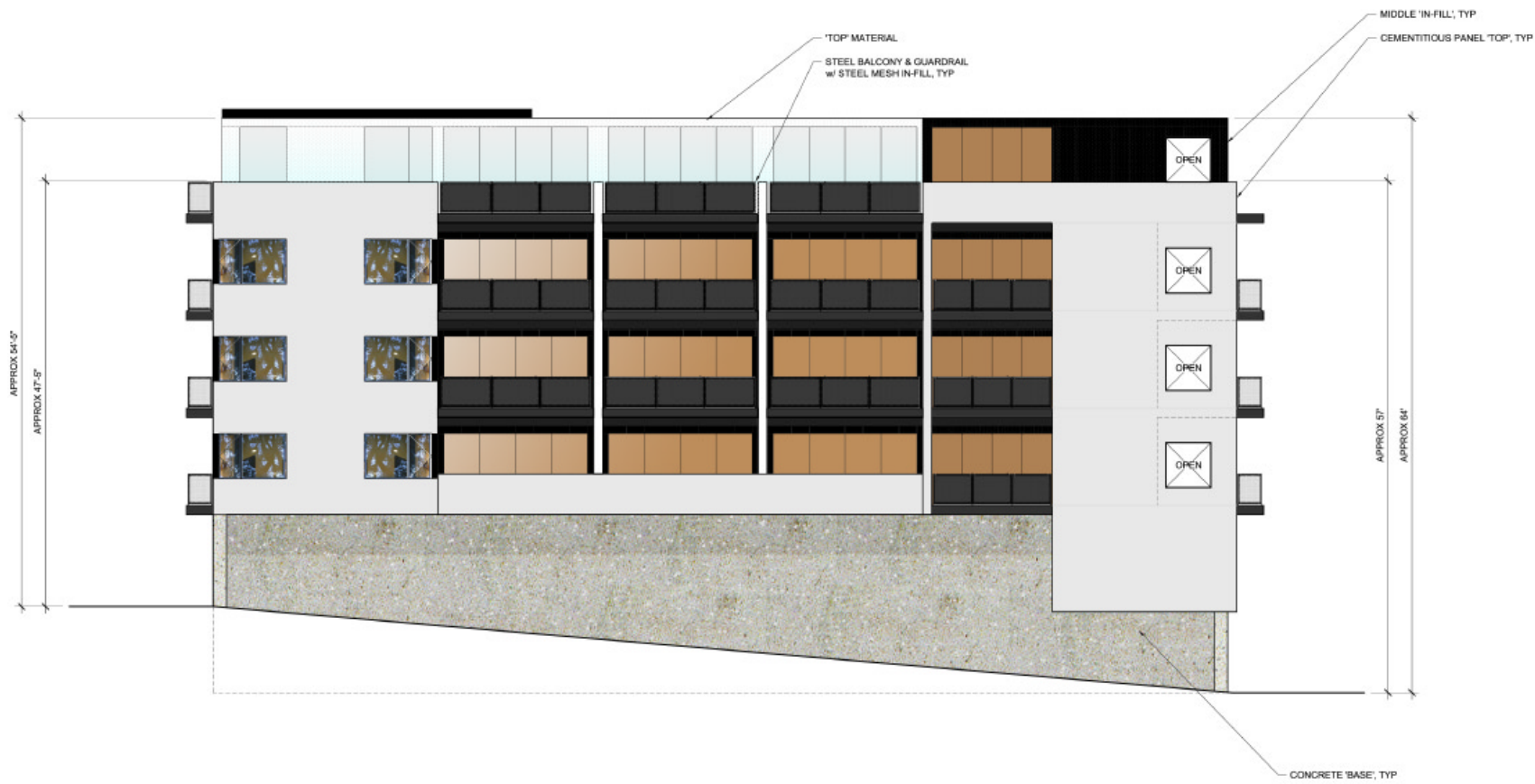
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NORTH ELEVATION

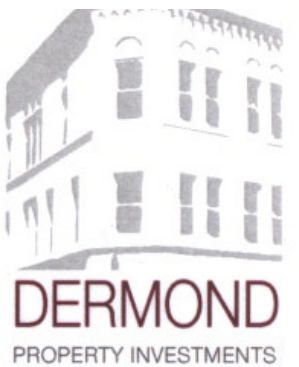


WEST ELEVATION

EXTERIOR ELEVATIONS

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PROPOSED 1601 N. JACKSON STREET BUILDING

N. JACKSON STREET & E. PLEASANT STREET

CITY OF MILWAUKEE, WI

PROJECT NOTES

EXISTING CONDITIONS AND DEMOLITION NOTES:

1. CONTRACTOR TO FIELD VERIFY EXISTING SITE PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, RELOCATE, REPLACE OR DEMOLISH ANY OTHER ITEMS AS DIRECTED BY THE CONSTRUCTION MANAGER.

SITE NOTES:

1. THE PROPOSED CIVIL PLANS ILLUSTRATE SITE IMPROVEMENTS ASSOCIATED WITH THE NEW BUILDING CONSTRUCTION. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL CONSTRUCTION INFORMATION.
2. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.

GRADING AND EROSION CONTROL NOTES:

1. SEE PLANS FOR EROSION CONTROL DETAILS & CONSTRUCTION SEQUENCE.
2. THE PROPOSED BUILDING PROJECT WILL DISTURB APPROXIMATELY 0.3 ACRES OF LAND, THEREFORE, UNDER NR 151 AND NR 216, PERMITTING REQUIREMENTS ARE NOT APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY CONSTRUCTION SITE AND/OR EROSION CONTROL PERMITS FROM THE CITY OF MILWAUKEE.

UTILITY NOTES:

1. OWNER AND CONTRACTOR TO COORDINATE WITH UTILITY COMPANY REGARDING OVERHEAD UTILITY LINE PROTECTION AND/OR RELOCATION ALONG WEST ALLEY.
2. CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF ALL CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTE IS CLEAR (TO COME) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
3. CONTRACTOR SHALL PROVIDE NOTIFICATION TO UTILITY OWNERS (INCLUDING SEWER AND WATER) AT LEAST 72 HOURS PRIOR TO EXCAVATION.
4. ALL PROPOSED SANITARY SEWER SHALL BE SDR-35 PVC. ALL PROPOSED WATERMAIN PIPE SHALL BE C900 PVC FOR PIPE DIAMETERS OF 6" OR GREATER UNLESS OTHERWISE NOTED.
5. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRES). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR DRAIN PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
6. SEE PLANS FOR ADDITIONAL UTILITY SPECIFICATIONS AND DETAILS.
7. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM 5 FEET FROM THE EXTERIOR WALL OF FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISH FLOOR ELEVATION (OR AS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER).

LANDSCAPE NOTES:

1. CONTRACTOR SHALL SEED, FERTILIZE AND MULCH LAWN AREAS AND DISTURBED AREAS AFTER COMPLETION OF CONSTRUCTION.



EXISTING SITE PHOTOGRAPH



LOCALITY MAP

NORTH PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN

LEGEND

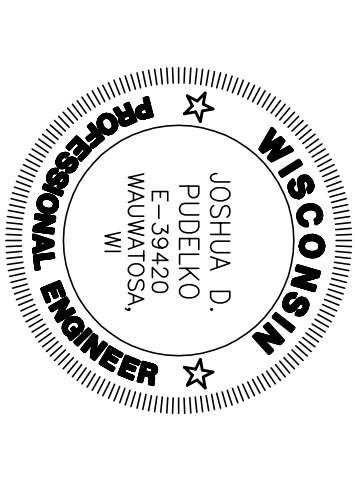
- X 36.00 - DENOTES EXISTING SPOT ELEVATION
- P/L - DENOTES PROPERTY LINE
- - DENOTES CATCH BASIN
- ⊗ - DENOTES UTILITY POLE
- ⊗ - DENOTES WATER VALVE
- ⊗ - DENOTES GAS VALVE
- ⊗ - DENOTES ELECTRIC MANHOLE
- ⊗ - DENOTES WEP/CO MANHOLE
- ⊗ - DENOTES SEWER MANHOLE
- G — G — DENOTES OVERHEAD UTILITY
- G — G — DENOTES UNDERGROUND GAS
- CMB — CMB — DENOTES COMBINED SEWER
- STW — STW — STW — STW — DENOTES STORM SEWER
- SAN — SAN — SAN — SAN — DENOTES SANITARY SEWER
- E — E — E — E — DENOTES UNDERGROUND ELECTRIC
- T — T — T — T — DENOTES UNDERGROUND TELECOMMUNICATION
- V — V — DENOTES UNDERGROUND WATER
- EXTERIOR PROPERTY LINE
- PROPOSED STORM
- PROPOSED 6" SANITARY
- PROPOSED 6" WATER
- PROPOSED DRAINAGE FLOW
- [000.00] - PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)
- 839 — - PROPOSED CONTOUR
- ⊕ - PROPOSED GATE VALVE
- - PROPOSED SANITARY CLEANOUT

CIVIL PLAN SHEET LIST

- C1.0 - EXISTING SITE PLAN
- C1.1 - PROPOSED SITE PLAN
- C1.2 - MASTER GRADING & EROSION CONTROL PLAN
- C1.3 - UTILITIES PLAN

LANDSCAPE PLAN SHEET LIST

- L1.0 - PROPOSED LANDSCAPE PLAN



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11700 W. CAPITOL DRIVE
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpudielko@strigelagacki.com



PROJECT:
1601 N. JACKSON STREET
1601 N. JACKSON STREET
Milwaukee, Wisconsin
BY:
Dermond Property Investments LLC
757 N. Water Street, Milwaukee, WI 53202

PLAN DATE:
MARCH 2, 2012

JOB NUMBER:
11032

DESCRIPTION:
COVER SHEET

SHEET

T1

PLAT OF SURVEY

ALL OF LOTS 16, 17 AND 18 NORTH OF STREET, BLOCK E, HATHAWAY'S SUBDIVISION AS altered and amended by Otis B. Hopkins after the vacation of a portion thereof by Act of the Legislature located in the North part of the West 11/2 of the Southwest 1/4 of Section 21, Town 7 North, Range 2 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

Address: 1601 N. Jackson Street and 522 - 526 E. Pleasant Street

EXISTING SITE PLAN

EXISTING SURVEY PREPARED BY:



2554 N. 100TH STREET
P.O. BOX 26596
WAUWATOSA, WISCONSIN 53226
(444) 257-2212 FAX : (444) 257-2443

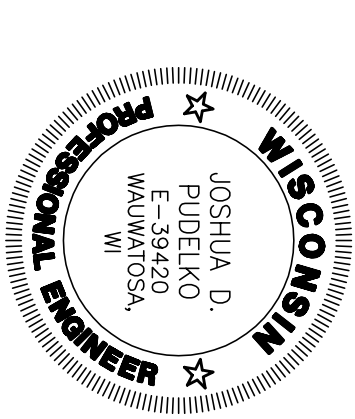
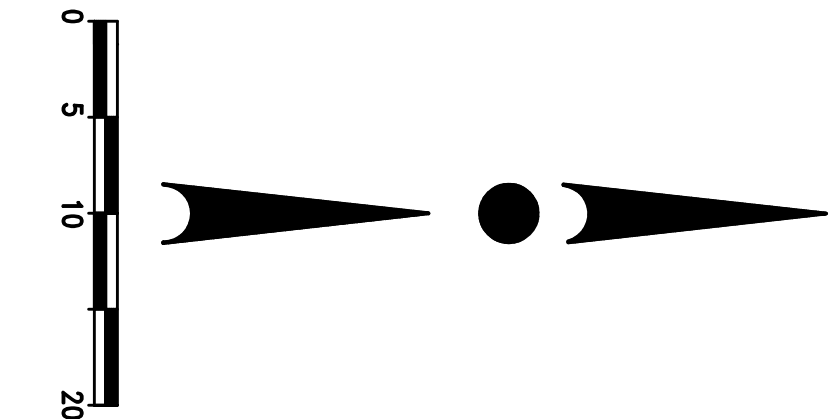
NOTES:
• THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES."

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
CALL DIGGERS HOTLINE 1-800-242-8511

EXISTING SITE DATA	
LOT ZONED:	LB2 District
LOT AREA:	9,995.1 S.F. (0.23 Acres)
EXISTING PAVEMENT & SIDEWALK	7,276.1 S.F. (0.167 Acres)
EXISTING BUILDING	2,496.6 S.F. (0.057 Acres)
TOTAL IMPEVIOUS AREA:	9,772.7 S.F. (0.224 Acres) [97.78% of Site]
TOTAL OPEN SPACE:	222.4 S.F. (0.005 AC.) [2.22% of Site]

LEGEND

- X 36.00 - DENOTES EXISTING SPOT ELEVATION
- P/L- DENOTES PROPERTY LINE
- - DENOTES CATCH BASIN
- ⊗ - DENOTES UTILITY POLE
- ⊗ - DENOTES WATER VALVE
- ⊗ - DENOTES GAS VALVE
- ⊗ - DENOTES ELECTRIC MANHOLE
- ⊗ - DENOTES WEP/O MANHOLE
- ⊗ - DENOTES SEWER MANHOLE
- DHE — DHE — DENOTES OVERHEAD UTILITY
- G — G — DENOTES UNDERGROUND GAS
- CMB — CMB — DENOTES COMBINED SEWER
- STW — STW — STW — STW — DENOTES STORM SEWER
- SAN — SAN — SAN — SAN — SAN — DENOTES SANITARY SEWER
- E — E — E — E — E — DENOTES UNDERGROUND ELECTRIC
- T — T — T — T — T — DENOTES UNDERGROUND TELECOMMUNICATION
- V — V — V — V — V — DENOTES UNDERGROUND WATER



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BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jfudeiko@strigelagacki.com



PROJECT:
1601 N. JACKSON STREET
1601 N. JACKSON STREET
Milwaukee, Wisconsin
BY:
Dermond Property Investments LLC
757 N. Water Street, Milwaukee, WI 53202

PLAN DATE:
MARCH 2, 2012

JOB NUMBER:
11032

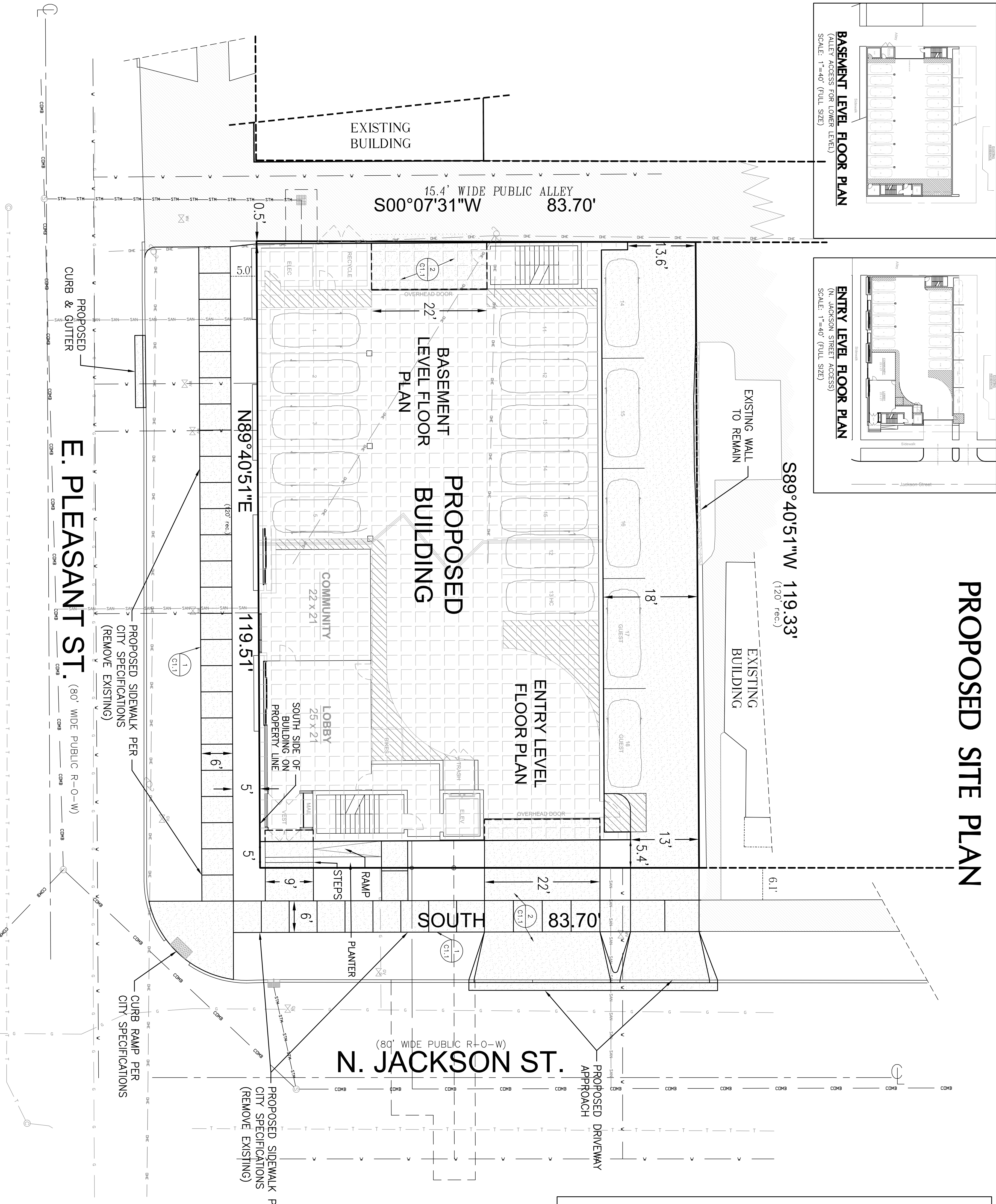
DESCRIPTION:
EXISTING SITE
PLAN

SHEET

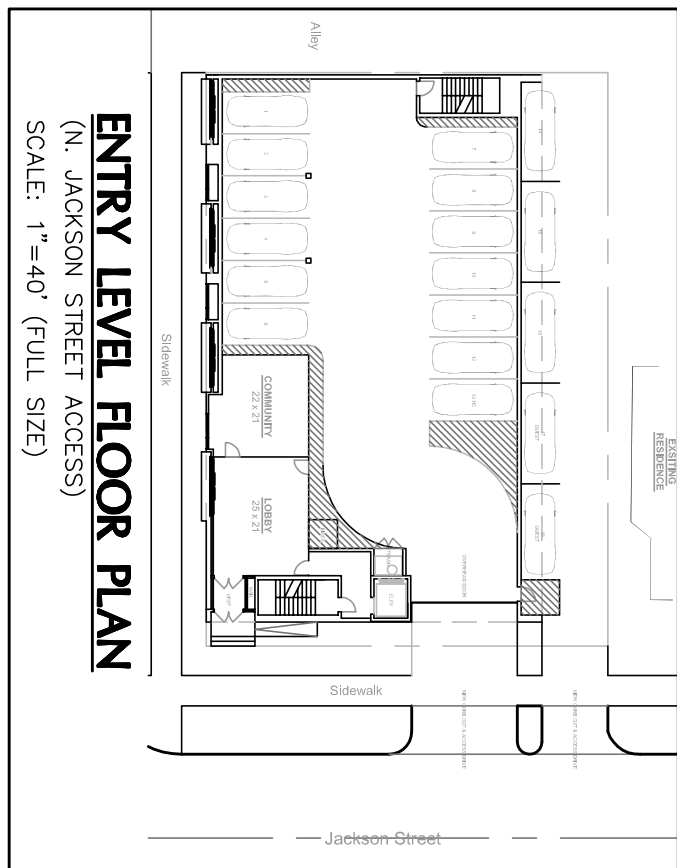
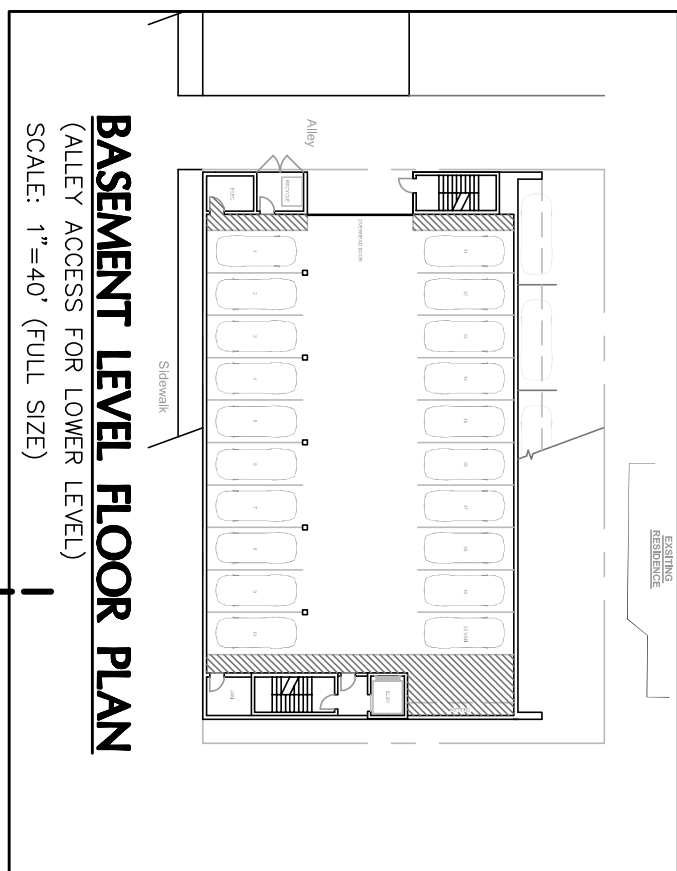
C10

 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES OF A PERSONS NOTICE TO THE DIGGER. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED SURVEYING ASSOCIATES, INC. FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

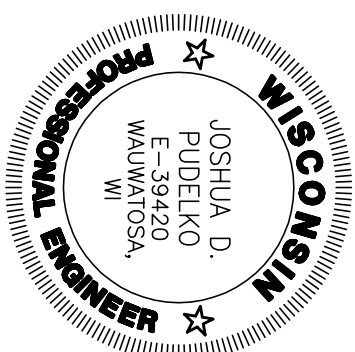
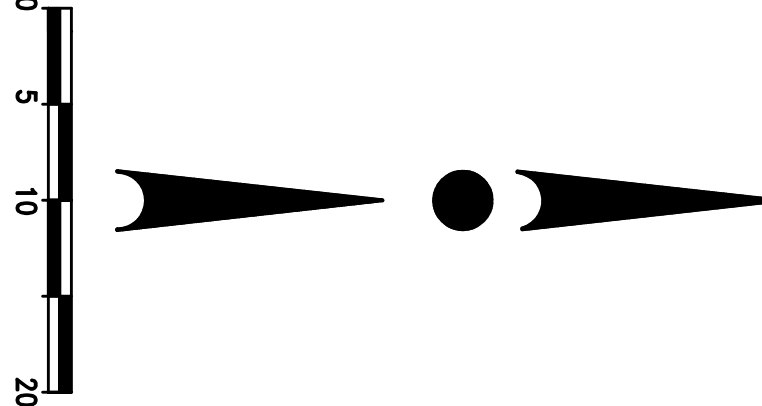
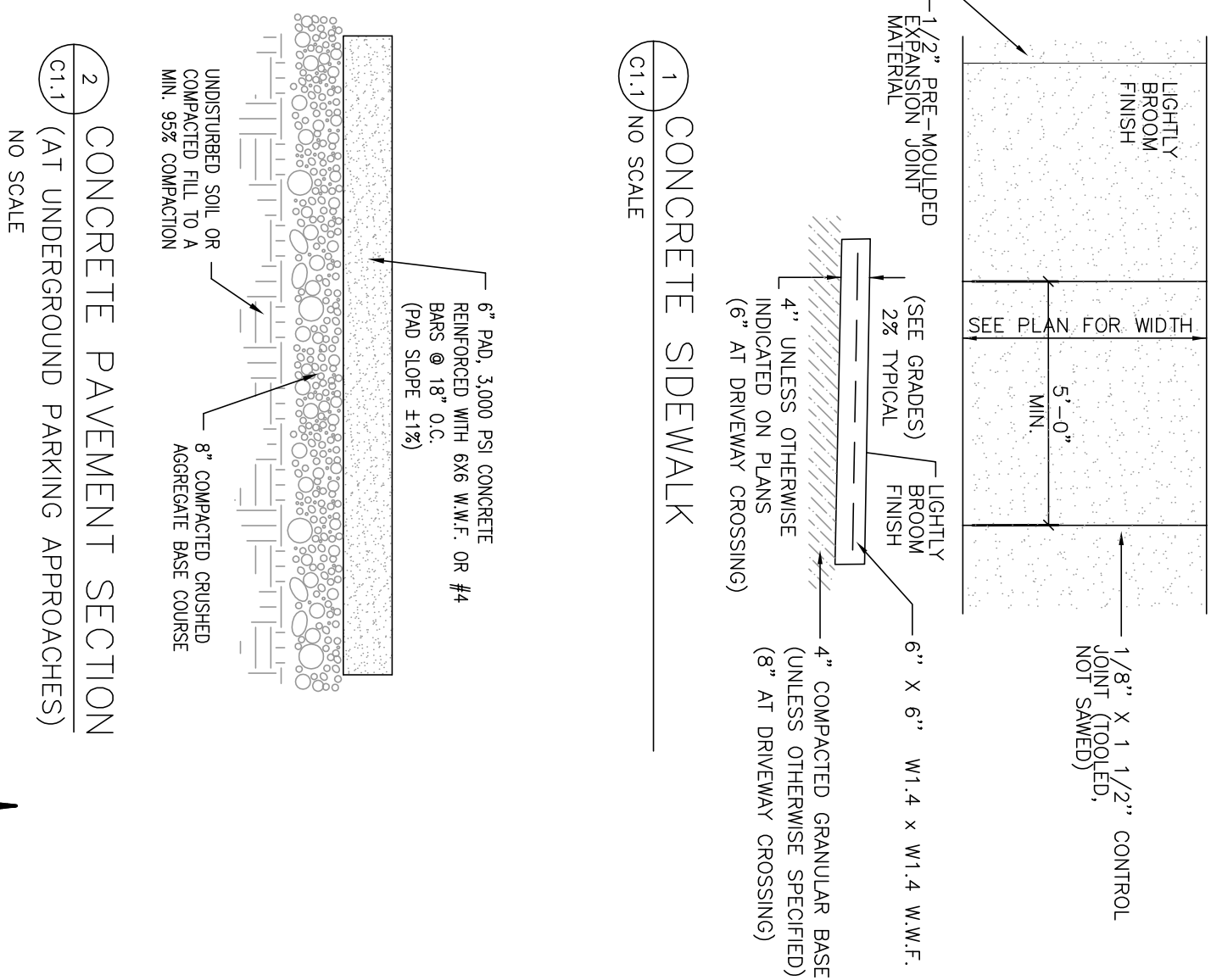


PROPOSED SITE PLAN



SITE DATA

EXISTING ZONING:	LB2
PROPOSED ZONING:	DPD
* Sec 295-05-2-i: The lot coverage standards set forth in table 295-05-2 relate to the proportion of a lot occupied by principal buildings. Accessory structures shall not be included when determining principal building footprint coverage)	
LOT AREA:	9,995.1 S.F. (0.23 Acres)
BUILDING FOOTPRINT (maximum):	7,501 S.F. (0.172 Acres) [75% of Lot]
PROPOSED PAVEMENT & SIDEWALK: - Outside building footprint:	2,362 S.F. (0.054 Acres) [23.37% of lot]
TOTAL IMPERVIOUS AREA:	9,837 S.F. (0.226 Acres) [98.42% of Lot]
TOTAL OPEN SPACE:	158.1 S.F. (0.036 Acres) [1.58% of Lot]
PARKING SPACES:	38 SPACES ON SITE
OPEN SPACE CREATED IN RIGHT-OF-WAY:	2,362 S.F. (0.054 Acres)
STORM WATER MANAGEMENT is not required per MMSD and City requirements because the total land disturbance is less than 1 acre and no additional impervious area of 0.5 acres or more is added (the project has no net increase in impervious area).	



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BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpudelo@striegelagacki.com



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PLAN DATE:
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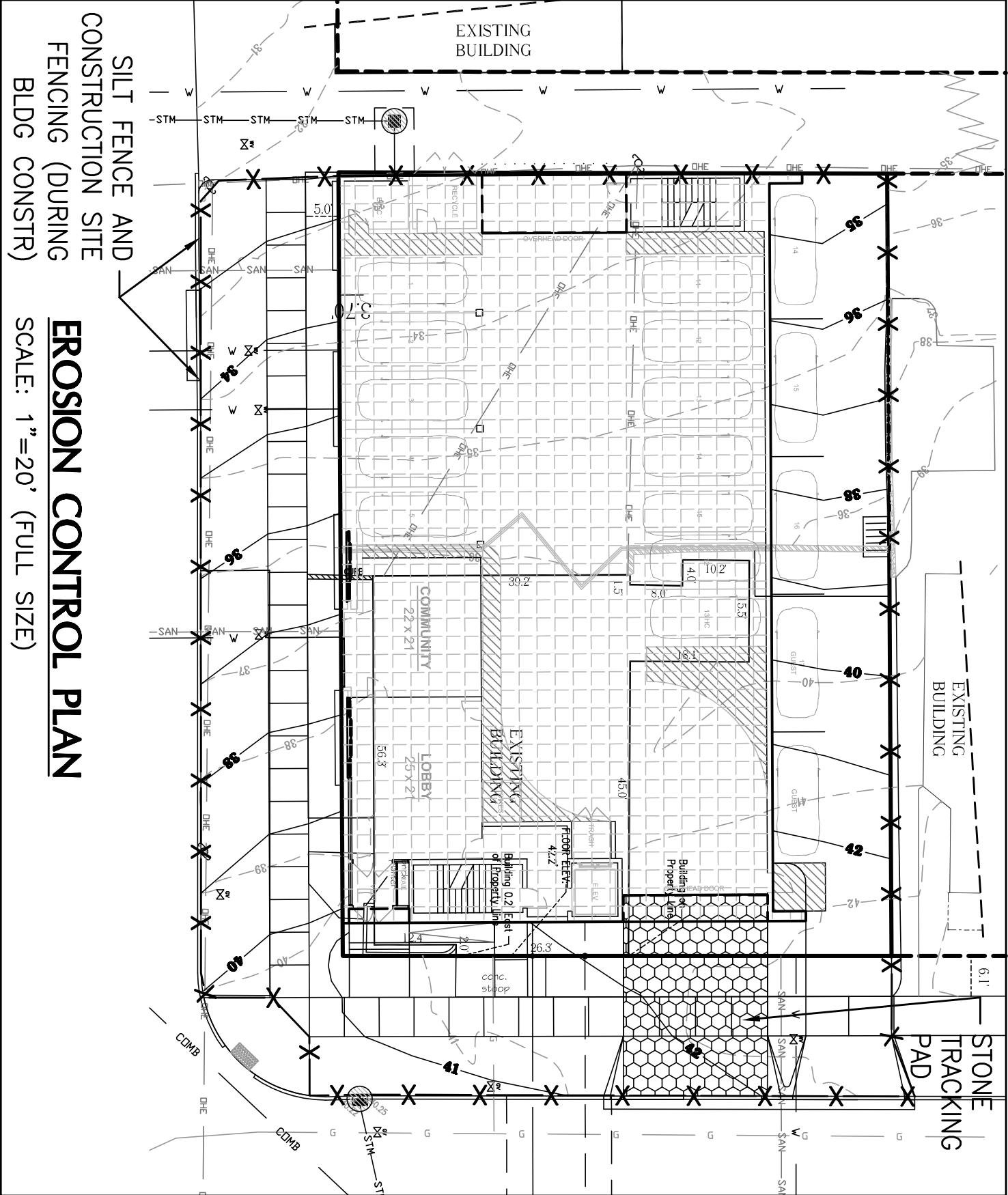
JOB NUMBER:
11032

DESCRIPTION:
PROPOSED SITE
PLAN

SHEET

C1.1

MASTER GRADING & EROSION CONTROL PLAN

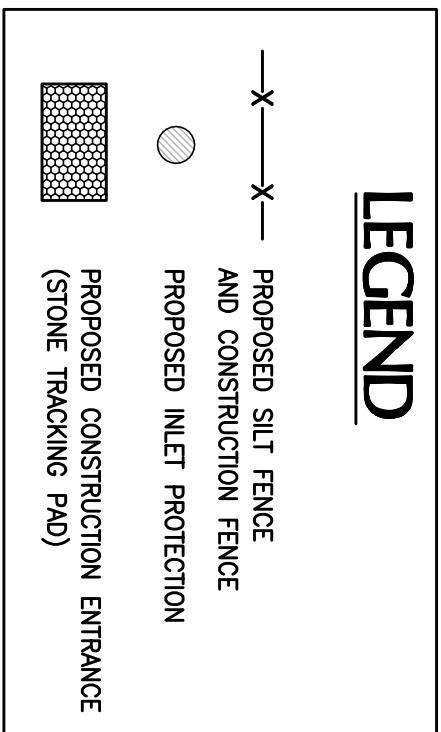


CONSTRUCTION SEQUENCE PLAN

1. INSTALL SILT FENCE, CONSTRUCTION FENCE AND TRACKING PAD. RAZE EXISTING BUILDING AFTER SECURING ALL REQUIRED PERMITS FROM CITY. INCLUDES DISCONNECTING EXISTING UTILITIES AND PROPERLY DISPOSING OF DEMOLITION MATERIAL.
2. REMOVE EXISTING ON-SITE PAVEMENT AND WALLS AS NEEDED FOR BUILDING CONSTRUCTION.
3. ROUGH GRADE SITE AND REMOVE EXCESS SPOILS.
4. RELOCATE UTILITY LINES ALONG ALLEY AND OTHER AREAS AS NECESSARY FOR BUILDING CONSTRUCTION.
5. CONSTRUCT BUILDING.
6. INSTALL SANITARY SEWER AND WATER LATERALS. CONNECT BUILDING STORM SEWER DRAIN TO CATCH BASIN IN ALLEY. CONTACT CITY AND/OR WMSD PRIOR TO CONNECTING TO THE EXISTING SYSTEMS.
7. INSTALL NEW GAS/ELECTRIC/TELEPHONE UTILITIES PER PLANS BY OTHERS. REMOVE EXISTING DRIVEWAY, SIDEWALK AND CURB SECTIONS WITHIN PUBLIC RIGHT-OF-WAY (WITH CITY PERMIT AND PRIOR NOTICE).
8. INSTALL STONE BASE, PAVEMENT AND SIDEWALK PER PLAN.
9. SPREAD TOPSOIL, SEED, MULCH AND STABILIZE DISTURBED AND PROPOSED OPEN SPACE AREAS.
10. INSTALL LANDSCAPING PER PLAN.
11. REMOVE ANY REMAINING SILT FENCE AND CONSTRUCTION FENCE.
12. NOTE THAT CONSTRUCTION MANAGER MAY MODIFY THIS SEQUENCE PLAN TO BEST SUIT THE NEEDS OF THE PROJECT.

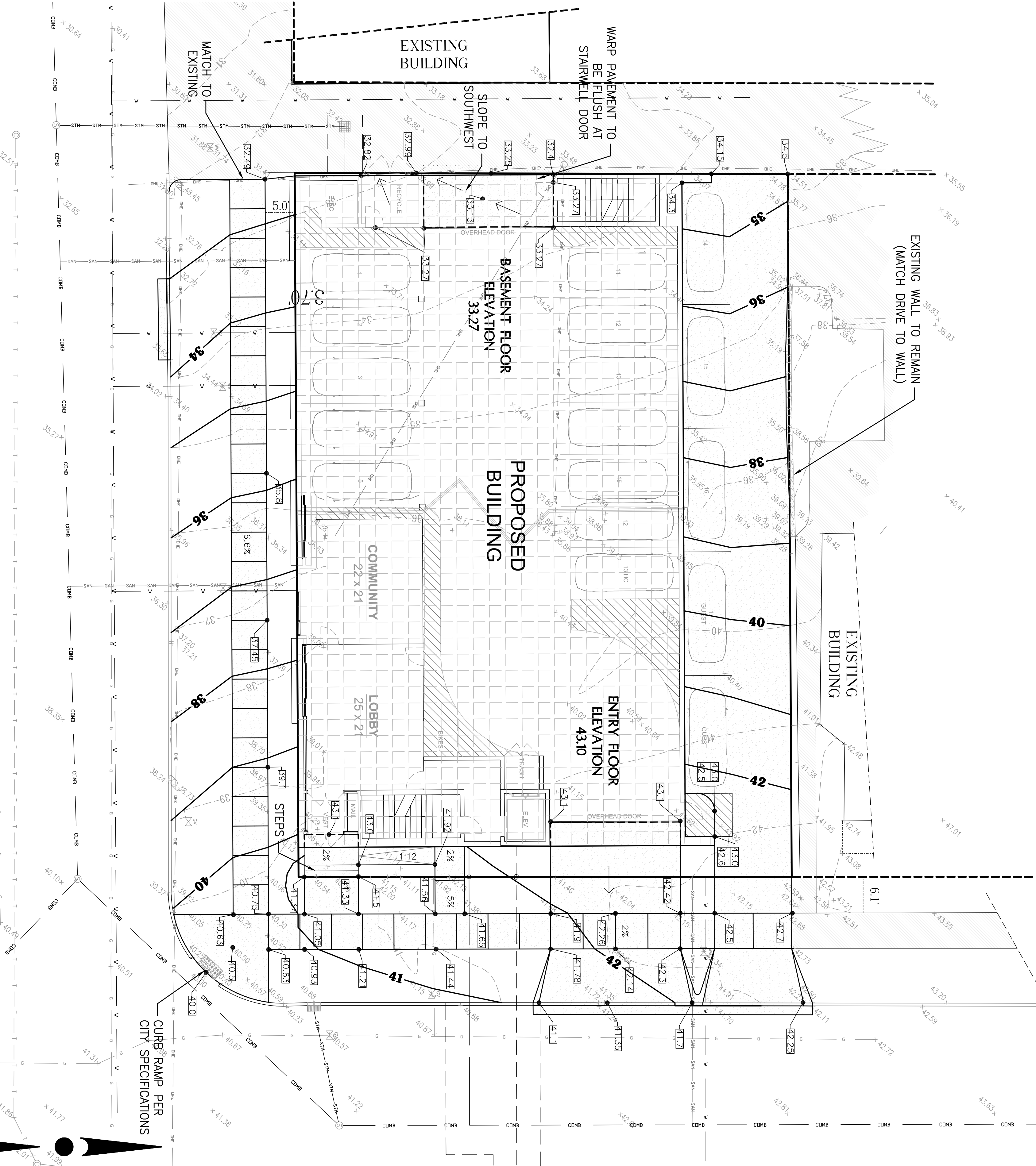
STANDARD DETAIL DRAWINGS:

WISCONSIN DEPARTMENT OF NATURAL RESOURCES
CONSERVATION PRACTICE STANDARD
1059 - SILT FENCE
1060 - STONE TRACKING PAD AND THE WASHING TROUGH - STONE DRAIN INLET PROTECTION



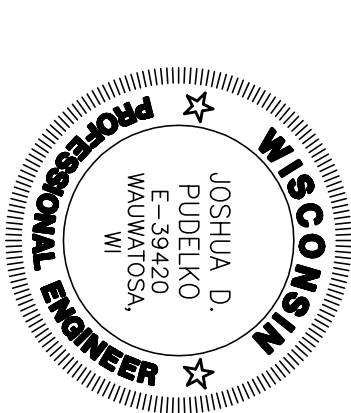
EROSION CONTROL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, STATE OF WISCONSIN, LATEST EDITION, UNLESS OTHERWISE CALLED FOR ON THE PLANS, SPECIFICATIONS OR SPECIAL.
2. ALL EROSION CONTROL MEASURES SPECIFIED ON THIS PLAN SHALL MEET THE DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
3. ALL EROSION CONTROL DEVICES (I.E., SILT FENCE, GRAVEL ENTRANCE, ETC.), SHALL BE INSTALLED PRIOR TO COMMENCING ALL GRADING OR UTILITY CONSTRUCTION.
4. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. REFER TO THE CONSTRUCTION SEQUENCING PLAN FOR ADDITIONAL INFORMATION.
5. THE OWNER IS RESPONSIBLE FOR OBTAINING A GRADING AND/OR EROSION CONTROL PERMIT (OR ANY OTHER APPLICABLE PERMITS) PRIOR TO CONSTRUCTION.
6. THE OWNER WILL PROVIDE ALL SURVEYING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR THE SINKS DUE HIM UNDER THIS CONTRACTOR'S NEGLIGENCE MAY BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE SINKS DUE HIM UNDER THIS CONTRACT.
7. THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE, ALL UTILITIES CITY DEPARTMENTS, AND GOVERNMENT UNITS WHOSE PROPERTY MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) DAYS BEFORE BREAKING GROUND. DIGGERS HOTLINE NUMBER IS 1-800-242-8511.
8. PUBLIC ROADS SHALL NOT BE CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE EXISTING AND/OR GRAVEL ENTRANCE TO THE PROPERTY.
9. CONSTRUCTION SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT AND PUBLIC ROADWAYS DURING OF SILT OR DIRT TRACKED FROM AREAS UNDER CONSTRUCTION BY SWEEPING OR OTHER APPROPRIATE MEASURES. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING OR OTHER APPROPRIATE METHODS.
10. INLETS SHALL BE PROTECTED WITH A SILT FENCE EROSION BARRIER UNTIL THE FRAME AND GRATE HAS BEEN SET IN PLACE. SILT FENCE SHALL BE PLACED AROUND THE INLET STRUCTURE UNTIL SUCH TIME AS THE AREA HAS BEEN ESTABLISHED. FREQUENT INSPECTION AND TIMELY MAINTENANCE IS REQUIRED.
11. UPON COMPLETION OF THE WORK AS SPECIFIED, RESPAVED SIX (6") INCHES OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND PROVIDE SEED, FERTILIZER AND MULCH PER THE STANDARD SPECIFICATIONS.
12. ALL DISTURBED AREAS INSIDE AND OUTSIDE OF THE ROAD RIGHT OF WAY SHALL BE REVEGETATED WITHIN SEVEN DAYS AFTER BEING DISTURBED. HIGHWAY MIX #40 SHALL BE USED FOR SEEDING WITH AN APPLICATION RATE OF 2.5 LBS/1000 SF.
13. ALL EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND REPAIR BMP'S AS NEEDED.



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXERCISING THE WORK. WISCONSIN STATUTE 182.0715 PROVIDES PENALTY FOR VIOLATION OF THIS LAW. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED SURVEYING ASSOCIATES, INC. FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



strigel-agacki studio
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BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpudielko@strigelagacki.com



PROJECT:
1601 N. JACKSON STREET
1601 N. JACKSON STREET
Milwaukee, Wisconsin
BY:
Dermond Property Investments LLC
757 N. Water Street, Milwaukee, WI 53202

PLAN DATE:
MARCH 2, 2012

JOB NUMBER:
11032

DESCRIPTION:
**MASTER GRADING
& EROSION
CONTROL PLAN**

SHEET

C12

UTILITIES PLAN

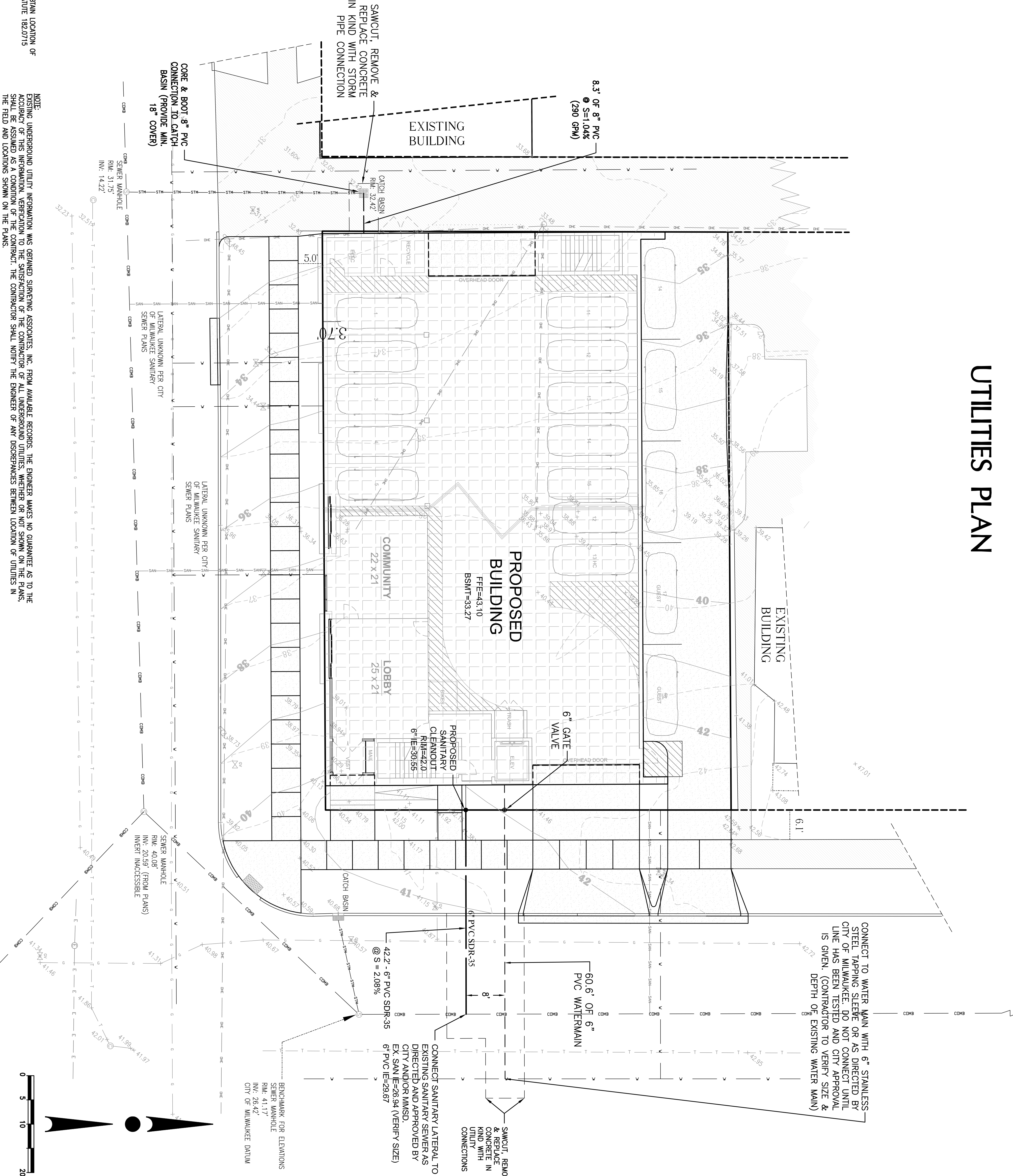
SANITARY SEWER & WATERMAIN NOTES

- SANITARY SEWER**
- ALL PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.10.0 (SSSWCIV).
 - ALL SANITARY SEWER LATERALS (OUTSIDE OF BUILDINGS) SHALL BE MADE OF GASKETED PVC FITTINGS MEETING ASTM D-3034, SDR 35. TRACER WIRE IS REQUIRED FOR ALL SANITARY SEWER LATERALS.

- WATERMAIN**
- ALL 6" PVC WATERMAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC, C-900, CLASS 150 (DR18). PVC PIPE SHALL HAVE PUSH-ON JOINTS WITH RUBBER GASKET.
 - ALL WATERMANS (AND SERVICES) CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDING AS SPECIFIED IN CH. 4.3.0, LAVING OF WATERMAIN, AND FILE NO. 36, PART VII (SSSWCW).
 - BLUE TRACER WIRE IS REQUIRED FOR ALL WATERMAIN LATERALS.

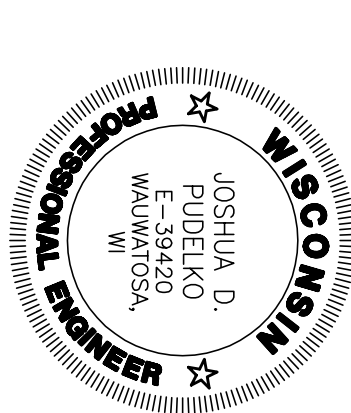
- TRACER WIRE NOTE**
- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PER COM 82.30(1)(4). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

- STORM SEWER NOTES**
- ALL PVC STORM SEWER PIPE SHALL BE ASTM D-3024, SDR 35. SCHEDULE 40 PIPE SHALL BE INSTALLED FOR ALL PIPE WITHIN THE PROPOSED BUILDING FOOTPRINT, PER MANUFACTURER SPECIFICATIONS.
 - CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
 - CONNECT TO BUILDING STORM SEWER CONVEYANCE PIPING PER COM 82 AND CITY OF MILWAUKEE SPECIFICATIONS AND REQUIREMENTS.



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.075 REQUIRES THE CONTRACTOR TO OBTAIN A COPY OF THE RECORD DRAWINGS AND PLANS. CALL DIGGERS HOTLINE 1-800-242-8611

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED SURVEYING ASSOCIATES, INC. FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



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1601 N. JACKSON STREET
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Milwaukee, Wisconsin
BY:
Dermond Property Investments LLC
757 N. Water Street, Milwaukee, WI 53202

PLAN DATE:
MARCH 2, 2012

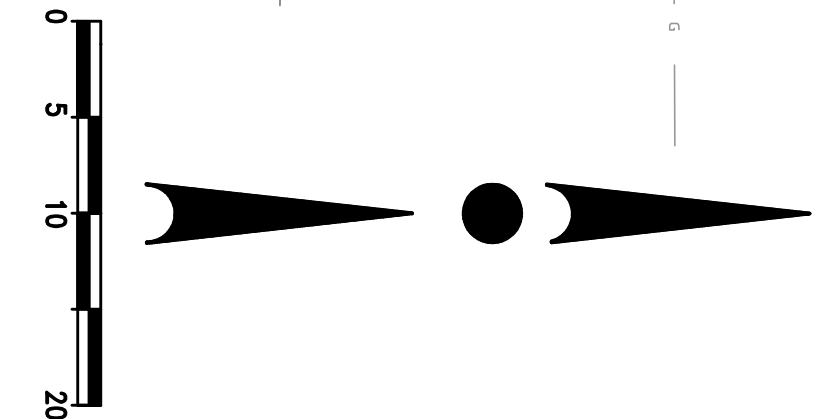
JOB NUMBER:
11032
DESCRIPTION:
UTILITIES PLAN

SHEET

C13


CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM THE STATE OF WISCONSIN. STATUTE 182.0715
CALL DIGGERS HOTLINE 1-800-242-8511

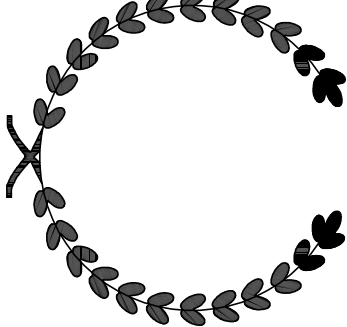
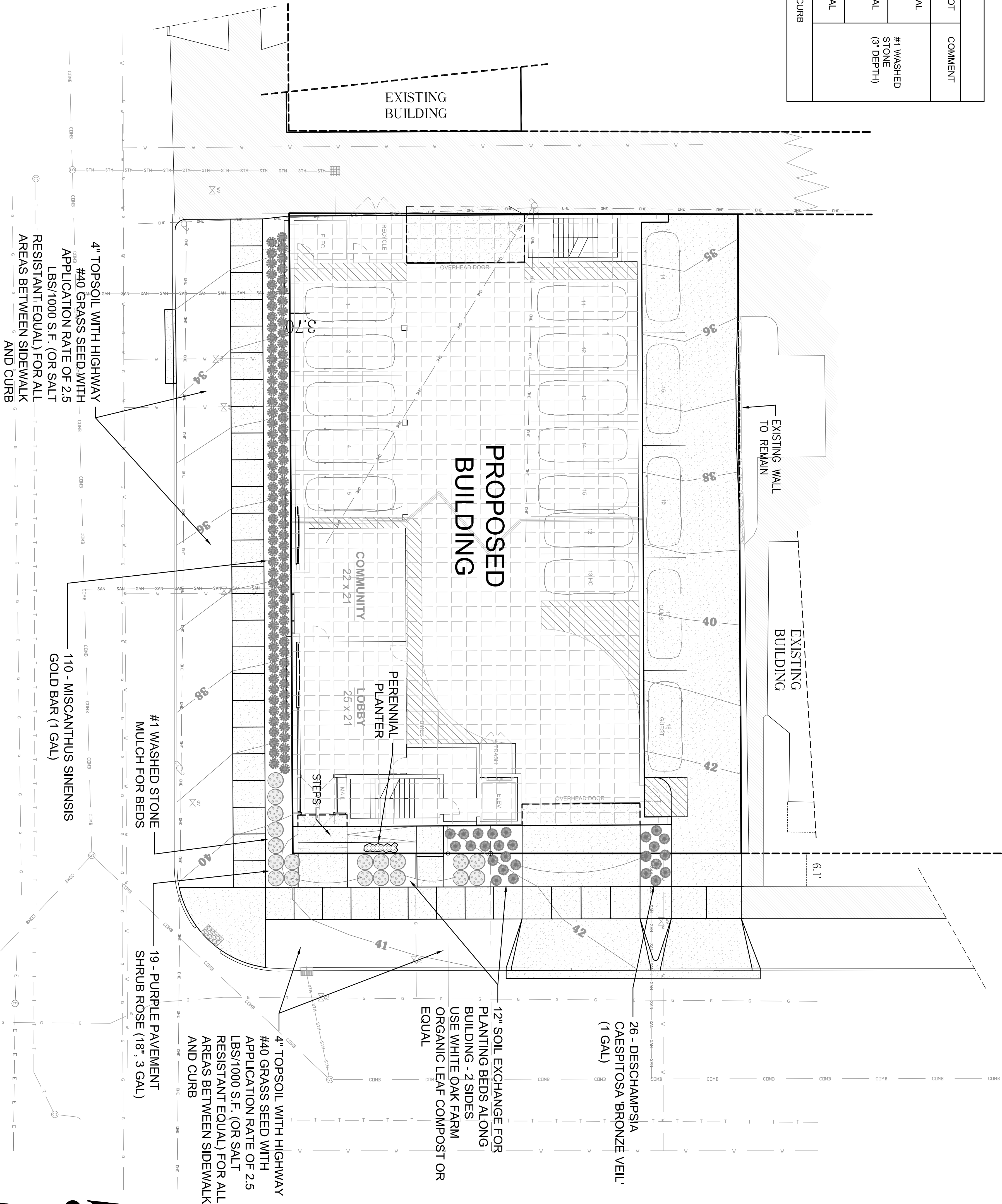
NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED SURVEYING ASSOCIATES, INC. FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION OF THE SATISFACTION OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



LANDSCAPE PLANTING SCHEDULE				
QUANTITY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	ROOT COMMENT
19	ROSA X PURPLE PAVEMENT	PURPLE PAVEMENT SHRUB ROSE	18"	3 GAL
110	MISCANTHUS SINENSIS 'GOLD BAR'	'GOLD BAR' MISCANTHUS	CONT	1 GAL
26	DESCAMPsia CAESPITOSA	'BRONZE VEIL'	CONT	1 GAL
#1 WASHED STONE (3' DEPTH)				

1,900 S.F. OF GRASS TERRACE BETWEEN SIDEWALK AND BACK OF CURB

PROPOSED LANDSCAPE PLAN



GARLAND ALLIANCE
LANDSCAPE ARCHITECTS
3707 N. RICHARDS ST., STE 200
MILWAUKEE, WI 53202
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17700 W. CAPITOL DRIVE
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EMAIL: j.purdick@trioengineering.com

PROJECT:
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1601 N. JACKSON STREET
Milwaukee, Wisconsin
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Dermond Property Investments LLC
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PLAN DATE:
MARCH 2, 2012

JOB NUMBER:
11032

DESCRIPTION:
PROPOSED
LANDSCAPE
PLAN

SHEET

L10